
St. Louis | Kansas City | Union | Wentzville | Ozark | Osage Beach | Farmington
June 29, 2026

Tim Reavis
Planning Department
120 Main St.
NLR, AR 72114

RE: Preliminary Plat and Site Plan Review
Lot 6 Dream Big Commercial Addition
Club Carwash

Mr. Reavis

Please accept this letter to serve as our application for the above reference submittal. We wish to be placed on the August 11, 2026 Planning Commission meeting. We are requesting both the preliminary plat and site plan be accepted for review simultaneously.

The developer, Club Carwash, is requesting a plat to create Lot 6 of Dream Big Commercial Addition as previously proposed by the owner of the property to allow for construction of a fully automated carwash with vacuum bays. We will be providing detention on site and the detention calculations to the City Engineer for a separate review.

No variances are being requested as part of this application.

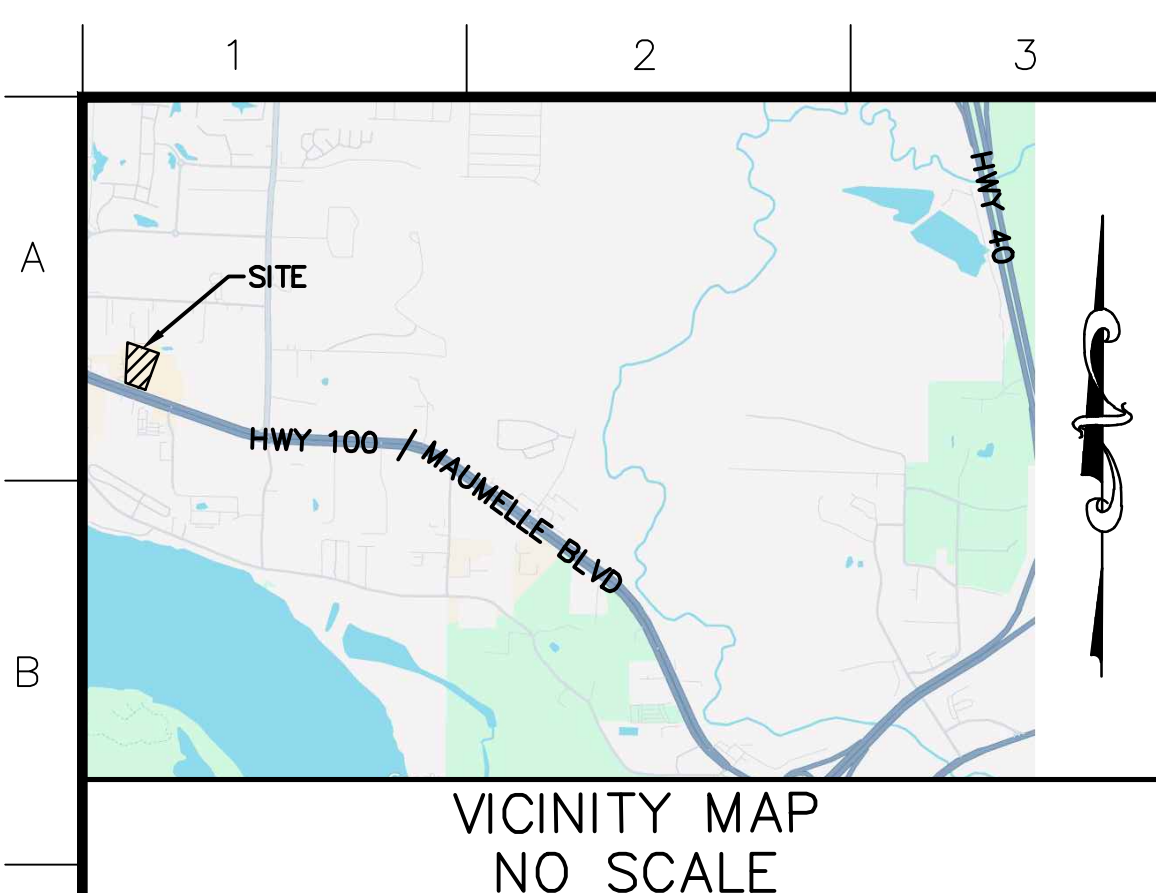
Enclosed please find a check for the combined fee of \$450.00 (\$250 plat fee and \$200.00 site plan fee).

If you have any questions or need anything else please let me know.

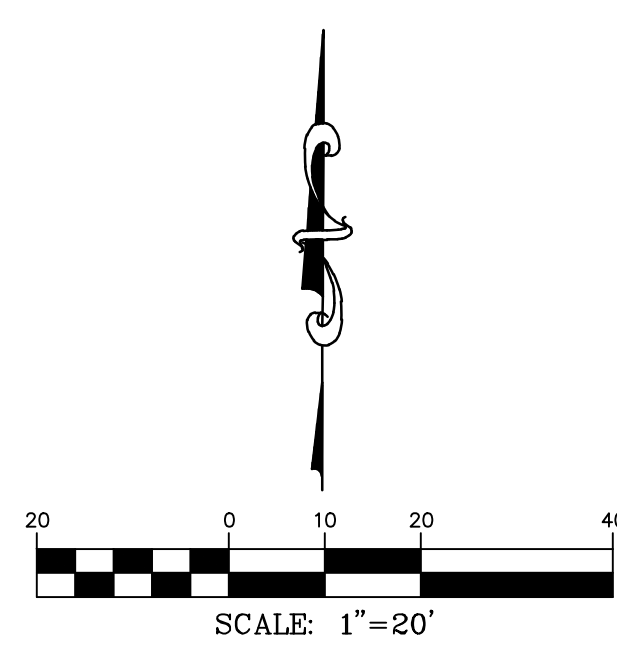
Sincerely,

A handwritten signature in blue ink, appearing to read 'E. Kirchner', with a stylized flourish at the end.

Eric S. Kirchner, P.E.
Engineering Manager | Partner
Cochran
8 E. Main St.
Wentzville, MO 63385
636-332-4574



SITE PLAN



SITE LEGEND

- (B) NEW STANDARD DUTY CONCRETE PAVEMENT. SEE DETAIL, SHEET 6 OF 6.
- (C) NEW HEAVY DUTY CONCRETE PAVEMENT. SEE DETAIL, SHEET 6 OF 6.
- (D) NEW 4" THICK CONCRETE SIDEWALK. SEE DETAIL, SHEET 6 OF 6.
- (E) NEW 6" THICK CONCRETE SIDEWALK. SEE DETAIL, SHEET 6 OF 6.
- (F) NEW 4" THICK CONCRETE PAD.
- (E) NEW 3' WIDE CONCRETE ISLAND. SEE DETAIL, SHEET 6 OF 6.
- (G) NEW 6" VERTICAL CURB AND GUTTER. SEE DETAIL, SHEET 6 OF 6.
- (H) NEW MOUNTABLE CURB. SEE DETAIL, SHEET 6 OF 6.
- (J) NEW 12" BLACK STACKING LANE STRIPING WITH 4" RED CENTER STRIPE.
- (J) NEW PRE--FABRICATED STRUCTURE. BY OWNER.
- (K) NEW ATTACHED CASHIER BOOTH. SEE ARCH. PLANS.
- (L) NEW VACUUM ARMS. BY OWNER.
- (M) NEW STOP ARM. BY OWNER.
- (N) NEW 7"x17" CONCRETE PAD FOR VACUUM TURBINE. SEE MEP PLANS.
- (O) NEW METAL TURBINE SCREENING. SEE DETAIL, SHEET 6 OF 6.
- (P) NEW 3'X3"x4" CONCRETE PADS FOR SIGNS AND TRASH CANS.
- (Q) NEW 3'X3"x6" CONCRETE PADS FOR CAMERA ARCH.
- (R) NEW TRELLIS STRUCTURE FOR VACUUM BAYS. BY OWNER
- (S) NEW TRAFFIC FLOW ARROWS. SEE DETAIL, SHEET 6 OF 6.
- (T) NEW ACCESSIBLE PARKING STALL WITH SIGNAGE AND STRIPING. SEE DETAIL, SHEET 6 OF 6.
- (U) NEW TRASH ENCLOSURE. SEE DETAIL, SHEET 6 OF 6.
- (V) NEW BOLLARD. SEE DETAIL, SHEET 6 OF 6.
- (W) NEW LIGHT STANDARD. SEE SHEET 5 OF 6.
- (X) NEW MONUMENT SIGN. PER SEPARATE PERMIT.
- (Y) NEW CONCRETE FLUME. SEE DETAIL, SHEET 6 OF 6.
- (Z) NEW ADA RAMP. SEE DETAIL, SHEET 6 OF 6.
- (AA) CONTRACTOR TO SAW CUT EXISTING PAVEMENT FULL DEPTH TO ENSURE A SMOOTH JUNT.

NOTES:

1. TOTAL SITE ACREAGE: ± 72,474 SQ. FT. OR ±1.66 ACRES
2. EXISTING ZONING: C-3 GENERAL COMMERCIAL DISTRICT
3. BUILDING SETBACKS
4. FRONT - 70' (PER PRELIMINARY PLAT)/ 40' (PER NORTH LITTLE ROCK ZONING REGULATION)
5. REAR - 20'
6. SIDE - 15'
7. THE SITE LAND USE SHALL BE AUTOMATIC CARWASH.
8. THIS SITE IS SERVED BY:
 - 9. WATER - CITY OF NORTH LITTLE ROCK
 - 10. SEWER - NORTH LITTLE ROCK WASTE
 - 11. TELEPHONE - N/A
 - 12. ELECTRIC ENERGY
 - 13. GAS - SUMMIT UTILITIES
 - 14. FIBEROPTIC - AT&T ARKANSAS
 - 15. FIRE - NORTH LITTLE ROCK FIRE DEPARTMENT
16. THE SITE FALLS WITHIN UNSHADED "ZONE X" AREAS TO BE DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL FLOOD PLAIN, PER FIRM, FLOOD INSURANCE RATE MAP, FOR CITY OF NORTH LITTLE ROCK, ARKANSAS, MAP NUMBER 0519NC03096, EFFECTIVE DATE OF JULY 6, 2015. FLOOD ZONES ARE DETERMINED BY SCALING.
17. THE DRAINAGE WILL BE MADE TO DIRECT DRAINAGE TO EXISTING DISCHARGE POINTS.
18. ALL UTILITIES ARE TO BE LOCATED UNDERGROUND.
19. THE SITE SHALL CONFORM TO THE CITY OF NORTH LITTLE ROCK STANDARDS.
20. ANY INVESTIGATION HAS BEEN PERFORMED BY COCHRAN REGARDING HAZARDOUS WASTE, UNDERGROUND CONDITIONS OR UTILITIES AFFECTING THE TRACT SHOWN HEREON.
21. THIS DRAWING DOES NOT CONSTITUTE A BOUNDARY SURVEY.
22. ALL PAVEMENT STRIPING SHALL BE 4" WIDE PAINTED WHITE LINES AND THE ADA STRIPING SHALL BE BLUE.
23. LOCATION, REPLACEMENT, AND CONNECTION OF THE UTILITIES SHALL BE COORDINATED WITH THE UTILITY COMPANIES.
24. ALL NEARBY MANHOLE AVALS AND UTILITY EQUIPMENT SHALL BE SCREENED FROM PUBLIC VIEW ACCORDING TO CITY REQUIREMENTS.
25. STORMWATER SHALL BE DIRECTED TO PROPOSED DETENTION FACILITIES THEN TO EXISTING DISCHARGE POINTS.
26. ALL DISTURBED AREAS INTENDED FOR GRASS SHALL BE SOODED.
27. UNDERGROUND STRUCTURES, FACILITIES AND UTILITIES HAVE BEEN PLOTTED FROM AVAILABLE SURVEYS, DEEDS AND RECORDS. THEREFORE, THEIR LOCATIONS MUST BE CONSIDERED APPROPRIATE ONLY. THERE MAY BE OTHERS. THE EXISTENCE OF WHICH IS NOT KNOWN.
28. A SIGNAGE SHALL BE PERMITTED VIA A SEPARATE PERMIT APPLICATION.
29. A LIGHTING PLAN WILL BE PREPARED ACCORDING TO CITY REQUIREMENTS AND SUBMITTED TO THE CITY FOR REVIEW. ALL EXTERIOR LIGHTING, BUILDING AND PARKING LOT LIGHTS & LIGHTING FIXTURES SHALL BE DIRECTED AWAY FROM HIGHWAYS, PUBLIC ROADS & PROPERTIES SO THAT NO LIGHT IS CAST ON ADJOINING PROPERTIES OR PUBLIC ROADWAYS. MAXIMUM LIGHT HEIGHT IS 22'-6". THE POLES, POLES BASE & FIXTURES SHALL BE BLACK. ALL LIGHTING SHALL BE LED & SERVE WITH UNDERGROUND ELECTRIC.
30. THE DEMONSTRATION OF THE LANDSCAPING DESIGN FOR THIS PROJECT WILL BE ACCOMPLISHED VIA THE PROVIDED PLAN FOR LOCATION, TYPE, SIZE AND QUANTITY.
31. ALL OPEN SPACE AND LANDSCAPE BEDS SHALL BE IRRIGATED. ALL LANDSCAPING MATERIAL AND DESIGN WILL FOLLOW THE APPROVED LANDSCAPING PLAN, INCLUDING TYPES OF PLANTS AND SPACING.

VACUUM STATIONS:
PROVIDED = 21 VACUUM STATIONS

NOTE:
SEE SHEET 5 OF 6 FOR SITE LIGHTING PHOTOMETRICS.

NOTE:
ALL DIMENSIONS ARE TO THE FACE OF CURB UNLESS
OTHERWISE NOTED. ALL RADIUS CALLOUTS ARE TO BACK OF
CURB UNLESS OTHERWISE NOTED.

MINIMUM PARKING DIMENSIONS:
REGULAR PARKING - 9'x18'
ADA PARKING - 11'x18'
ADA VAN PARKING - 11'x18'
ADA ACCESSIBLE STRIPING - 5'x18'
PARKING DRIVE AISLES (TWO-WAY)

PARKING REQUIREMENTS:
1 SPACE PER 250 S.F. G.F.A. PLUS 1 SPACE PER
EMPLOYEE AT MAX SHIFT.
 $4,388.72 \text{ S.F.} / 250 = (17.55) + 5 \text{ EMPLOYEES} = 22.55$

TOTAL SPACES REQUIRED:	= 23 SPACES
TOTAL SPACES PROVIDED:	= 27 SPACES
ADA TOTAL SPACES REQUIRED:	= 1 SPACES
ADA TOTAL SPACES PROVIDED:	= 1 SPACES

STACKING REQUIREMENTS:
3 SPACES PER SERVICE WINDOW.

(1 WINDOW)*(3) = 3
TOTAL STACKING SPACES REQUIRED: = 3 SPACES
TOTAL STACKING SPACES PROVIDED: = 25 SPACES

"UPON RECEIVING AN ACCURATE SURVEY OF
PROPERTY TO BE LEASED, LEGAL DESCRIPTION
WILL BE ADDED."



336-332-4574 (tel.)
336-327-0760 (fax)
rentmail@cochraneeng.com

- Civil Engineering
- Land Surveying
- Architecture
- Site Development
- General Consulting
- Master Planning

COCHRAN

North Office
8 East Main Street
Wentzville, Missouri 63385

Arkansas State Certificate
of Authority Numbers:
3457

Two working days prior to the start of any excavation on this site, contractor shall call 1-800-482-8998 for utility location information.

All OSHA rules & regulations established for the type of construction required by these plans shall be strictly followed (i.e. Trenching, Blasting, etc.)

PRELIMINARY PRINT
NOT FOR CONSTRUCTION
FOR REVIEW ONLY

KURTIS J. D.
17943

SITE PLAN REVIEW
CLUB CAR WASH
NORTH LITTLE ROCK, AR

[illegible]

LOT 6 DREAM
BIG COMMERCIAL

DWN. BY:	APPD. BY:
----------	-----------

DATE: _____

SCALE:

PROJ. NO:	1.20
-----------	------

DWG. NO:

1 OF 6

DRAWING LEGEND

- | | |
|--------------------------------|--|
| RIGHT-OF-WAY | |
| PROPERTY LINE | |
| EXISTING MAJOR CONTOUR | |
| EXISTING MINOR CONTOUR | |
| EXISTING EASEMENT | |
| EXISTING FENCE | |
| EXISTING STORM SEWER | |
| EXISTING SANITARY LINE | |
| EXISTING UNDERGROUND CABLE | |
| EXISTING SANITARY MANHOLE | |
| EXISTING CURB INLET | |
| EXISTING FLARED END SECTION | |
| EXISTING SIGN | |
| EXISTING WATER VALVE | |
| EXISTING LIGHT | |
| BENCHMARK | |
| EXISTING TREE | |
| EXISTING ASPHALT PAVEMENT | |
| EXISTING CONCRETE PAVEMENT | |
| NEW MAJOR CONTOUR | |
| NEW MINOR CONTOUR | |
| NEW SETBACK LINE | |
| NEW EASEMENT LINE | |
| NEW FENCE | |
| NEW STORM SEWER PIPE | |
| NEW WATER LINE | |
| NEW SANITARY MAIN | |
| NEW SANITARY LATERAL | |
| NEW GAS LINE | |
| SANITARY MANHOLE | |
| SANITARY CLEAN OUT | |
| TRANSFORMER | |
| STORM MANHOLE | |
| STORM INLET | |
| FLARED END SECTION | |
| GRATED INLET | |
| GRATED INLET WITH SIDE INTAKE | |
| ELECTRIC METER | |
| SIGN | |
| WATER METER | |
| LIGHT | |
| SPOT ELEVATION | |
| ACCESSIBLE PARKING SYMBOL | |
| NEW BUILDING | |
| NEW HEAVY DUTY CONCRETE | |
| NEW STANDARD DUTY CONCRETE | |
| NEW CONCRETE PAVEMENT/SIDEWALK | |

N/F
RICHARDSON PROPERTIES LLC
(PB 1, PG 75)
ZONING: C-3 GENERAL COMMERCIAL

EXISTING 50' WIDE SHARED ACCESS, DRAINAGE, AND UTILITY EASEMENT
DOC#2007046662 AND DOC#2008005364

OWNER:
DREAM BIG INVESTMENTS LLC
9600 ROWLETT DR
NORTH LITTLE ROCK, AR 72113

DEVELOPER:
CLUB CARWASH OPERATING, LLC
1591 E. PRATHERSVILLE RD.
COLUMBIA, MO 65202



- | | |
|----------|--|
| A | REFER TO ARCHITECTURAL AND MEP PLANS FOR CONTINUATION OF SANITARY SEWER CONNECTION TO THE BUILDING. FL. ELEV. = 276.50 |
| B | NEW SANITARY SEWER LATERAL AND GREASE INTERCEPTORS. SEE ARCHITECTURAL AND MEP PLANS. |
| C | NEW SANITARY SEWER LATERAL. |
| D | NEW SANITARY CLEAN-OUT. |
| E | NEW 4"Ø C900 PVC WATER SERVICE LINE. |
| F | NEW 2" WATER METER. |
| G | NEW 2"x4" INCREASER. |
| H | NEW GAS LINE. CONTRACTOR SHALL COORDINATE WITH MEP AND UTILITY PROVIDER. |
| I | NEW TRANSFORMER PAD, CONTRACTOR SHALL COORDINATE WITH MEP AND UTILITY PROVIDER. |
| J | NEW CURB INLET. |
| K | NEW GRATED INLET. |
| L | NEW GRATED INLET WITH SIDE INTAKE. |
| M | NEW STORM MANHOLE. |
| N | NEW OUTFALL SECTION. |
| O | NEW FLARED END STRUCTURE. |
| P | NEW 8"Ø DOWNSPOUT COLLECTOR. |
| Q | NEW DOWNSPOUT CLEAN-OUT. |
| R | NEW RIP RAP PAD. |
| S | IRRIGATION LINE TO IRRIGATION SYSTEM. |

North Office
 8 East Main Street
 Wentzville, Missouri 63385
 636-332-4574 (tel.)
 636-327-0760 (fax)
www.ochran.com

• Civil Engineering
 • Land Surveying
 • Architecture
 • Site Development
 • General Consulting
 • Master Planning

CHROAN

Arkansas State Certificate of
 Authority Numbers:
 3457

Two working days prior to the start of any excavation on this site, contractor shall call 1-800-482-8998 for utility location information.

All OSHA rules & regulations established for the type of construction required by these plans shall be strictly followed (i.e. Trenching, Blasting, etc.)

PRELIMINARY PRINT
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FOR REVIEW ONLY

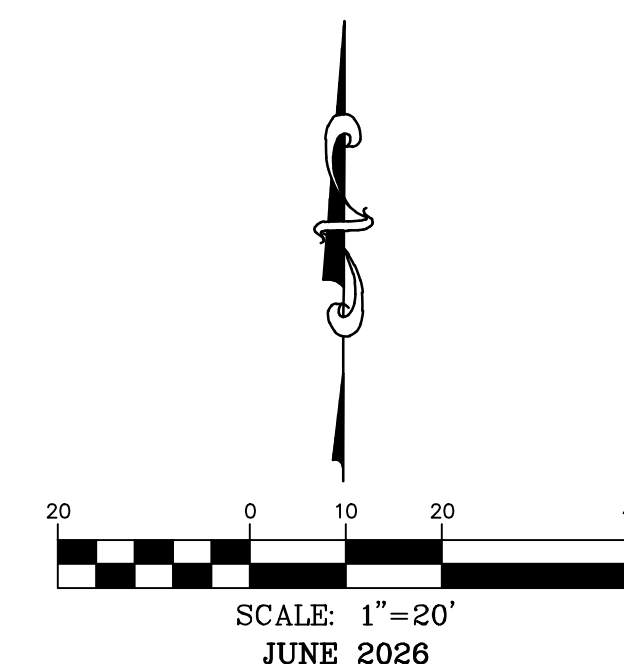
KURTIS J. DANIELS
17943

SITE PLAN REVIEW
CLUB CAR WASH
NORTH LITTLE ROCK, AR

UTILITY PLAN	DATE:		APPROVED:	
	DRAWN BY:		APPROVED:	
	DATE:		DRAWN BY:	
	SCALE:		DATE:	
	PROJECT NO.:		DATE:	
	SHEET NO.:		DATE:	
	LOT 6 DREAM BIG COMMERCIAL			
DRAWN BY:	EBB	APPROVED BY:	KJD	
DATE:	JUNE 2026			
SCALE:	1:20			
PROJECT NO.:	M25-9287A			
SHEET NO.:	3 OF 6			



GRADING PLAN



North Office
8 East Main Street
Wentzville, Missouri 63385

636-332-4574 (tel.)
636-327-0760 (fax)
wentzville@ochran.com

Services:

- Civil Engineering
- Land Surveying
- Architecture
- Site Development
- General Consulting
- Master Planning

Arkansas State Certificate
of Authority Numbers:
3457

Two working days prior to the start of any excavation on this site, contractor shall call 1-800-482-8998 for utility location information.

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FOR REVIEW ONLY

KURTIS J. DANIELS
17943

SITE PLAN REVIEW
CLUB CAR WASH
NORTH LITTLE ROCK, AR

GRADING PLAN	LOT 6 DREAM BIG COMMERCIAL		APPRO. BY:	
	OWN. BY:	APPRO. BY:	DATE:	
	EBB	KJD		
	DATE:			
	JUNE 2026			
	SCALE:			
	1:20			
	PROJ. NO:			
	M25-9287A			
	DWG. NO:			
4 OF 6				

NOTE:
PER ARTICLE 14 OF THE
HILLSIDE REGULATIONS, THE
PROPOSED ONSITE TERRAIN
EXCEEDS A 4:1 SLOPE. THE
AVERAGE SLOPE OF THE PA
IS AROUND 6% WITH A 33%
DOWNHILL SLOPE ABUTTING
PROPOSED PAVEMENT.

NOTE:
PROVIDE CITY WITH A COPY
GRADING COMPACTION TEST
RESULTS.

NOTE:
ALL SPOT ELEVATIONS SHOWN
THIS PLAN ARE TOP OF PAVEMENT
UNLESS OTHERWISE NOTED.

SITE DISTURBANCE
TOTAL SITE AREA = 1.66 AC
DISTURBED AREA = 1.58 AC.

GRADING QUANTITY:

CUT - 3 CY.
FILL - 6,431 CY.

NOTE:
THESE QUANTITIES ARE RAW NUMBERS.
THE CONTRACTOR SHALL NOT USE THESE
NUMBERS AS THEIR BID QUANTITIES. THE
CONTRACTOR SHALL DETERMINE THEIR OWN
QUANTITIES.



4 OF 6

OWNER:
DREAM BIG INVESTMENTS LLC
9600 ROWLETT DR
NORTH LITTLE ROCK, AR 72113

DEVELOPER:
CLUB CARWASH OPERATING, LLC
1591 E. PRATHERSVILLE RD.
COLUMBIA, MO 65202

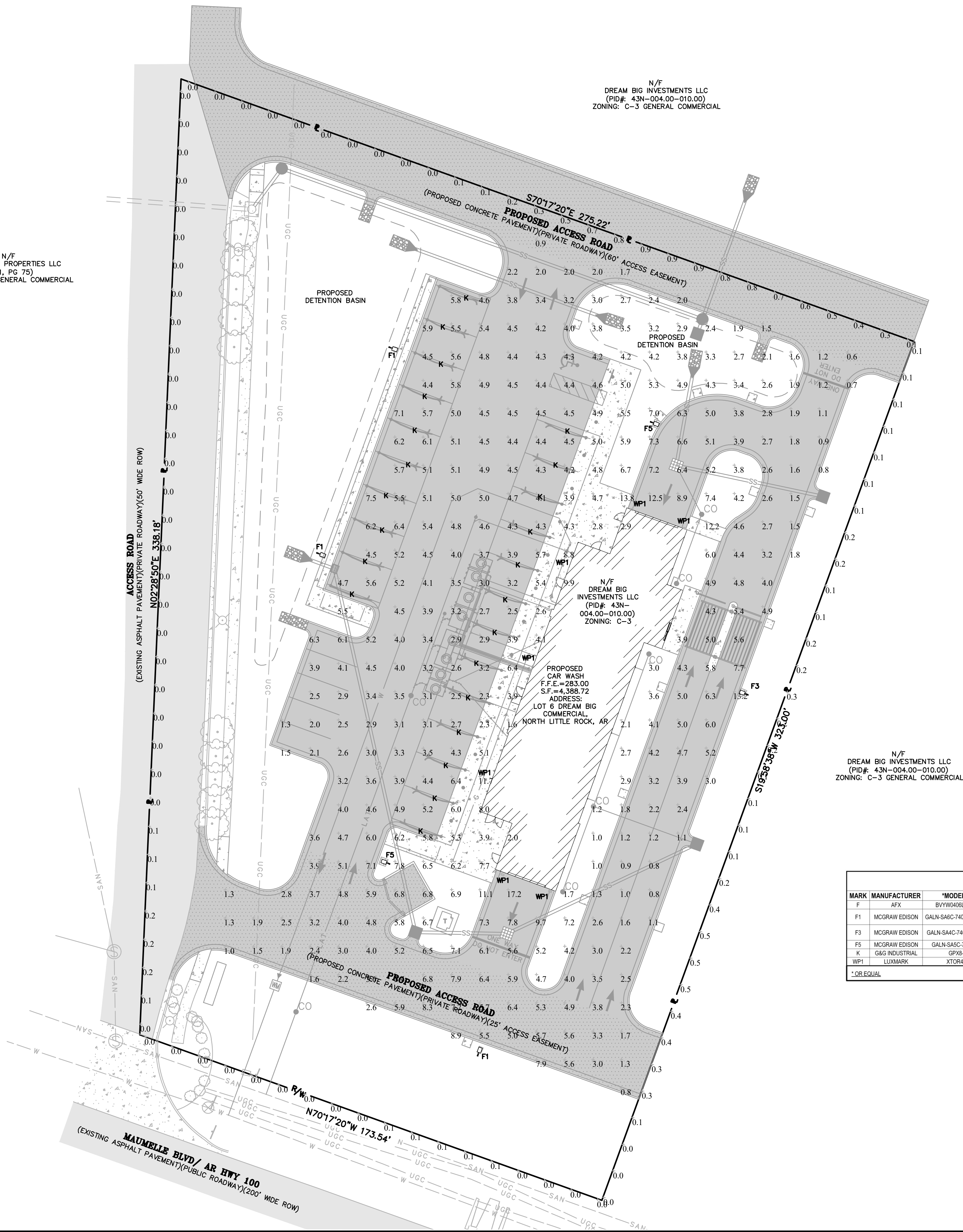


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KURTIS J. DANIELS
17943

SITE PLAN REVIEW
CLUB CAR WASH
NORTH LITTLE ROCK, AR

PHOTOMETRICS PLAN	DATE:									REVISION:										DRAWN BY:									APPROVED BY:								
LOT 6 DREAM BIG COMMERCIAL																																					
DRAWN BY: EBB																		APPROVED BY: KJD																			
DATE: JUNE 2026																																					
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DRG. NO:																																					
5 OF 6																																					



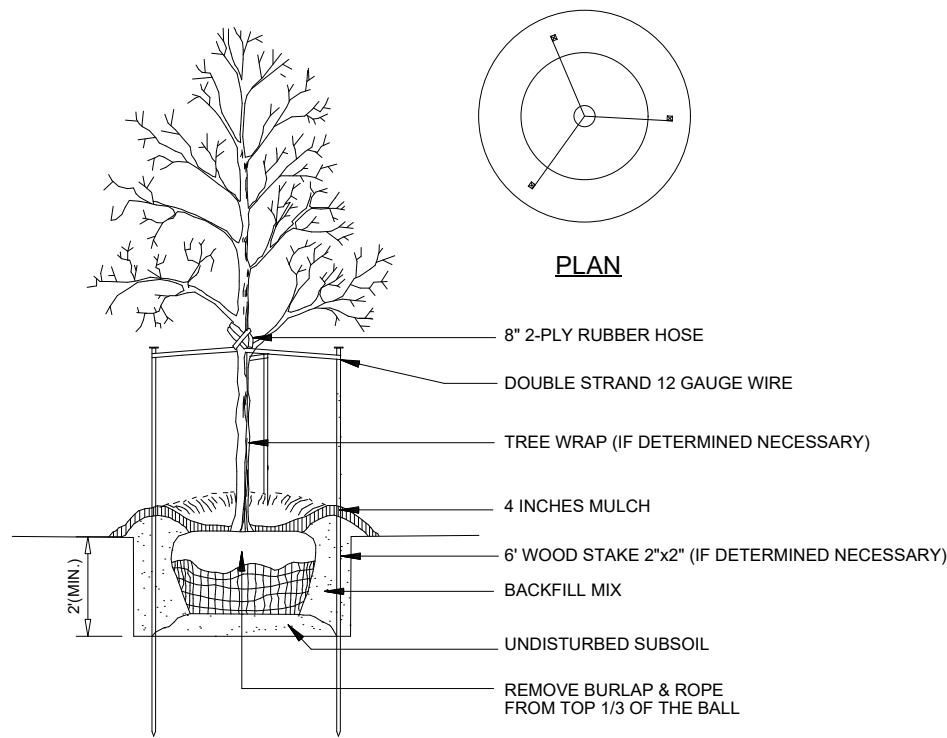
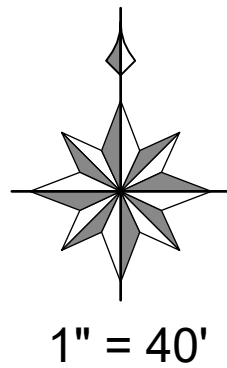
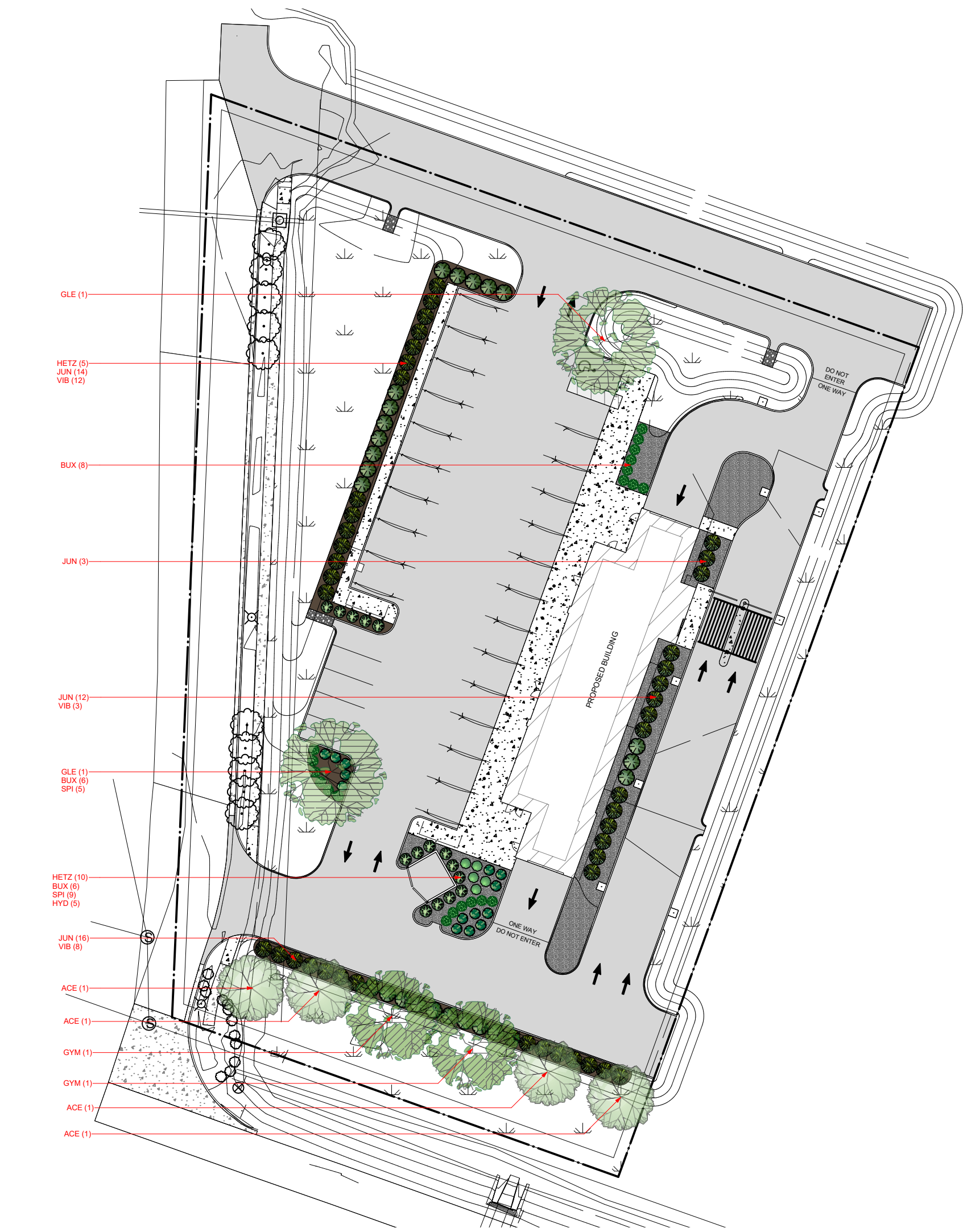
SITE LIGHTING SCHEDULE												
MARK	MANUFACTURER	*MODEL NO.	TYPE	VOLTS	AMPS	WATTS	LUMENS	CCT (°K)	CRI	LAMPS	MOUNTING	REMARKS
F1	AFX	BYW40W40LJ4UBK	SCORCE DOWN LIGHT	120	0.12	10	600	4000	80	LED	WALL	WITH BLACK SSS POLE AND HOUSE SIDE SHELDs
F1	MCGRAW EDISON	GALN-SAC-74D-U-T4FT-HSS	POLE LIGHT	277	1.16	321	32000	4000	80	LED	POLE	
F3	MCGRAW EDISON	GALN-SAC-74D-U-T4FT-HSS	POLE LIGHT	277	1.16	321	32000	4000	80	LED	POLE	WITH BLACK SSS POLE AND HOUSE SIDE SHELDs
F5	MCGRAW EDISON	GALN-SAC-74D-U-SM2	POLE LIGHT	277	0.97	269	38926	4000	80	LED	POLE	
K	G&G INDUSTRIAL	GPV8-S0	VACUUM ARCH LIGHT	120	0.3	36	4800	4000	80	LED	POLE	PROVIDE WITH SIDE SHELDs
WP1	LUXMARK	XTOR4B-W	WALL PACK	277	0.14	37.7	3995	4000	80	LED	WALL	

* OR EQUAL

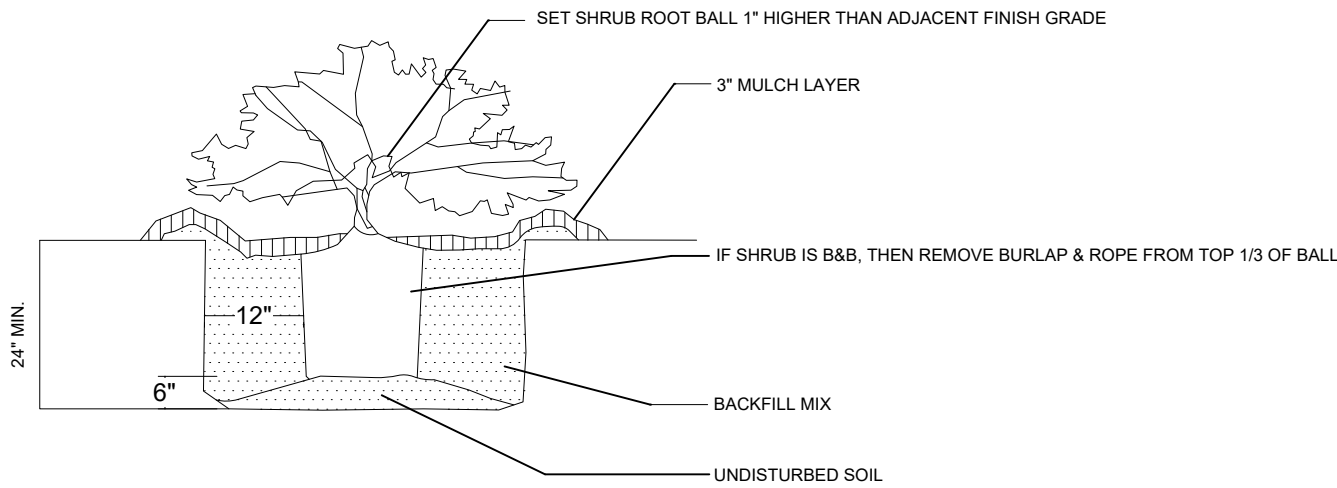
LIGHT STANDARD DETAIL
NO SCALE

OWNER:
DREAM BIG INVESTMENTS LLC
9600 ROWLETT DR
NORTH LITTLE ROCK, AR 72113

DEVELOPER:
CLUB CARWASH OPERATING, LLC
1591 E. PRATHERSVILLE RD.
COLUMBIA, MO 65202



NOTE: USE MULCH PER PLAN/SPEC'S
TREE PLANTING
N.T.S.



PRUNE ANY BROKEN BRANCHES AFTER PLANTING. DAMAGED SHRUBS OR BROKEN/CRUMBLING ROOT BALLS WILL BE REJECTED.

SHRUB PLANTING
N.T.S.

Planting Schedule					
	Qty	Common Name	Botanical Name	Scheduled Size	Plant ID
Conifers					
	15	Hetz Columnar Juniper	Juniperus chinensis 'Hetzii Columnaris'	6' BB	HETZ
Shrubs					
	14	Goldflame Spirea	Spiraea x bumalda 'Goldflame' (S.x 'Goldflame')	#5 - 18"	SPI
	5	Little Lime® Hardy Hydrangea	Hydrangea paniculata 'Jane' USPP 22330	#5 - 18"	HYD
	45	Sea Green Juniper	Juniperus x pfitzeriana 'Sea Green'	#5 - 36"	JUN
	23	Summer Snowflake Viburnum	Viburnum plicatum f. tomentosum 'Summer Snowflake'	#5 - 18"	VIB
	20	Wintergreen Boxwood	Buxus microphylla 'Wintergreen'	#5 - 24"	BUX
Trees					
	2	Kentucky Coffeetree	Gymnocladus dioica	2.5" Cal.	GYM
	4	Red Maple, Swamp Maple	Acer rubrum	2.5" Cal.	ACE
	2	Skyline Honeylocust	Gleditsia triacanthos inermis 'Skyline'	2.5" Cal.	GLE

Landscape Installation Notes:

GENERAL:

-Landscape Contractor is responsible for coordinating work with general contractor to ensure the landscape scope of work doesn't interfere with existing or built conditions. They should note any discrepancies to the general contractor.

-Landscape Contractor is responsible for verifying the location of underground utilities by calling their local utility marking service.

-All plant material should be inspected by Landscape Contractor prior to installation to determine overall appearance and condition. Plant material that is damaged or has clear signs of stress should be rejected.

-Quantities of material shown on plan take precedence over the specification list or legend.

-If plant substitutions are required, Landscape Contractor is responsible for submitting recommendations to the client or client's representative.

-Irrigation system required and to be designed by qualified Irrigation Contractor - system must be programmable and capable of odd/even day use.

-This proposed landscape plan will mitigate/enhance site conditions in accordance to city requirements.

-All planting beds adjacent to turf grass shall be edged with vinyl or steel landscaping edging.

-Individual trees planting within turf grass shall have a 4' minimum diameter mulched tree ring.

PLANTING:

-When excavating for plant pits, any excess rock or building material should be removed and replaced with specified soil mix backfill.

-All plant tags should be removed from material by Landscape Contractor.

-All planting beds and trees should receive a minimum 3" deep layer of shredded hardwood mulch, unless otherwise noted.

-All backfill around plant material should be removed during planting.

-All wire baskets and stakes should be removed during planting.

-Cut and remove top half of burlap around rootballs and cut and remove any twine around trunk or root flare.

-All stakes and guy wires and tree wrap are to be removed no more than 1 year after installation.

-Tree wrap, if used, is to be installed by November 1 and to be removed by April 1.

City of North Little Rock Design Standards:

Street Trees (7.2.3)
Along 174' of Maumelle Blvd frontage, street trees are required (Table B) every 30'
6 Street Trees required - 6 Street Trees provided

Landscape Strips (7.2.2)
- Along any yard facing a street: minimum 6 feet wide (6' bed provided)
- Along other front, side, and rear yards adjacent to parking/drives: minimum 4 feet wide (6' bed provided)
- A continuous shrub screen is required in any landscape strip adjacent to a parking area (Provided)

Parking Lot Shading (7.2.1)
1 tree per 6 parking spaces
6 parking spaces proposed - 2 Trees provided

No.	Date	By	Revision Notes
1	12/17/25	MVG	

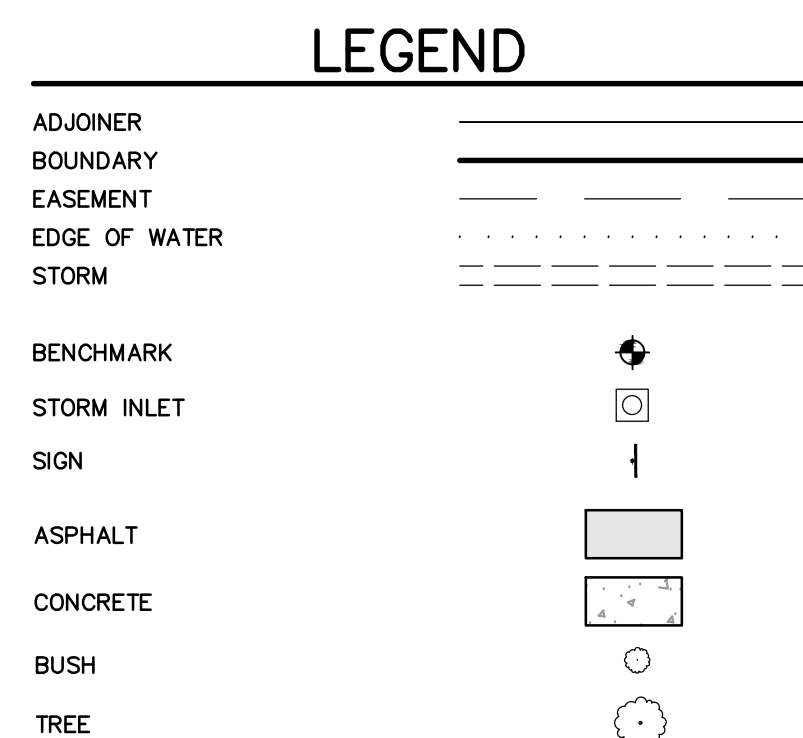
Project Address	Club Car Wash Maumelle Blvd North Little Rock, Arkansas 72113
Design Firm	Elevate Outdoor LLC. 1112 Bryan Road O'Fallon, Missouri 63366
Consultant	Mark Gawriluk
Project Title	Club Car Wash North Little Rock, Arkansas
Sheet Title	Landscape Plan
Project Manager	Project ID
Drawn By MVG	Scale 1" = 40'
Reviewed By	Sheet No.
Date 6/22/2026	L-1 of 1

A TRACT OF LAND BEING PART OF THE NORTHEAST QUARTER OF THE NORTHWEST QUARTER
OF SECTION 10, TOWNSHIP 2 NORTH, RANGE 13 WEST,
CITY OF NORTH LITTLE ROCK, PULASKI COUNTY, ARKANSAS

VICINITY MAP
NOT TO SCALE

WE, THE UNDERSIGNED OWNER(S) OF THE TRACT OF LAND HEREBY PLATTED AND FURTHER DESCRIBED IN THE FOREGOING SURVEYOR'S CERTIFICATE HAVE CAUSED THE SAME TO BE SURVEYED AND SUBDIVIDED IN THE MANNER SHOWN ON THIS PLAT, WHICH SUBDIVISION SHALL HEREAFTER BE KNOWN AS THE "CLUB CAR WASH SUBDIVISION PLAT".

PREPARED FOR:
CLUB CAR WASH OPERATING, LLC
1591 PRATHERSVILLE ROAD
COLUMBIA, MO 65202



1"=40'

1"=40'

*CLUB CAR WASH SUBDIVISION PLAT
MAUMELLE BLVD AND RIVER POINTE DR
NORTH LITTLE ROCK, ARKANSAS 72113*

PRELIMINARY PLAT

1 OF 1

Submittal of Site Plan Review - 8 hard copy sets + a copy on a CD

12/2/2020

(this checklist is to be **completely filled out by applicant** before submittal)

Each set to contain all of the following:

- | | |
|--|---|
| ☐ 1 (8) Drawings, folded to 10x12 or smaller | ☐ 23 Zoning within and around plat |
| ☐ 2 (8) Letter of requests, stating any variance (one letter paper clipped to each set) | ☐ 24 FEMA Panel Number with 100 year elevation |
| ☐ 3 (8) Site Plan Review checklists (one checklist <u>paper clipped</u> to each set) (omission of any required items may cause postponement or refusal) | N/A ☐ 25 Flood Plain / wetlands contours |
| ☐ 4 (1) CD - Letter, checklist, & drawings should be combined into one .pdf file (not all separate files) | ☐ 26 Area in acres on each lot |
| | ☐ 27 Sign location, edge 5' from property line |
| | ☐ 28 Screened dumpster location |
| | ☐ 29 Sidewalk location |

Title Block to include:

- | | |
|---|--|
| ☐ 5 Title "Site Plan Review" | ☐ 30 Building outline with square footage |
| ☐ 6 Name of subdivision | ☐ 31 Street trees, 30' on center |
| ☐ 7 Lot and block numbers | ☐ 32 Shade trees, 1 per 6 parking spaces |
| ☐ 8 Date of drawing | ☐ 33 Required landscaping and buffers |
| | ☐ 34 First floor elevation |

Required Items on all Site Plan Review

- | | |
|---|--|
| ☐ 9 Graphic scale | ☐ 35 Concrete driveways in right-of-way |
| ☐ 10 North arrow | ☐ 36 Nearest fire hydrant(s) |
| ☐ 11 Legal description | ☐ 37 Water / sewer lines |
| ☐ 12 Vicinity map | ☐ 38 Parking lot layout |

Required Items if applicable:

- | | |
|---|--|
| ☐ 13 Engineers / Surveyors name and address | N/A ☐ 39 Fire flow / water pressure |
| ☐ 14 Developers name and address | ☐ 40 Finished grading plan |
| ☐ 15 Owners name and address | N/A ☐ 41 Municipal, County or Section lines |
| ☐ 16 Names of abutting subdivisions/owners | N/A ☐ 42 Phase map, if staging is planned |
| ☐ 17 Street names | ☐ 43 Storm water detention easement |
| ☐ 18 Street centerlines with right-of-way widths | ☐ 44 Other easements _____ |
| ☐ 19 Boundary lines with dimensions | N/A ☐ 45 Hillside cut proposal |
| ☐ 20 Utility easements | ☐ |

Site Plan Review Fees = \$200

N/A ☐ 22 Section corners or other monuments



City of North Little Rock

Engineering Department

500 West 13th Street, North Little Rock, AR 72114

Engineering Site Plan Review Checklist

Answer every question (Yes, No or Not Applicable).

1. Are storm drainage facilities designed (or will be designed) in accordance with not less than a one in 25-year rainfall design frequency, or in the Central Business District (CBD), where a one in 50-year rainfall design frequency is used?

Circle: Yes or No or NA

2. Does Owner/Engineer plan to provide on-site detention of storm water run-off?

Circle: Yes or No or NA

If no, Owner/Engineer must either pay storm water in-lieu fee (\$5000/acre for non-residential or \$500/acre residential) or demonstrate to City Engineering that on-site detention is not required. Note: Stormwater in-lieu fee is subject to approval by City Engineering.

3. Is the on-site detention facility or other appropriate and approved means to control the increased runoff from development designed to accommodate the 25-year storm?

Circle: Yes or No or NA

4. Is the proposed project property in a designated Federal Emergency Management Agency (FEMA) Special Flood Hazard Areas (SFHAs)?

Circle: Yes or No

If yes, provide FEMA Flood Insurance Rate Map (FIRM) with the proposed Project property located on map.

For proposed project within FEMA floodplain Zone AE, provide elevation of FEMA 100-year floodplain _____.

If proposed project is within Zone A, coordinate required FEMA 100-year floodplain elevation with City Engineer.

5. Is the first floor of any proposed buildings or building additions a minimum of 1' above FEMA 100-year floodplain?

Circle: Yes or No or NA

6. Is the proposed project property in a previously undeveloped area?

Circle: Yes or No

7. Are there any known wetlands located on this property?

Circle: Yes or No

8. Do the existing or proposed sidewalks comply with CNLR regulations? (contact the City Engineer for regulations)

Circle: Yes or No or NA

If not, explain.

9. Are proposed driveways concrete in the City Right-of-Way?

Circle: Yes or No or NA

10. Are proposed commercial/industrial driveways further than 40' from intersecting streets or 10' from adjoining property lines?

Circle: Yes or No or NA

11. Are proposed commercial/industrial driveways further than 40 feet from other existing/proposed drives?

Circle: Yes or No or NA

12. Are the location of driveways regulated by an Access Management Plan? (Refer to the Master Street Plan document for list and regulations for access plans).

Circle: Yes or No

13. Are cross drains in the street Right-of-Way (ROW) reinforced concrete pipe (RCP) with concrete headwalls? (use of concrete flared end sections will be determined on a case by case basis with City Engineering)

Circle: Yes or No or NA

14. Is a grading plan with proposed finished contours or spot elevations shown for the proposed development?

Circle: Yes or No

15. Are utilities/mains (water, sewer, electric, etc) labeled and shown as existing or proposed improvements?

Circle: Yes or No or NA

16. Are utility service lines to the proposed development shown?

Circle: Yes or No or NA

17. Is the proposed project located in steep and rugged terrain where: (1) the slope is steeper than a vertical rise of 1 foot for each 4 feet of horizontal distance (4:1 slope) prior to the alteration; or (2) the final grade is steeper than a 4:1 slope between abutting lots or tracts of land?

Circle: Yes or No

If yes, Owner/Engineer shall follow the requirements of the "CNLR Regulation to Control Development and Subdivision of Land, Article 14 - Hillside Regulations" and coordinate with City Engineering prior to Subdivision Review Meeting. (Requirements are met and calculations are shown on plan sheets per coordination with City Engineering.)

18. For the proposed project, check applicable permits required for the proposed project:

_____ CNLR Stormwater Permit (required for all proposed projects).

N/A _____ CNLR Floodplain Development Permit (required for all proposed projects in FEMA Special Flood Hazard Areas).

N/A _____ Arkansas Department of Environmental Quality (ADEQ) Stormwater Permit.

N/A _____ AHTD permit for driveway or utility work within the State Rights-of-Way (ROW).

N/A _____ Arkansas Department of Health approval for water and sewer facilities.

N/A _____ Corps of Engineers (COE) 404 Clearance/Permit.

All applicable Permits checked above shall be obtained prior to receiving a Construction Building Permit.

List any other applicable State or Federal permits required.

Note to Owner:

CNLR Excavation Permit is required for excavations/street cuts within the City's ROW.

CNLR Barricade Permit is required for lane closures or maintenance of traffic within City's ROW.

Submittal of Preliminary Plat or Replat - 8 hard copy sets + a copy on a CD

01/02/2019

(this checklist is to be **completely filled out by applicant** before submittal)

Each set to contain all of the following:

- | | |
|---|---|
| ☐ 1 (8) Drawings, folded to 10x12 or smaller | ☐ 23 Zoning within and around plat |
| ☐ 2 (8) Letter of requests, stating any waivers
(one checklist <u>paper clipped</u> to each set) | ☐ 24 FEMA Panel Number with 100 year elevation |
| ☐ 3 (8) Preliminary Plat checklists
(one checklist <u>paper clipped</u> to each set)
(omission of any required items may
cause postponement or refusal) | N/A ☐ 25 Flood Plain / wetlands contours |
| | ☐ 26 Area in acres on each lot |
| | ☐ 27 Total acreage of subdivision |
| ☐ 4 (1) CD - Letter, checklist & drawings should be
combined into one .pdf file (not all separate files) | ☐ 28 Contour Intervals |

Title Block to include:

- | | |
|---|---|
| ☐ 5 Title "Preliminary Plat" or "Replat" | ☐ 29 Preliminary Engineers Certificate |
| ☐ 6 Name of subdivision | ☐ 30 Preliminary Surveyors Certificate |
| ☐ 7 Lot and block numbers | ☐ 31 Preliminary Plat Approval Certificate |
| ☐ 8 Date of drawing | |

Required Items on all Preliminary Plats

Required Items if applicable:

- | | |
|---|--|
| ☐ 9 Graphic scale | N/A ☐ 32 Municipal, County or Section lines |
| ☐ 10 North arrow | N/A ☐ 33 Phase map, if staging is planned |
| ☐ 11 Legal description | N/A ☐ 34 Storm water detention easement |
| ☐ 12 Vicinity map | ☐ 35 Other easements <u>Cross Access Easement</u> |
| ☐ 13 Engineers / Surveyors name and address | N/A ☐ 36 Natural features |
| ☐ 14 Developers name and address | N/A ☐ 37 Cultural features |
| ☐ 15 Owners name and address | ☐ 38 Linear feet of new streets |
| ☐ 16 Names of abutting subdivisions/owners | |
| ☐ 17 Street names | |
| ☐ 18 Street centerlines with right-of-way widths | |
| ☐ 19 Boundary lines with dimensions | |
| ☐ 20 Utility easements | |
| ☐ 21 Building setbacks | |
| ☐ 22 Section corners or other monuments | |

Preliminary Plat Fees = \$250

Replat Fees = \$250