

North Little Rock Planning Commission
August 11, 2026 - Agenda / Public Hearing 4:00 PM
City Council Chambers – 300 Main Street, NLR, AR 72114

I. Call to Order

II. Roll Call & Finding of a Quorum

III. Administrative

IV. Approval of Minutes July 14, 2026

V. Planning Commission Agenda Items

1. RZ2026-10 Faulkner Crossing Phase 12 – 14 Rezoning from R2 to R3 and RU to allow development of a residential subdivision @ the East end of Amaranth Dr
2. SD2026-37 Faulkner Crossing Phase 12 – 14 Preliminary Plat for 84 acres 429 lots constructed in 3 phases @ the East end of Amaranth Dr
3. RZ2026-11 a Rezoning from R3 to R4 for development of a triplex @ 1213 W 18th St
4. SD2026-42 Missouri Pacific Add Lots 7, 8 and 9 Blk 15 SPR for development of a triplex @ 1213 W 19th St
5. SD2026-40 Springhill Development Addition Lot 1 Block 1 SPR 4600 McCain Blvd SPR for a Homewood Suite Hotel
6. SD2026-45 Maumelle Gateway Addition Preliminary Plat @ 12501 Maumelle Blvd
7. SD2026-46 Riverside Add Lot A Blk 3 Replat and SPR @ 901 Dorthy Rodham Way
8. SU2026-14 a Special Use to allow auto sales in a C3 zoning district located at 1201 Parkway Dr
9. RZ2026-12 a Rezoning from C3 to R2 to recognize the existing use of the property as single family @ 4001 HWY 161

VI. Public Comment

VII. Adjournment

Reminder -

- ❖ Commissioners and Participants speak into the microphone
- ❖ Turn off or silence cell phones
- ❖ Next Planning Commission Hearing Date September 8, 2026 @ 4 pm – Council Chambers, 300 Main Street, NLR, AR

NLR PLANNING COMMISSION MEETING PROCEDURES

PUBLIC HEARINGS: The regularly scheduled meeting is held on the second Tuesday of each month at 4:00 pm in the City Council Chambers, 300 Main Street, NLR, AR 72114. All Planning Commission meetings are open to the public. Typical meetings begin with Roll Call, Approval of the previous meeting Minutes, Old and New Business, Public Comment and Adjournment. The Commission considers Zoning Requests, Conditional and Special Use Requests as well as Development Review Items which are presented as summary recommendations of the Design Review Committee. The Planning Commission is not the final action on Rezoning, Special and Conditional Use requests. The Commission merely provides a recommendation on these items which is then forwarded to City Council for final action.

NOTICE TO MEMBERS OF THE AUDIENCE: All interested parties may appear and be heard at the public hearings. If you wish to address the Planning Commission on an agenda item, please queue behind the podium when the item is called and the Chair asks for comment from the audience. Once the Chair recognizes you, go to the podium and give your name and address. Address your comments to the Chair, who is the presiding officer. The Chair will direct your comments to the appropriate appointed official, staff, or others for response. Please keep your comments brief, to the point, and relevant to the agenda item being considered so that everyone has an opportunity to express their view.

GENERAL INFORMATION:

1. No person shall address the Planning Commission without first being recognized by the Chair.
2. All questions and remarks shall be made from the podium and addressed through the Chair.
3. After being recognized, each person shall state their name and address for the record.
4. When a group of citizens are present to speak on an item, a spokesperson(s) shall be selected by the group to address the Planning Commission. Presentations by the spokesperson(s) shall be limited to 3 minutes.
5. Additional member(s) of a group may be recognized if new or additional information is to be provided on an item. The time for this additional presentation is also limited to 3 minutes.
6. For individuals, not represented by a citizen group, presentations shall be limited to 3 minutes.
7. All remarks shall be addressed to the Planning Commission as a whole and not to any individual Planning Commission member.
8. No person, other than a Planning Commission member and the person having the floor, shall be permitted to enter into any discussion, either directly or indirectly, without first being recognized by the Chair.
9. Once the Question is called for or discussion on an item is closed, no person in the audience shall address the Planning Commission on the matter without first securing consent to do so by a majority vote of the Planning Commission members present.
10. All information, exhibits, photos, correspondence submitted at the hearing for the Commission's consideration will become a part of the record and will be retained by the Secretary of the Planning Commission for inclusion in the case file.
11. For persons wishing to submit information for the Planning Commission to consider at the hearing the information shall be provided one copy for each of the Planning Commissioners, one copy for the City Attorney's office, one copy for the case file and one copy for the Planning Director (12 copies total).
12. Anyone wishing to read a statement into the record shall provide the Secretary of the Planning Commission with a written copy of the statement at the time the statement is read into the record.

VOTING: There are 9 Commissioners. A quorum consists of 6 members present. "Robert's Rules of Order" apply unless the Commission outlines alternative procedures. As per the Commission's By-laws, all motions must be approved by a minimum of 5 positive votes. A simple majority of the members present does not necessarily approve a motion.

**North Little Rock Planning Commission
Minute Summary
July 14, 2026**

Chairman White called the meeting of the North Little Rock Planning Commission to order at 4:00 PM in the Council Chambers, City Hall, 300 Main Street, North Little Rock, AR. Rollcall found a quorum to be present; a quorum being six (6) members present.

Planning Commission Members Present:

Emanuel Banks
Vandy Belasco
Don Chambers
Junior Phillips
Renee Pierce
Reverend William Robinson
Edward Wallace
Steve White, Chairman

Members Absent:

Charlie Foster

Staff Present:

Marie-Bernarde Miller, Deputy City Attorney
Donna James, Assistant Director of Planning

Approval of Minutes: Commissioner Chambers made a motion to approve June 9, 2026, minute summary as submitted. Commissioner Wallace provided a second to the motion. By voice vote, the Commission members present voted unanimously in favor of the motion, (8/0/1).

Administrative: There were no administrative items for discussion.

Planning Commission Hearing Items – Development Review Committee & Public Hearings:

1. RZ2026-10 Faulkner Crossing Phase 12 – 14 Rezoning from R2 to R3 and RU to allow development of a residential subdivision @ the East end of Amaranth Dr

Chairman White called the item requesting the applicant come forward to address the Commission on the merits of the request. Mr. Bear Davidson of Davidson Engineering was present representing the developer, Stillwater Land Development. Mr. Davidson stated the developer proposed a rezoning of the property along with a preliminary plat to allow the development of 84-acres with 429 lots for a combination of single-family homes and duplex housing. He stated the site was located at the east end of Amaranth Drive in the Faulkner Crossing Subdivision.

Commissioner Wallace questioned if the applicant had reviewed staff's concerns. Mr. Davidson stated he had reviewed staff's comments and he felt their primary concern was density. He stated the existing development pattern in the area allowed 3 to 4 units per acre and the subdivision was proposed with 5 to 6

units per acre. He stated the development was an increase in density but not a substantial change compared to other developments in the area. He stated the increase in density allowed for a more diverse development but also a range of price points to offer for residents in the area. He stated he understood the concerns of wastewater and his company had begun the capacity analysis and would work with wastewater to determine the necessary improvements to allow connection to the system. He stated he understood all improvements would be at the developer's expense. He stated technical requirements would be addressed with the full set of drawings. He stated the question which remained was the density questions.

Commissioner Chambers stated he was concerned with the density but felt this could be mitigated with areas set aside for open space. He stated that parks and playgrounds were essential to a neighborhood. He stated the current proposal forced residents to seek recreation in other subdivisions. He stated the site plan needed more property owner's association maintained open space. He stated he felt the density was too great for the area which was not developed as an urban area but as a suburban area.

Mr. Davidson questioned if the concerns would be less if the plan designated four to five areas as open space. He stated the developer was willing to eliminate lots and group the areas to allow for playgrounds and open space. He stated the areas would be somewhere near one-half to one-acre open space areas. Commissioner Chambers stated the size of the play area would be the indicator. He stated if the area was of a size that would support a manufactured playground equipment set then this would be more appealing. Mr. Davidson stated each of the areas would be one-half to one acre in size. He stated the developer was excited about the area and the proposed development. He stated the developer would like to pursue the density as proposed but also provide a quality development.

Mr. Forrest Brimley addressed the Commission in opposition of the rezoning request. He stated he was a member of the Faulkner Crossing property owner's association and a member of the North Little Rock Municipal Improvement District #37 which served Faulkner Crossing. He stated he had served on five of the Association's eight boards since its incorporation in 2009. He stated he was a concerned owner/resident of Faulkner Crossing.

He stated neither he nor the Association was opposed to growth. He stated they understood that North Little Rock was growing, and responsible development benefited everyone. He stated, however, growth must be accompanied by infrastructure that was capable of supporting the growth. He stated unfortunately, that had not been the neighborhood's experience. He stated that when Faulkner Crossing was first developed, significant drainage problems became apparent almost immediately. He stated by the time Phase II was under construction, streets within the subdivision were already flooding because the stormwater infrastructure could not adequately manage the runoff. He stated that in 2019 Willow Beach flooded and the Brewer's farmland located south of the subdivision held 2 to 3 feet water just yards from the neighborhood streets homes and yards. He stated there was nowhere for the water to go.

He stated the retention pond located on the Milton Brothers property was intended to serve the development, yet it proved to be inadequate during the early phases of construction. He stated today, after completion of Phase XI, many of those same drainage concerns still existed. He stated if the existing infrastructure struggled during Phase II and continued to struggle after Phase XI, it was difficult to understand how it would safely accommodate four additional phases and nearly 429 more homes. He stated the original plans also included a system of drainage catch basins designed to collect stormwater and convey it to the retention pond. He stated unfortunately, many of those basins simply hold standing water instead of functioning as intended. Mr. Brimley stated as a result, the Property Owners Association had

inherited the responsibility of maintaining drainage facilities that required specialized equipment and ongoing maintenance beyond the capability of a volunteer neighborhood association. He stated the responsibility of maintenance should never have become the burden of homeowners because the infrastructure was inadequately designed or constructed. He stated a legitimate concern with this development was a repeat of bad design that would ultimately be left for the property owners to manage. He stated the neighborhood was also deeply concerned about access and public safety. He stated the proposed development would place approximately 429 additional homes behind what was essentially a single primary point of ingress and egress. He stated whether responding to a medical emergency, a house fire, or severe weather, emergency vehicles and residents alike depended on reliable access. He stated increased traffic and limited access created risks that deserved careful consideration before approval was granted. Mr. Brimley stated another issue that could not be ignored was construction quality. He stated the existing subdivision had experienced recurring sinkholes and infrastructure failures associated with drainage and underground utility systems. He stated these problems had required repeated repairs and had understandably diminished residents' confidence that existing deficiencies would be corrected before additional development proceeded. He requested before approving the project, he respectfully requested the Commission to consider several important questions which included:

- Had an independent engineering study verified that the existing stormwater system had sufficient capacity for 429 additional homes?
- Had the retention pond been evaluated and, if necessary, redesigned to safely accommodate the increased runoff?
- Who would be responsible for maintaining any new drainage infrastructure over the long term?
- Had a comprehensive traffic study determined that the existing road network and emergency access were adequate? Amaranth was a single, tiny street. One street for ingress and egress was woefully inadequate!
- Finally, had the infrastructure deficiencies affecting the existing neighborhood been fully addressed?

Mr. Brimley stated these concerns were not hypothetical but were issues that the residents of Faulkner Crossing had experienced for years. He respectfully ask the Planning Commission to require the developer to demonstrate with engineering data, not assumptions that these longstanding infrastructure, drainage, traffic, and public safety concerns had been fully resolved before approving any additional phases of development. He stated responsible growth protected both current residents and future homeowners. Mr. Brimley stated the neighborhood believed that approving this project before resolving these existing deficiencies would place unnecessary risks and burdens on the community.

Ms. Sandra Payne addressed the Commission stating her concern was also flooding. She stated the neighborhood delt with flooding in 2010 and 2019. She stated another concern was sink holes. She stated the City Engineer had stated the streets, drainage and sidewalks had been improperly installed which was causing the sink holes. She stated another concern was notification. She stated she went out on Sunday and went door to door asking if people were notified and no one had received notice. She stated the sign for the rezoning was in a hidden location. She stated the sign had been placed far back in the subdivision where no one could see the sign not in a highly visible location.

There was a question by Commissioner Pierce concerning notification. Staff stated notice was provided as required by the Commission's by-laws.

Commissioner Chambers stated he felt the developer should provide a traffic analysis and a drainage analysis to determine that each was being addressed. He stated it was important to determine whether there was adequate access to Faulkner Lake Road. He stated he would put this in the form of a motion if the Commission felt this was an issue that should be considered.

Mr. Davidson stated he wanted to clear up a couple of issues which had been raised. He stated one the notification had been provided as required by the Commission's by-laws. He stated this requirement would not reach everyone in the subdivision, but the minimum requirement had been met. He stated the statement concerning open spaces for drainage. He stated the areas would not be eliminated as drainage easement nor would the areas be designated as open space. Mr. Davidson requested the Commission table the item for a month and allow his firm to go back to the "drawing board" and incorporate the feed-back received from the Commission as well as the neighbors and indicate these items on the proposed preliminary plat.

Chairman White requested a motion to table the item. Commissioner Pierce made the motion and Commissioner Wallace provided a second to the motion. Chairman White called for a roll call vote on the request to table the item:

Banks	Yes		Belasco	Yes	Chambers	Yes
Foster	Absent		Phillips	Yes	Pierce	Yes
Robinson	Yes		Wallace	Yes	White	Yes

The rezoning request was tabled to the August 11, 2026, hearing by a vote of 8-0-1.

Commissioner White stated he would like Mr. Davidson and the developer to get with the residents and discuss the proposed development and solutions for development. He stated the residents' concerns were ligament. He stated the developer had a project, but the residents lived there.

Commissioner Chambers requested Mr. Davidson provide at the next meeting some level of a traffic study. He requested the applicant provide the number of vehicles which would be released onto Amaranth Drive and address the neighbor's concerns that a very short piece of street was going to be choked with new vehicles because there was only one point of access onto Faulkner Lake Road and with 429 residential lots all going in and out on one little street to Faulkner Lake Road. He stated this was a lot of people to add to a very difficult situation. He stated at the Design Review Committee meeting the applicant had stated there would be a platted easement to allow emergency vehicle access through the Middleton property and to allow a secondary access for emergency vehicles but the access would not be there for regular vehicle use.

Chairman White questioned Ms. Miller if the Commission could require a traffic study and a drainage study to determine the impact of the development on the existing facilities in the area. Ms. Miller responded in the positive. Chairman White stated he would entertain a motion to address the concerns of the traffic and drainage via a traffic study and a drainage study. Commissioner Chambers provided a motion the developer provide a traffic and drainage study for the proposed development to address the residents' concerns. Commissioner Blasco provided a second to the motion.

Chairman White called for a roll call vote on the motion:

Banks	Yes		Belasco	Yes	Chambers	Yes
Foster	Absent		Phillips	Yes	Pierce	Yes
Robinson	Yes		Wallace	Yes	White	Yes

Commission voted to require the preparation of a traffic and drainage analysis for the project by a vote of 8-0-1.

Commissioner Banks questioned the wastewater comment concerning capacity. Mr. Davidson stated between now and the next meeting they would complete their sewer impact analysis and meet with wastewater. Chairman White requested Mr. Davidson provide written communication from wastewater stating if the system could take care of the additional capacity. Mr. Davidson agreed to provide this information.

2. SD2026-37 Faulkner Crossing Phase 12 – 14 Preliminary Plat for 84 acres 429 lots constructed in 3 phases @ the East end of Amaranth Dr

The applicant requested the item be postponed to the August 11, 2026, hearing to allow the rezoning and the site plan to be considered at the same meeting. Chairman White called for a roll call vote on the postponement:

Banks	Yes	Belasco	Yes	Chambers	Yes
Foster	Absent	Phillips	Yes	Pierce	Yes
Robinson	Yes	Wallace	Yes	White	Yes

SD2026-37 was postponed to the August 11, 2026, hearing by a vote of 8-0-1.

3. SD2026-38 Lakewood Addition Lot 4B, Blk 67, SPR for Goodwill Donation Drop-off @ 4583 Fairway Ave

Mr. Jacob White was present representing the request. Commissioner Chambers stated the Design Review Committee reviewed the application, the applicant was agreeable to the conditions, and the Committee recommended approval conditioned upon:

1. Provide approval from Board of Zoning Adjustment for the rear yard setback variance prior to requesting a building permit for the canopy construction.
2. Engineering requirements on detention:
 - a. If applicable, pay the drainage in-lieu fee of \$5000/acre for the increase of impervious surfaces. (roof tops/parking)
3. Permit requirements/approvals submitted before a building permit will be issued:
 - a. A signed and recorded plat must be on file with the Planning Department.
 - b. Provide CNLR Stormwater Permit application to City Engineer with half size erosion control plan showing silt fence, storm inlet protection, and drainage details.
 - c. If applicable, provide CNLR driveway/curb cut permit application to City Engineer or copy of ARDOT driveway permit if State Highway.
 - d. Provide copy of Arkansas Department of Health approval for water and sewer facilities to NLR Planning Department if an extension of a main is required.

- e. Prior to construction, Owner's Architect/Engineer shall submit signed construction plans and specifications (PDF format) to NLR Planning Department.
- 4. Meet the requirements of the City Engineer, including:
 - a. Prior to any excavation/street cuts within street ROW, provide CNLR Excavation Permit to City Engineer and Barricade Plan Permit to NLR Traffic Services.
 - b. Repair or replace existing sidewalk and curb to City Engineer's standards.
 - c. Contractor shall notify City Engineer at least 1 day prior to the construction of all stormwater pipes and inlet structures within City ROW.
 - d. At the end of construction, Owner/Developer shall have a Professional Engineer, licensed in the State of Arkansas, certify that all street and stormwater improvements in conjunction with this subdivision and/or the proposed development have been inspected and constructed in accordance with the approved plans and meet all City of North Little Rocks Standard Specifications.
 - e. Driveway radii shall be labeled and shall have 25' minimum radii and be built according to CNLR standard details (available at NLR Engineering Department).
 - f. Driveways shall not be closer than 40' to adjoining streets or 10' from adjoining property lines.
 - g. Spacing between proposed commercial/industrial driveways shall not be closer than 40'.
 - h. Driveway widths shall be labeled and shall be 10' minimum to 40' maximum.
 - i. Cross drains in the ROW shall be labeled and shall be RCP with flared end sections unless otherwise approved by Engineering.
 - j. All driveways are to be concrete within the ROW.
 - k. Street improvements must be approved by City Engineer and accepted by City Council.
- 5. Meet the requirements of Community Planning, including:
 - a. Provide the standard requirements of Zoning and Development Regulations.
 - b. Provide dumpster location.
 - c. Dumpster to have masonry screening.
 - d. All exterior lighting shall be shielded and not encroach onto neighboring properties.
- 6. Meet the requirements of the Master Street Plan.
- 7. Meet the requirements of the Screening and Landscaping ordinance, including:
 - a. All disturbed areas are to be sodded, fertilized, watered and mulched.
 - b. Any new site development must comply with the City's minimal landscape and buffer ordinance requirements.
 - c. Any disturbed turf or groundcover shall be repaired before final acceptance of the project, show limits of work on landscape / site plan.
- 8. Meet the following requirements concerning signage:
 - a. All signs require a permit and separate review.
- 9. Meet the requirements of the Fire Marshal.
- 10. Meet the requirements of CAW, including:
 - a. All Central Arkansas Water requirements in effect at the time of request for water service must be met.
 - b. The North Little Rock Fire Department needs to evaluate this site to determine whether additional public and/or private fire hydrant(s) will be required. If additional fire hydrant(s) are required, they will be installed at the Developer's expense.
 - c. Please submit plans for water facilities and/or fire protection system to Central Arkansas Water for review. Plan revisions may be required after additional review. Contact Central Arkansas Water regarding procedures for installation of water facilities and/or fire service. Approval of plans by the Arkansas Department of Health Engineering Division and North Little Rock Fire Department is required.

- d. If there are facilities that need to be adjusted and/or relocated, contact Central Arkansas Water. That work would be done at the expense of the developer.
 - e. The facilities on-site will be private. When meters are planned off private lines, private facilities shall be installed to Central Arkansas Water's material and construction specifications and installation will be inspected by an engineer, licensed to practice in the State of Arkansas.
 - f. Execution of Customer Owned Line Agreement is required.
 - g. Due to the nature of this facility, installation of an approved reduced pressure zone backflow preventer assembly (RPZ) is required on the domestic water service. This assembly must be installed prior to the first point of use. Central Arkansas Water (CAW) requires that upon installation of the RPZA, successful tests of the assembly must be completed by a Certified Assembly Tester licensed by the State of Arkansas and approved by CAW. The test results must be sent to CAW's Cross Connection Section within ten days of installation and annually thereafter. Contact the Cross Connection Section at 501-377-1226 if you would like to discuss backflow prevention requirements for this project.
 - h. Fire sprinkler systems which do not contain additives such as antifreeze shall be isolated with a double detector check valve assembly. If additives are used, a reduced pressure zone backflow preventer shall be required.
11. Meet the requirements of NLR Wastewater, including:
- a. Please verify the 10' Sewer Easement shown on the Site Plan.
 - b. Submit a full set of plans to kunderwood@nlrwu.com for review and approval before construction begins. Construction shall not commence until approval is granted.

Commissioner Blasco provided a second to the motion. By voice vote, the Commission voted unanimously for approval (8/0/1).

4. SD2026-39 Donovan Briley Subdivision Lot 2 SPR for 7.018-acres and the development of 72 residential townhomes @ 900 Donovan Briley Blvd

Mr. Jacob White was present representing the request. Commissioner Chambers stated the Design Review Committee reviewed the application, the applicant was agreeable to the conditions, and the Committee recommended approval conditioned upon:

- 1. Engineering requirements on detention:
 - a. Provide on-site storm water detention as well as clear calculations showing that detention volume is sufficient or demonstrate to City Engineer that on-site detention is not required (based on proposed development) by providing detention calculations showing pre and post site runoff comparisons.
- 2. Permit requirements/approvals submitted before a building permit will be issued:
 - a. A signed and recorded plat must be on file with the Planning Department.
 - b. Prior to construction, Owner's Engineer shall submit stormwater design report for review and approval by the City Engineer. Stormwater plans and detention calculations are to be approved by City Engineer and a written approval provided to Planning Department. Drainage submittal shall include, as a minimum, the following:
 - i. Proposed pipe material specifications.
 - ii. Proposed trench and bedding details, materials and specifications.
 - c. Provide CNLR Grading Permit application to City Engineer with grading plans.
 - d. Provide CNLR Stormwater Permit application to City Engineer with half size erosion control plan

- showing silt fence, storm inlet protection, and drainage details.
 - e. Provide CNLR driveway/curb cut permit application to City Engineer or copy of ARDOT driveway permit if State Highway.
 - f. Provide copy of Arkansas Department of Environmental Quality (ADEQ) Stormwater Permit to City Engineer.
 - g. If applicable, provide copy of Corps of Engineers (COE) 404 Clearance/Permit to City Engineer.
 - h. Provide copy of Arkansas Department of Health approval for water and sewer facilities to NLR Planning Department if an extension of a main is required.
 - i. Prior to construction, Owner's Architect/Engineer shall submit signed construction plans and specifications (PDF format) to NLR Planning Department.
 - j. Prior to construction, Owner's Architect/Engineer shall submit digital maps for all stormwater drainage features in an ArcGIS or AutoCAD file to the City Engineer. The digital maps shall be natively in State Plane coordinate system, Arkansas North Zone, North American Datum 1983, units as feet; or the map must have sufficient points for georeferencing. The associated attribute data table from the submitted file shall match the fields contained within the "SW Attribute Data Entry Template.xlsx" as provided by City Engineering Department. All Control, Linear, and Junction map features will be annotated by a unique identifier that will correspond to the same unique identifier in the "SW Attribute Data Entry Template.xlsx" or GIS attribute table. Data for each attribute column in the "SW Attributed Data Entry Template.xlsx" file shall be chosen from the drop-down options of each cell, or chosen as "Other" (if not listed) and described in the comments field. At the completion of the project, As-Builts of these shapefiles in ArcGIS or AutoCAD format, along with associated attribute data table, shall be submitted to the City Engineer.
3. Meet the requirements of the City Engineer, including:
- a. Prior to any excavation/street cuts within street ROW, provide CNLR Excavation Permit to City Engineer and Barricade Plan Permit to NLR Traffic Services.
 - b. Contractor shall notify City Engineer at least 1 day prior to the construction of all stormwater pipes and inlet structures within City ROW.
 - c. At the end of construction, Owner/Developer shall have a Professional Engineer, licensed in the State of Arkansas, certify that all street and stormwater improvements in conjunction with this subdivision and/or the proposed development have been inspected and constructed in accordance with the approved plans and meet all City of North Little Rocks Standard Specifications.
 - d. Driveway radii shall be labeled and shall have 25' minimum radii and be built according to CNLR standard details (available at NLR Engineering Department).
 - e. Driveways shall not be closer than 40' to adjoining streets or 10' from adjoining property lines.
 - f. Spacing between proposed commercial/industrial driveways shall not be closer than 40'.
 - g. Driveway widths shall be labeled and shall be 10' minimum to 40' maximum.
 - h. Cross drains in the ROW shall be labeled and shall be RCP with flared end sections unless otherwise approved by Engineering.
 - i. All driveways are to be concrete within the ROW.
 - j. Provide ½ street improvements (street, drainage, curb and gutter, sidewalk, street lights) or a performance bond.
 - k. Provide half of the required 80 foot right-of-way.
 - l. Street improvements must be approved by City Engineer and accepted by City Council.
 - m. Show and label boundary of detention area as a drainage easement.
4. Other Boards approvals required before applying for a building permit:

- a. Provide approved City Council ordinance of waiver of the required half-street improvements curb, gutter and sidewalk along with the required 60-foot pavement width and bike lane required.
5. Meet the requirements of Community Planning, including:
 - a. Provide the standard requirements of Zoning and Development Regulations.
 - b. Provide dumpster location(s).
 - c. Dumpster to have masonry screening.
 - d. No fence is to be located from the front of the building to the public right of way.
 - e. All exterior lighting shall be shielded and not encroach onto neighboring properties.
6. Meet the requirements of the Master Street Plan, including:
 - a. Provide 100-foot right of way dedication along with the required 60-foot of pavement width, curb, gutter and sidewalk and a dedicated bike lane or provide a waiver of the requirements from City Council.
 - b. Provide 5' sidewalks and ramps with a minimum of 5' green space between sidewalk and curb to ADA standards and City standards.
7. Meet the requirements of the Screening and Landscaping ordinance, including:
 - a. All disturbed areas are to be sodded, fertilized, watered and mulched.
 - b. Any new site development must comply with the City's minimal landscape and buffer ordinance requirements.
 - c. Provide a scaled landscape plan, graphically indicating the plant material and locations, plant material legend graphically indicating the different plant materials, plant material list and specifications noting the minimum plant material size at installation.
 - i. Provide note on landscape plan stating all turf and plant material shall be irrigated by an automatic underground irrigation system.
 - d. Provide street trees at a minimum rate 1 tree per 30 linear feet of property line adjacent to the street right-of-way.
 - i. Street trees are to be chosen from Section 7.5 of the North Little Rock zoning code Trees from Table B shall be spaced every thirty (30) feet to achieve the required number of trees; trees from Table C shall be spaced every twenty-five (25) feet; or trees from Table D shall be used if beneath overhead power lines and spaced every fifteen (15) feet.
 - e. Provide a buffer/screening adjacent to the dissimilar land use to the east and south as defined by Section 7.2.4: Buffers between Dissimilar Uses.
 - i. The development of a R4 zoned property adjacent to the R1 zoned property to the south will require a full screen as defined by Section 7.3.1. Class Full Screens.
 - ii. Each side and rear yard buffer areas shall be five (5) percent of the lot width and depth. Buffer areas shall not be less than six (6) feet or greater than forty (40) feet.
 - iii. Trees from Section 7.5, Table B or C shall be spaced every twenty (20) feet; or trees from Table D shall be used if beneath overhead power lines and spaced every twenty (20) feet.
 - iv. An eight (8) foot tall, continuous opaque screen shall be provided. An opaque screen may include one (1) of the following: wall, fence, site grading, or plantings. No fence, wall and/or site grading is required with evergreen trees from Table E. The opaque screen must be opaque within 4 seasons.
 - f. Trees shall be planted at the rate of one (1) tree per six (6) parking spaces.
 - i. Trees ten (10) feet from the edge of parking area may serve for the parking lot shading requirements, but may not satisfy more than fifty (50) percent of the overall requirement for the parking lot or area.
 - ii. Parking lot trees are to be chosen from Table B or C, Section 7.5 of the North Little Rock zoning code, Table D shall be used if beneath overhead power lines.

- g. A continuous screen of shrubs shall be required for any landscape strip adjacent to any parking area.
 - i. Only shrubs from the approved planting list will count toward this requirement, unless approved by the Planning Commission. Shrubs shall be eighteen (18) inches in height at planting and be planted a maximum three (3) feet apart.
- h. Wheel stops shall be required when parking areas abut sidewalks, landscaped areas or pedestrian areas. No portion of a vehicle shall encroach onto a sidewalk, landscaped area or pedestrian area.
- i. Landscape plans to be revised prior to the July 2026 Planning Commission Hearing
- 8. Meet the following requirements concerning signage:
 - a. All signs require a permit and separate review.
- 9. Meet the requirements of the Fire Marshal, including:
 - a. Meet the requirements of the 2021 Arkansas Fire Prevention Code including:
 - i. Townhouse: A single-family dwelling unit constructed in a group of three or more attached units in which each unit extends from the foundation to roof and with open space on at least two sides. (Volume 2 Chapter 2 Definitions)
 - ii. If there are dwellings above other dwellings the buildings shall be sprinklered. (Volume 2 Section 903.2.8, 903.3)
 - Or
 - If each dwelling unit extends from the foundation to the roof they will be separated by fire resistance rated walls meeting the requirements of AFPC Volume 3 Section R302.2.1 or R302.2.2.
 - iii. Exterior walls and eaves shall be five feet or more from the property line or an imaginary line between buildings or shall be fire rated. (Volume 3 Table R302.1(1))
 - iv. Where there are houses, fire hydrants shall have an average spacing of 500 feet along streets. The maximum distance from any point on a street frontage to a hydrant shall be 250 feet. (Volume 1 Appendix C Table C102.1)
 - v. Fire Apparatus access roads shall have an unobstructed width of not less than 20 feet. (Volume 1 Section 503.2.1)
- b. Fire Apparatus access roads will support 85,000 lbs. (Municipal Code Chapter 12, Article 3.2.4 D)
- 10. Meet the requirements of CAW, including:
 - a. Submit Grading to CAW for review, grading over CAW's existing 30" and 24" waterline located within the easement is only permitted with express permission from Central Arkansas Water.
 - b. All Central Arkansas Water requirements in effect at the time of request for water service must be met.
 - c. The North Little Rock Fire Department needs to evaluate this site to determine whether additional public and/or private fire hydrant(s) will be required. If additional fire hydrant(s) are required, they will be installed at the Developer's expense.
 - d. Please submit plans for water facilities and/or fire protection system to Central Arkansas Water for review. Plan revisions may be required after additional review. Contact Central Arkansas Water regarding procedures for installation of water facilities and/or fire service. Approval of plans by the Arkansas Department of Health Engineering Division and North Little Rock Fire Department is required.
 - e. If there are facilities that need to be adjusted and/or relocated, contact Central Arkansas Water. That work would be done at the expense of the developer.
 - f. The facilities on-site will be private. When meters are planned off private lines, private facilities shall be installed to Central Arkansas Water's material and construction specifications and

- installation will be inspected by an engineer, licensed to practice in the State of Arkansas.
- g. Execution of Customer Owned Line Agreement is required.
 - h. Due to the nature of this facility, installation of an approved reduced pressure zone backflow preventer assembly (RPZ) is required on the domestic water service. This assembly must be
 - i. installed prior to the first point of use. Central Arkansas Water (CAW) requires that upon installation of the RPZA, successful tests of the assembly must be completed by a Certified Assembly Tester licensed by the State of Arkansas and approved by CAW. The test results must be sent to CAW's Cross Connection Section within ten days of installation and annually thereafter. Contact the Cross Connection Section at 501-377-1226 if you would like to discuss backflow prevention requirements for this project.
 - j. Fire sprinkler systems which do not contain additives such as antifreeze shall be isolated with a double detector check valve assembly. If additives are used, a reduced pressure zone backflow preventer shall be required.
11. Meet the requirements of NLR Wastewater, including:
- a. Please provide flow projections for the proposed development. NLRW will analyze projected flow and determine the sewer improvements for the receiving system, if any are required.
 - b. Submit a full set of plans to kunderwood@nlrwu.com for review and approval before construction begins. Construction shall not commence until approval is granted.

Commissioner Blasco provided a second to the motion. By voice vote, the Commission voted unanimously for approval (8/0/1).

5. SD2026-41 Odus J Pack Jr Revocable Trust Pre Plat and SPR for reconstruction of a building damaged in the previous winter's ice storm @ 1501 HWY 161

The applicant was present representing the request. Commissioner Chambers stated the Design Review Committee reviewed the application, the applicant was agreeable to the conditions, and the Committee recommended approval conditioned upon:

- 1. Engineering requirements on detention:
 - a. Pay the drainage in-lieu fee of \$5000/acre for the increase of impervious surfaces. (roof tops/parking)
- 2. Engineering requirements before the plat will be signed:
 - a. Provide ½ street improvements (street, drainage, curb and gutter, sidewalk, street lights) or a performance bond.
 - b. Provide half of the required 60 foot right-of-way.
 - c. Street improvements must be approved by City Engineer and accepted by City Council.
- 3. Permit requirements/approvals submitted before a building permit will be issued:
 - a. A signed and recorded plat must be on file with the Planning Department.
 - b. If applicable, provide CNLR Grading Permit application to City Engineer with grading plans.
 - c. Provide CNLR Stormwater Permit application to City Engineer with half size erosion control plan showing silt fence, storm inlet protection, and drainage details.
 - d. Provide copy of Arkansas Department of Health approval for water and sewer facilities to NLR Planning Department if an extension of a main is required.
 - e. Prior to construction, Owner's Architect/Engineer shall submit signed construction plans and specifications (PDF format) to NLR Planning Department.

4. Meet the requirements of the City Engineer, including:
 - a. Prior to any excavation/street cuts within street ROW, provide CNLR Excavation Permit to City Engineer and Barricade Plan Permit to NLR Traffic Services.
 - b. Repair or replace existing sidewalk and curb to City Engineer's standards.
 - c. Contractor shall notify City Engineer at least 1 day prior to the construction of all stormwater pipes and inlet structures within City ROW.
 - d. At the end of construction, Owner/Developer shall have a Professional Engineer, licensed in the State of Arkansas, certify that all street and stormwater improvements in conjunction with this subdivision and/or the proposed development have been inspected and constructed in accordance with the approved plans and meet all City of North Little Rocks Standard Specifications.
5. Planning requirements before the plat will be signed:
 - a. Plat will be submitted to NLR Planning Department in CAD compatible DXF and/or DWG format, tied to Arkansas State Plane Coordinates.
6. Other Boards approvals required before applying for a building permit.
 - a. Provide approval from Board of Zoning Adjustment on waiver of setback requirements.
7. Meet the requirements of Community Planning, including:
 - a. Provide the standard requirements of Zoning and Development Regulations.
 - b. Provide dumpster location.
 - c. Dumpster to have masonry screening.
 - d. No fence is to be located between the front of the building and the front property line (street right of way).
 - e. All exterior lighting shall be shielded and not encroach onto neighboring properties.
8. Meet the requirements of the Master Street Plan, including:
 - a. Provide 5' sidewalks and ramps with a minimum of 5' green space between sidewalk and curb to ADA standards and City standards.
 - b. Provide ½ street improvements.
 - c. Provide ROW dedication.
9. Meet the requirements of the Screening and Landscaping ordinance, including:
 - a. All disturbed areas are to be sodded, fertilized, watered and mulched.
 - b. Any new site development must comply with the City's minimal landscape and buffer ordinance requirements.
 - c. Any disturbed turf or groundcover shall be repaired before final acceptance of the project, show limits of work on landscape / site plan.
10. Meet the following requirements concerning signage:
 - a. All signs require a permit and separate review.
11. Meet the requirements of the Fire Marshal, including:
 - a. Meet the requirements of the 2021 Arkansas Fire Prevention Code including:
 - i. Emergency lighting. (Volume 1 Section 1008)
 - ii. Approved exit signs. (Volume 1 Section 1013)
 - iii. Two emergency exits (Volume 1 Section 1006)
 - b. A main electrical disconnect shall be installed outside of every building (Municipal Code Chapter 4, Article 3, Sec. 1)
12. Meet the requirements of CAW, including:
 - a. Show and reference existing easement for existing 8" main on Highway 161.
 - b. Provide 15' utility easement along E. Broadway and Highway 161 for existing water mains.
 - c. All Central Arkansas Water requirements in effect at the time of request for water service must be met.

- d. Please submit plans for water facilities and/or fire protection system to Central Arkansas Water for review. Plan revisions may be required after additional review. Contact Central Arkansas Water regarding procedures for installation of water facilities and/or fire service. Approval of plans by the Arkansas Department of Health Engineering Division and North Little Rock Fire Department is required.
 - e. If there are facilities that need to be adjusted and/or relocated, contact Central Arkansas Water. That work would be done at the expense of the developer.
 - f. Due to the nature of this facility, installation of an approved reduced pressure zone backflow preventer assembly (RPZ) is required on the domestic water service. This assembly must be installed prior to the first point of use. Central Arkansas Water (CAW) requires that upon installation of the RPZA, successful tests of the assembly must be completed by a Certified Assembly Tester licensed by the State of Arkansas and approved by CAW. The test results must be sent to CAW's Cross Connection Section within ten days of installation and annually thereafter. Contact the Cross Connection Section at 377-1226 if you would like to discuss backflow prevention requirements for this project.
 - g. Fire sprinkler systems which do not contain additives such as antifreeze shall be isolated with a double detector check valve assembly. If additives are used, a reduced pressure zone backflow preventer shall be required
13. Meet the requirements of NLR Wastewater, including:
- a. The proposed building is over a public sewer main. Revise plans to either move the structure outside of the sanitary sewer easement (at least 10 feet away from public main) or relocate the public sewer main.
 - b. Submit a full set of plans to kunderwood@nlrwu.com for review and approval before construction begins. Construction shall not commence until approval is granted.

Commissioner Blasco provided a second to the motion. By voice vote, the Commission voted unanimously for approval (8/0/1).

6. RZ2026-11 a Rezoning from R3 to R4 for development of a triplex @ 1213 W 18th St

The item was postponed to August 11, 2026, hearing to allow notice as required by the Commission's By-laws.

7. SD2026-42 Missouri Pacific Add Lots 7, 8 and 9 Blk 15 SPR for development of a triplex @ 1213 W 19th St

Staff requested the item be postponed to August 11, 2026, hearing to allow the rezoning and site plan to be reviewed at the same meeting.

8. SD2026-43 McCain Mall Addition Replat and SPR for the creation of 4 lots and site plan review for 3 new buildings @ 3929 McCain Blvd

Staff stated the applicant has requested the item be withdrawn, without prejudice. The Commission voted 8-0-1 to approve the withdrawal request.

9. CU2026-06 a Conditional Use to revise the previously approved hours of operation for a daycare in a C3 zoning district @ 2501 N Poplar St

The applicant was not present. By roll call vote the Commission voted 8-0-1 to postpone the request to the August 11, 2026, hearing.

Banks	Yes	Belasco	Yes	Chambers	Yes
Foster	Absent	Phillips	Yes	Pierce	Yes
Robinson	Yes	Wallace	Yes	White	Yes

CU2026-06 was approved for postponement with (8) affirmative votes, (0) no votes and (1) absent.

10. SU2026-15 a Special Use to allow the continued sale of top soil in an R2 zoning district @ 12602 Faulkner Lake Rd

Mr. Rick Middleton was present representing the request. Chairman White called the item and requested Mr. Middleton come forward and provide the Commission with details of the request. Mr. Middleton stated he desired to continue the sale of topsoil. He stated he was continuing to clean the site, and the sale of topsoil was an asset to the clearing of the property.

Chairman White questioned if there was anyone in the audience who wanted to speak for or against the item. There being none he questioned if any of the Commissioners had any questions or comments there being none and there being no more discussion Chairman White called for a roll call vote:

Banks	Yes	Belasco	Yes	Chambers	Yes
Foster	Absent	Phillips	Yes	Pierce	Yes
Robinson	Yes	Wallace	Yes	White	Yes

SU2026-15 was approved with (8) affirmative votes, (0) no votes and (1) absent.

Public Comments/Adjournment:

Chairman White called for public comment. There being no further business before the Commission, and on a motion by Commissioner Chambers and seconded by Commissioner Wallace, and with the consent of all members present (8/0/1), the meeting was adjourned at 4:37 pm. The next regularly scheduled Commission meeting is to be held on Tuesday, August 11, 2026, at 4:00 pm in the City Council Chambers of City Hall, 300 Main Street, NLR, AR.

Respectfully Submitted:
Donna James, AICP
Assistant Director of Planning

Item #1
Rezone #2026-10

Request: a rezoning from R2 to R3 and RU to allow development of a residential subdivision

Location of the Request: the East end of Amaranth Dr, NLR, AR

Applicant: Davidson Engineering

Owner: Stillwater Land Development

Legal Description: Part of the North ½ of the North ½ of Section 7, Township 1 North, Range 10 West of the Fifth Principle Meridian, Pulaski County, Arkansas and being more particularly described as: Beginning at the Southwest corner of Section 6, Township 1 North, Range 10 West as shown on final plat, Faulkner Crossing Addition, Phase 4 filed with Pulaski County Circuit Court, Instrument #2010063453; thence along South line of said Section 6, South 88°43'26" East a distance of 2409.29 feet to a found rebar; thence leaving said South line, South 20°36'50" East a distance of 1466.33 feet to a found rebar with cap (PLS 1755); thence North 88°48'15" West a distance of 2950.46 feet to a 5/8" iron pipe on the West line of Section 7; thence along said West line North 00°25'12" East a distance of 379.25 feet to a 5/8" iron pipe; thence continuing along said West line North 00°25'23" East a distance of 542.30 feet to the Southeast corner of Section 1, Township 1 North, Range 11 West; thence continuing along said West line North 02°20'18" East a distance of 443.37 feet to the Point of Beginning, containing 84.00 (3,659,201.37 sq ft) acres more or less.

Site Characteristics: The site is undeveloped raw acreage located south and east of Faulkner Crossing Subdivision. The site appears to be relatively flat. The property to the north and west is developed as a single-family subdivision, Faulkner Crossing.

Land Use Plan: Single Family

Master Street Plan: Amaranth Drive was constructed with a 60-foot ROW, a Collector Street ROW width, although the street is not indicated on the Master Street Plan as a collector. There is a Class III bikeway route located to the west along HWY 391 and also a 2nd Class III bikeway route located to the north along Faulkner Lake Road. Typically bike routes are in more urban areas where formal bike lanes cannot adequately be striped or located along rural roadways lane widths in excess of 14 feet. Generally, these routes are unimproved, meaning the roadway has not been widened or altered.

Surrounding Zoning & Uses

<u>Direction</u>	<u>Surrounding Zoning</u>	<u>Surrounding Uses</u>
North	R2	Single Family – Faulkner Crossing PH 4
South	R5	Raw acreage
East	R2	Property approved with a SU to allow the sale of dirt
West	R2	Single Family – Faulkner Crossing PH 3

General Information:

1. **Compatible with previous actions?** The request to rezone the property to allow the development as proposed is not compatible with the existing development pattern in the area.
2. **Neighborhood Position/Comment?** None at the time of printing.
3. **Effect on public service and utilities?** Wastewater has expressed concern with capacity capabilities stating the receiving sanitary sewer system currently lacks the capacity to accept this development.
4. **Legal Consideration/Reasonableness?** It is not a reasonable request to develop the property as an urban development within a suburban area which lacks urban services such as transit, parks and recreational areas and open space.
5. **Will the approval have a stabilizing effect on surrounding properties?** The development of the lots as proposed has the potential to negatively affect the surrounding properties both existing developed property and future developments.
6. **Is the site adequate size for the development?** The site is in excess of 80-acres and is of adequate size for development of a single-family subdivision.
7. **Will this set a precedent for future rezoning?** There is a strong possibility the approval of the rezoning will set precedent for future rezoning requests in the area who will also lack services such as recreational amenities.
8. **Should a different zoning classification be requested?** The zoning should remain unchanged, and the proposed subdivision developed consistent with the existing zoning.

Staff Summary:

The applicant is seeking approval of a rezoning from the current R2, Single Family District to R3, Duplex District and RU Residential Urban District. With the approved rezoning the applicant is seeking to development 84-acres with 429 residential lots in 3 phases. Phase I consists of 38-R3 zoned lots and 92-RU zoned lots, Phase II includes 41-R3 lots and 130-RU lots and Phase III includes 31-R3 lots and 97-RU lots.

The RU, Residential Urban District is intended to provide areas that mimic traditional urban residential forms within existing urban neighborhoods and new neighborhood developments. The RU zoning districts require lot widths of 40-feet for interior lots and 45-feet for corner lots with minimum lot sizes of 4,000 square feet for interior lots and 4,500 square feet for corner lots. The maximum lot coverage allowed within the RU zoning district is 90% including the principal building and all accessory structures. Setbacks are allowed at 0-feet to 15-feet for the front yard and 10-feet for the rear yard. The side yard setbacks are allowed at 5 feet.

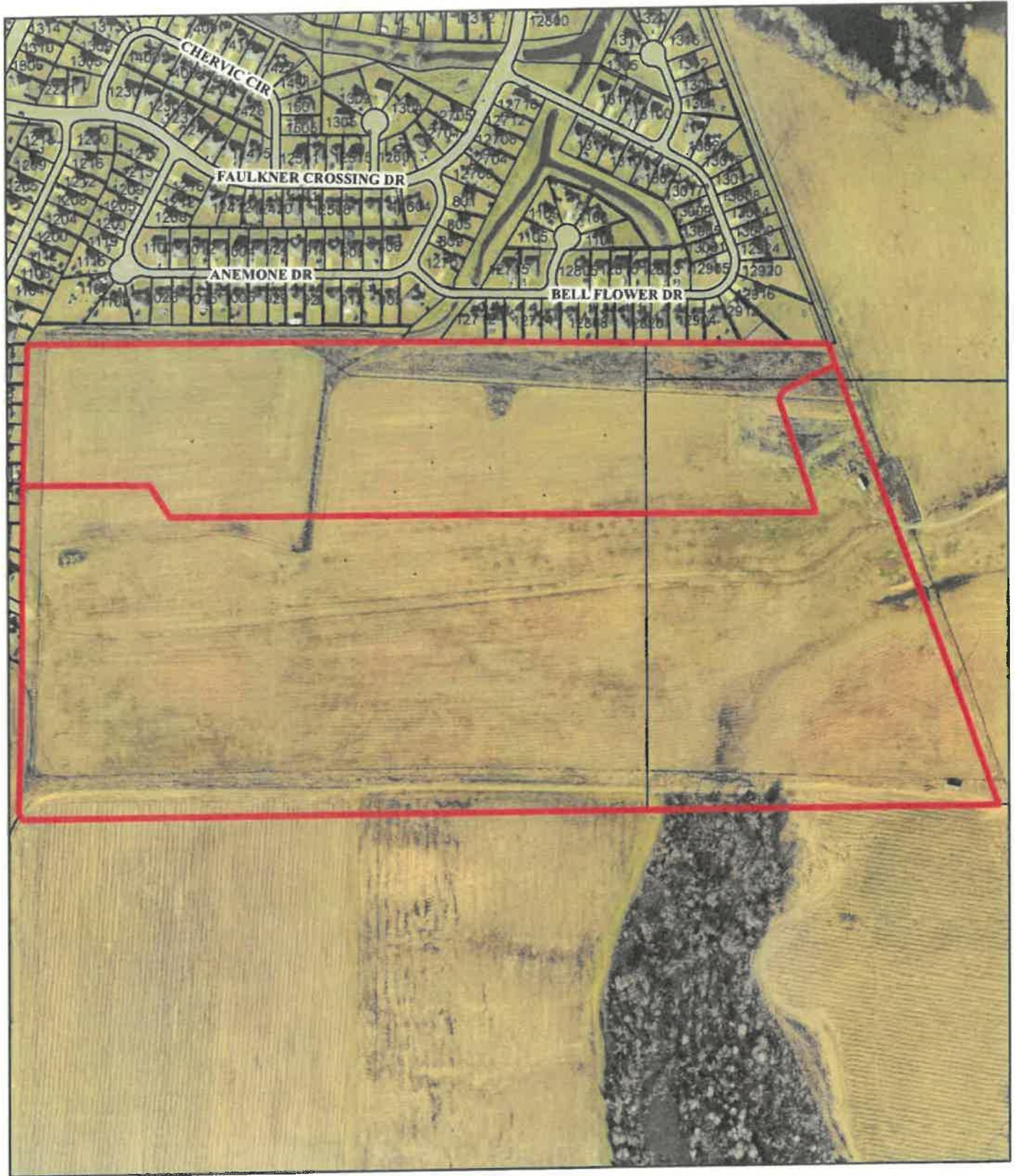
The R2, Single-Family District is intended to provide areas for low density single-family developments as well as the related complementary uses normally required to provide the basic elements of a balanced and attractive residential area with the potential for Special Uses. The R3, Duplex District is intended to provide areas for medium density single-family and two-family developments and related complementary uses normally required to provide the basic elements of a balanced and attractive residential area. Both the R2 and R3 zoning districts require lot widths of 60-feet for interior lots and 75-feet for corner lots. The maximum lot coverage allowed within these zoning districts is 50%

including the principal building and all accessory structures. Setbacks are allowed at 25 feet for the front yard and 25 feet for the rear yard. The side yard setbacks are allowed at 10% of the lot width with a minimum of 6-feet and a maximum of 8-feet.

Staff has concerns with the rezoning and overall development plan as proposed. The applicant is seeking densities far greater than the typical suburban development pattern in the area with existing densities ranging from 2.5 to 4.2 units per acre. With the development of 110 lots zoned R3 and 319 lots zoned RU the resulting is a density of 5.1 units per acre if developed with all lots as single family homes and 6.4 units per acre if developed with the maximum density allowed of single-family homes and duplex housing.

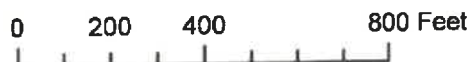
Staff Update: As of this printing the applicant has not provided any new information to staff from the discussions at the previous hearing concerning a traffic analysis and a drainage study.

Rezone Case #2026-10



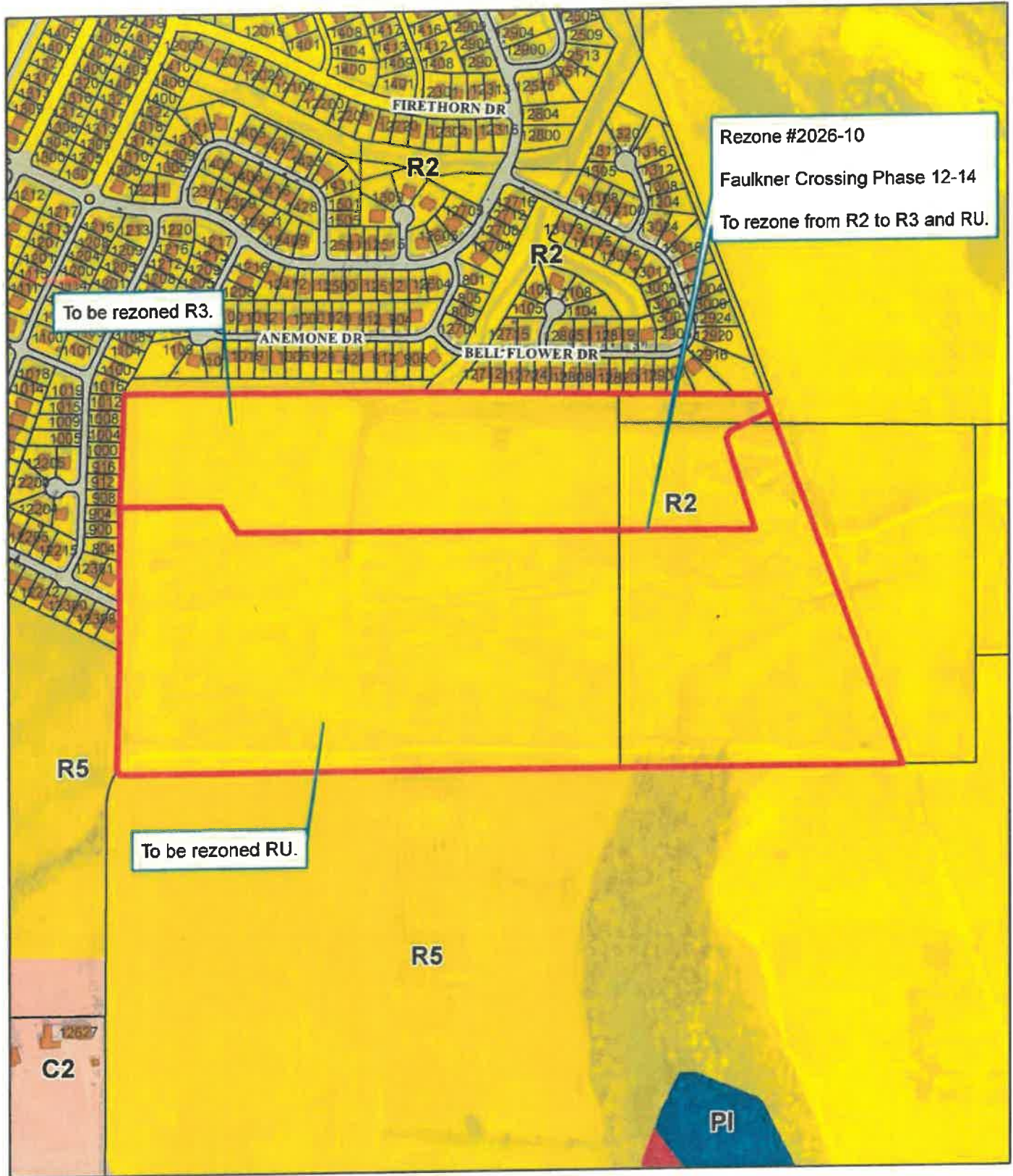
Ortho Map

1 inch = 400 feet



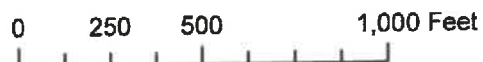
Date: 6/17/2026

Rezone Case #2026-10



Zoning Map

1 inch = 500 feet



Date: 6/17/2026

May 27, 2026

Shawn Spencer, Director
City of North Little Rock Planning
700 W. 29th Street
North Little Rock, AR 72114

**RE: Preliminary Plat & Rezone
Faulkner Crossing Ph. 12-14
Stillwaters Land Development LLC**

Mr. Spencer,

On behalf of Middleton Brothers Trucking Inc. and Stillwater Land Development, we would like to request that this letter serve as our application for the above referenced submittal. We wish to be placed on be the July 14, 2026 Planning Commission meeting. We are requesting both the Preliminary plat and Rezoning be accepted for review simultaneously.

We are requesting to amend the zoning map from R2 (Single-Family District) to R3 (Duplex District) and RU (Residential Urban District). Please see the attached rezoning map with the legals for each District.

We are also submitting for Preliminary Plat Review. The property is to the East of the existing Faulkner Crossing Phase 1 and consists of 429 lots on 84.0 acres. The property will be constructed in three phases as shown on the preliminary plat.

Enclosed please find a check for the review fees in the amount of \$220 for the rezone and \$1,058 for the Preliminary Plat for a total of \$1,278.

Please review the attached drawings and let me know if you have any questions, comments, or concerns.

Thank you,
Davidson Engineering, PLLC



Jason Bouwknecht

Attached: Preliminary Plat Checklist
Preliminary Plat
Rezoning Map

Item #2**SD2026-37 Faulkner Crossing Phase 12 – 14 Preliminary Plat 84 acres 429 lots constructed in 3 phases and rezoning from R2 to R3 and RU (RZ2026-10) @ the East end of Amaranth Drive**

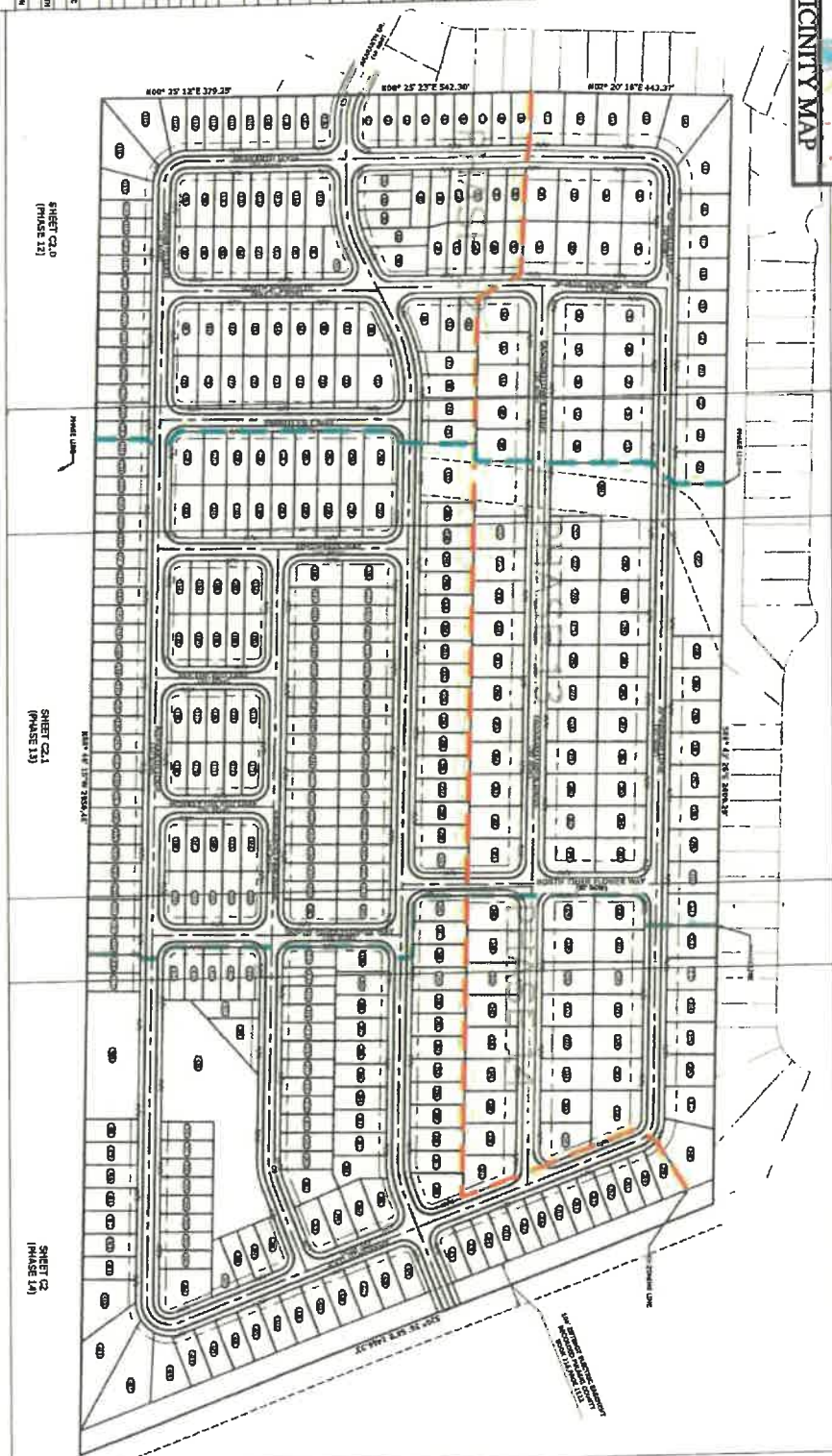
1. Engineering requirements before the final plat/replat will be signed:
 - a. Option to pay the drainage in-lieu fee of \$500/acre for residential development instead of providing on-site detention.
 - b. Provide full street improvements (street, drainage, curb and gutter, sidewalk, cross walks) or a performance bond. Street improvements must be approved by City Engineer and accepted by City Council.
2. Permit requirements/approvals submitted before construction can begin:
 - a. A signed and recorded plat must be on file with the Planning Department.
 - b. Provide a full set of plans and specifications (PDF format) to the City Engineer for review.
 - c. Prior to construction, Owner's Engineer shall submit stormwater design report for review and approval by the City Engineer. Stormwater plans and detention calculations are to be approved by City Engineer and a written approval provided to Planning Department. Drainage submittal shall include, as a minimum, the following:
 - i. Proposed pipe material specifications.
 - ii. Proposed trench and bedding details, materials and specifications.
 - d. Provide CNLR Grading Permit application to City Engineer with grading plans.
 - e. Provide CNLR Stormwater Permit application to City Engineer with erosion control plan in accordance with CNLR Best Management Practices (BMP) Manual.
 - f. Provide copy of Arkansas Department of Environmental Quality (ADEQ) Stormwater Permit to City Engineer.
 - g. Provide copy of Arkansas Department of Health approval for water and sewer facilities to NLR Planning Department if an extension of a main is required.
 - h. Prior to construction, Owner's Architect/Engineer shall submit digital maps for all stormwater drainage features in an ArcGIS or AutoCAD file to the City Engineer. The digital maps shall be natively in State Plane coordinate system, Arkansas North Zone, North American Datum 1983, units as feet; or the map must have sufficient points for georeferencing. The associated attribute data table from the submitted file shall match the fields contained within the "SW Attribute Data Entry Template.xlsx" as provided by City Engineering Department. All Control, Linear, and Junction map features will be annotated by a unique identifier that will correspond to the same unique identifier in the "SW Attribute Data Entry Template.xlsx" or GIS attribute table. Data for each attribute column in the "SW Attributed Data Entry Template.xlsx" file shall be chosen from the drop-down options of each cell, or chosen as "Other" (if not listed) and described in the comments field. At the completion of the project, As-Builts of these shapefiles in ArcGIS or AutoCAD format, along with associated attribute data table, shall be submitted to the City Engineer.
 - i. Schedule preconstruction meeting with City Engineer. The contractor's on-site superintendent must be present.
3. Meet the requirements of the City Engineer, including:
 - a. Contractor shall notify City Engineer at least 1 day prior to the construction of all stormwater pipes and inlet structures within City ROW.
 - b. At the end of construction, Owner/Developer shall have a Professional Engineer, licensed in the State of Arkansas, certify that all street and stormwater improvements in conjunction with this subdivision and/or the proposed development have been inspected and constructed in accordance with the approved plans and meet all City of North Little Rocks Standard Specifications.

4. Planning requirements before the plat will be signed:
 - a. Street names to be approved by Planning Staff.
 - b. Plat will be submitted to NLR Planning Department in CAD compatible DXF and/or DWG format, tied to Arkansas State Plane Coordinates.
 - c. Pay for street signs.
 - d. Provide streetlights or provide a bond.
5. Other Boards approvals required before applying for a building permit.
 - a. Provide approved City Council ordinance on rezoning property to RU and R3.
6. Meet the requirements of Community Planning, including:
 - a. Provide the standard requirements of Zoning and Development Regulations.
7. Meet the requirements of the Master Street Plan, including:
 - a. Provide 5' sidewalks and ramps with a minimum of 5' green space between sidewalk and curb to ADA standards and City standards.
8. Meet the requirements of the Screening and Landscaping ordinance, including:
 - a. All disturbed areas are to be sodded, fertilized, watered and mulched.
 - b. Tree plantings shall be required for all new Single-family and Two-family dwellings.
 - c. One (1) tree shall be required for each lot and to be located within 10' of the front property line.
 - d. Trees shall be 2.5" caliper or greater at time of planting. Caliper shall be measured 3' above the ground surface.
 - e. Trees must be installed prior to receiving the certificate of completion for the home.
9. Meet the following requirements concerning signage:
 - a. All signs require a permit and separate review.
 - b. Subdivision signage is limited to a maximum of 6-feet in height and a sign area of 24-square feet.
10. Meet the requirements of the Fire Marshal, including:
 - a. Meet the requirements of the 2021 Arkansas Fire Prevention Code including:
 - i. Exterior walls and eaves shall be five feet or more from the property line or shall be fire rated. (Volume 3 Table R302.1(1))
 - ii. Where there are houses, fire hydrants shall have an average spacing of 500 feet along the road. The maximum distance from any point on a street frontage to a hydrant shall be 250 feet. (Volume 1 Appendix C Table C102.1)
 - iii. In a one or two family residential development, where the number of one or two family dwelling units exceeds 30 there shall be two separate, fire apparatus access roads, or all dwelling units shall be equipped throughout with an approved automatic sprinkler system. These roads shall be sufficiently remote from each other. (Volume 1 Appendix D107)
 - iv. Fire Apparatus access roads shall have an unobstructed width of not less than 20 feet. (Volume 1 Section 503.2.1)
 - b. Fire Apparatus access roads will support 85,000 lbs. (Municipal Code Chapter 12, Article 3.2.4 D)
11. Meet the requirements of CAW, including:
 - a. Please submit these plans to CAW for hydraulic review, offsite improvements will need to be made at the expense of the developer to provide adequate fire flow to the subdivision.
 - b. All Central Arkansas Water requirements in effect at the time of request for water service must be met.
 - c. Please submit plans for water facilities to Central Arkansas Water for review. Plan revisions may be required after additional review. Contact Central Arkansas Water regarding procedures for installation of water facilities. Approval of plans by Central Arkansas Water, the Arkansas Department of Health Engineering Division and North Little Rock Fire

Department is required.

- d. This development will have minor impact on the existing water distribution system. Proposed water facilities will be sized to provide adequate pressure and fire protection.
 - e. A Capital Investment Charge based on the size of meter connection(s) will apply to this project in addition to normal charges.
12. Meet the requirements of NLR Wastewater, including:
- a. The receiving sanitary sewer system currently lacks the capacity to accept this development. The developer must provide flow projections for the proposed project. Upon receipt, NLRW will analyze the projected flow and determine the specific downstream system improvements required of the developer.
 - b. Submit a full set of plans to kunderwood@nlrwu.com for review and approval before construction begins. Construction shall not commence until approval is granted.

UNIT #	OWNER	ADJACENT PROPERTY OWNERS
19	APRIMA HOLDINGS, LLC	
20	APRIMA HOLDINGS, LLC	
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98	APRIMA HOLDINGS, LLC	
99	APRIMA HOLDINGS, LLC	
100	APRIMA HOLDINGS, LLC	



**SHEET 02
(PHASE 1A)**

[illegible][illegible]

LAUD GOSPELS
PRELIMINARY PLAN
AULKNER CROSSING, PHASES 12-15
LOTS 1-429
NORTH LITTLE ROCK, AUDLON COUNTY,
ARKANSAS

[illegible]

FAULKNER CROSSING, PHASES 12-14
NATHAN LINDSEY

AMARANTH DR.
NORTH LITTLE ROCK, 72117

DAVIDSON
ENGINEERING
INC.

PROJECT NUMBER:
DE 26-11
DATE:
MAY 26, 2026

C1.0

PRELIMINARY PLAT

Item #3
Rezone #2026-11

Request: a Rezoning from R3 to R4 to allow development of a triplex apartment development

Location of the Request: @ 1213 W 18th St, NLR, AR

Applicant/Owner: Nash Development LLC

Legal Description: The East 75 feet of Lots 7, 8 and 9 Block 15 Missouri Pacific Addition to the City of North Little Rock, Pulaski County, AR

Site Characteristics: The area is predominately single-family homes. The site contains a single-family home which will be removed to allow the new construction. To the west of the site is AEDD Sammie Gail Sanders Daycare Children's Learning Center, a center providing services to children who have been diagnosed as developmentally delayed.

Land Use Plan: Single Family

Master Street Plan: W 18th Street is indicated on the Master Street Plan with a Collector Street Classification. There is a Class III bikeway route located to the west along Parker Street, to the east along Allen Street and to the north along W 22nd Street. Typically bike routes are in more urban areas where formal bike lanes cannot adequately be striped or located along rural roadways lane widths in excess of 14 feet. Generally, these routes are unimproved, meaning the roadway has not been widened or altered.

Surrounding Zoning & Uses

<u>Direction</u>	<u>Surrounding Zoning</u>	<u>Surrounding Uses</u>
North	R3	Single Family
South	R3	Single Family
East	R3	Single Family
West	R3	Single Family

General Information:

1. **Compatible with previous actions?** There have been a few rezonings in the area to R4. The rezonings were typically to recognize an existing 2nd residence on a lot containing a residential unit.
2. **Neighborhood Position/Comment?** None at the time of printing.
3. **Effect on public service and utilities?** There should be minimal effect on public service and utilities.
4. **Legal Consideration/Reasonableness?** The request is reasonable.

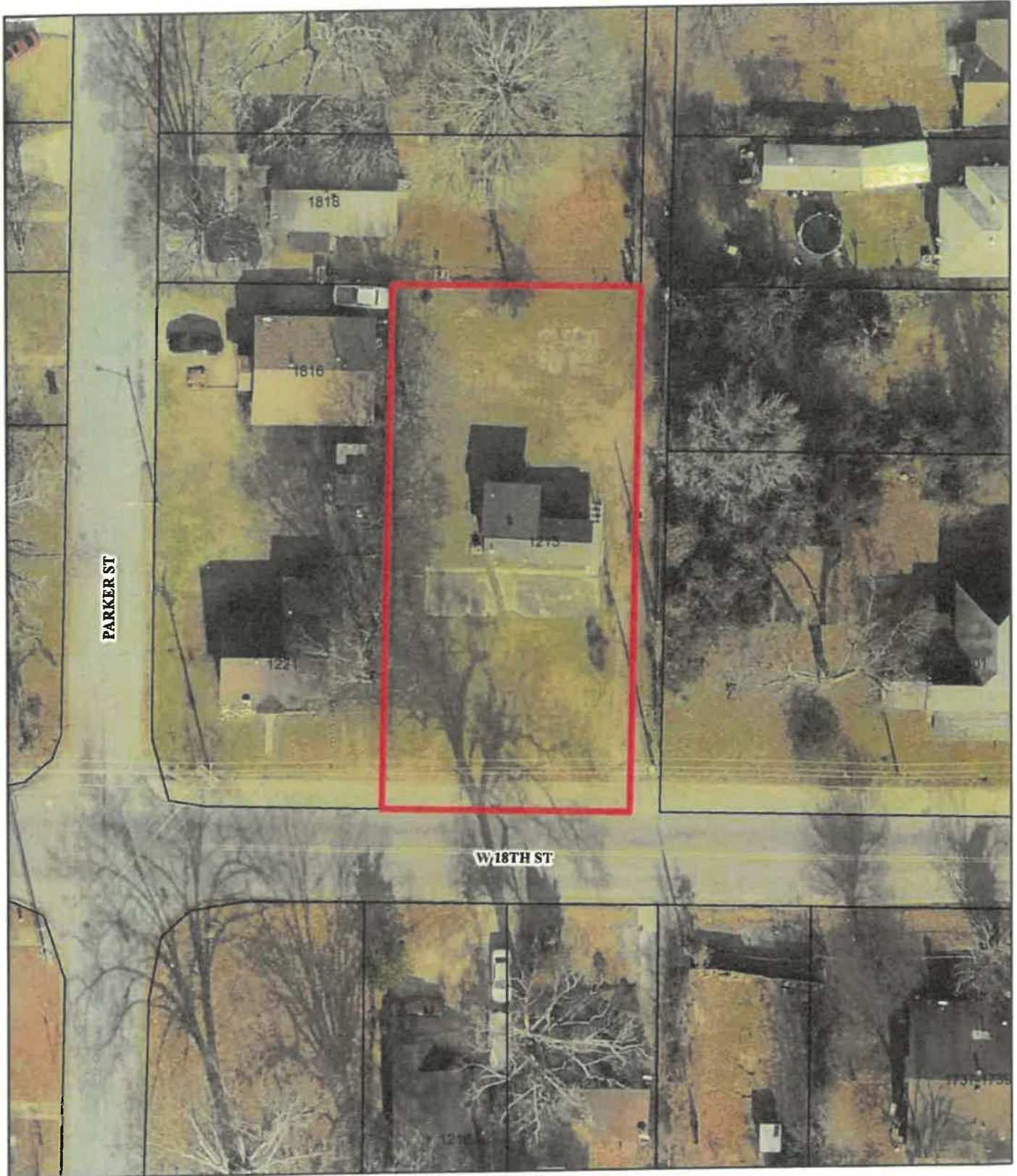
5. **Will the approval have a stabilizing effect on surrounding properties?** It is possible with the new construction there will be a stabilizing effect on the surrounding properties.
6. **Is the site adequate size for the development?** The zoning ordinance requires 3,500 square feet for each of the first 3 dwelling units and an additional 1,000 square feet for each additional dwelling unit. The lot contains 10,500 square feet which is more than adequate to meet the typical minimum lot size requirement for a triplex.
7. **Will this set a precedent for future rezoning?** The approval will not set precedent for future rezoning requests in the area. The applicant has an oversized lot which will meet the criteria for the R4 zoning classification of minimum lot area per dwelling unit.
8. **Should a different zoning classification be requested?** The request of R4 permits the applicant to develop the site as a 3-plex as proposed.

Staff Summary:

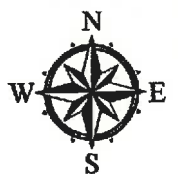
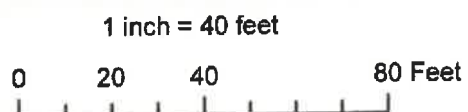
The applicant is seeking approval of a rezoning from R3 to R4 to allow the development of a triplex on the lot. The lot is 75-feet by 139-feet with a 10-foot platted alley located along the eastern boundary. In addition to the rezoning request the applicant is seeking site plan approval for the proposed triplex (SD2026-42).

Staff is supportive of the applicant's request.

Rezone Case #2026-11

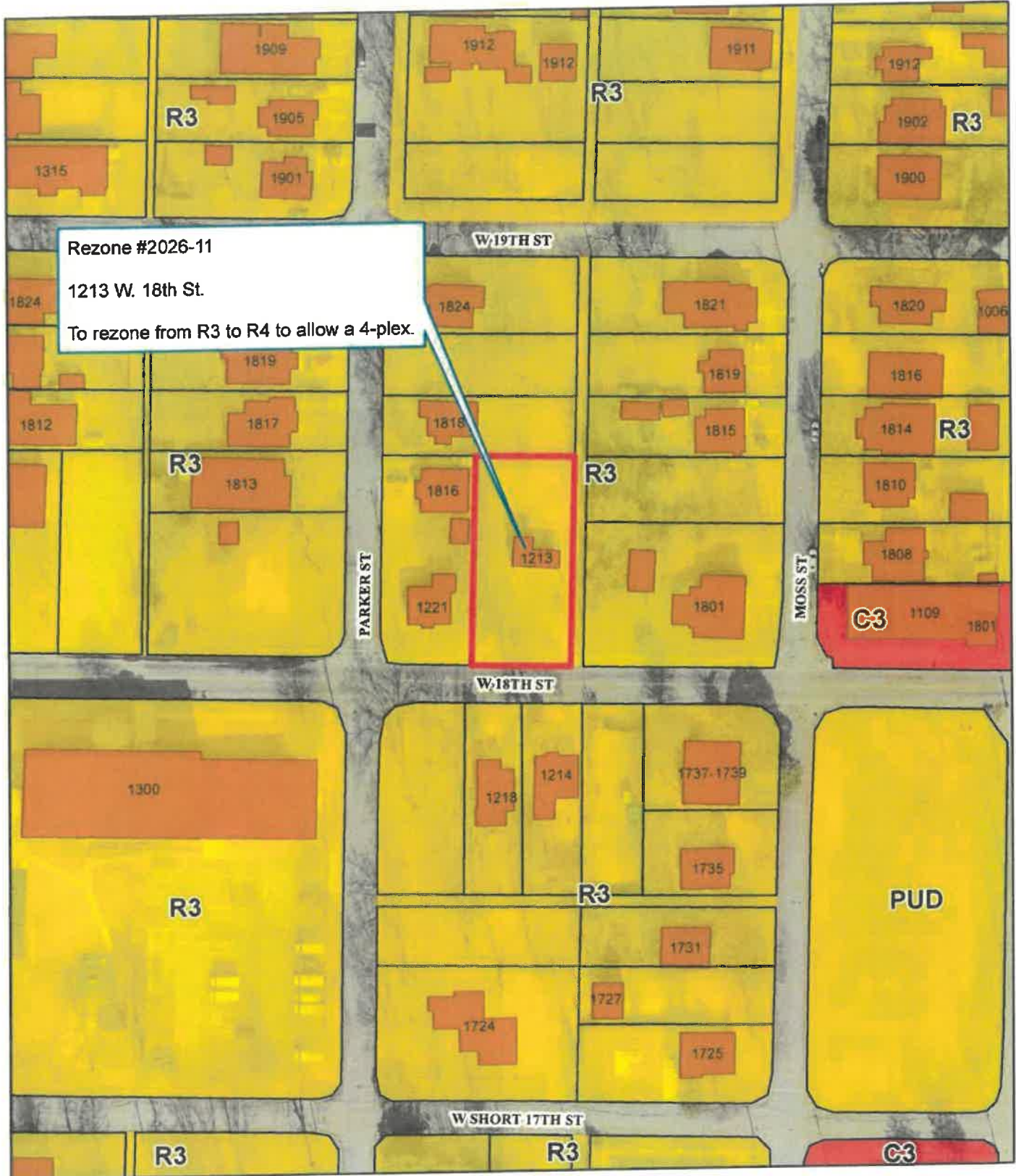


Ortho Map

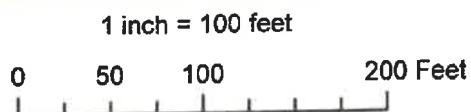


Date: 6/17/2026

Rezone Case #2026-11



Zoning Map



Date: 6/17/2026





James, Donna

To: Eric Nash
Subject: RE: 1213 W. 18th Zoning - Nash Development

From: Eric Nash <nashrealty1@sbcglobal.net>
Sent: Monday, June 8, 2026 12:03 PM
To: James, Donna <DJames@nlr.ar.gov>
Cc: Creshelle Nash <creshellen50@gmail.com>; Sam Cook <smcookjr@gmail.com>
Subject: 1213 W. 18th Zoning - Nash Development

Ms. James,

Please accept this email as verification that we're giving 41 Construction LLC the authorization to represent us in the zoning needs for our property located on 1213 W. 18th NLR AR. We respectfully request the zoning of the property be changed from the existing R3 zoning classification to R4 to allow development of a triplex on the property.

If you have any question of concerns please feel free to reach out to me.

Thank you,

Eric Nash
Principal Broker
Nash Realty
415 N. McKinley Suite 625
Little Rock, AR 72205
501-671-NASH Office
501-804-8211 Cell
501-671-6941 Fax

Item #4**SD2026-42 Missouri Pacific Add Lots 7, 8 and 9 Blk 15 SPR @ 1213 W 18th St for a 3-unit apartment development**

1. Provide an accurate scaled site plan for the proposed development.
2. The alley must be widened to a minimum pavement width of 20-feet from W 18th Street to the north property line of the development to meet the minimum access requirements for the fire department.
3. The site is portions of 3 lots. A replat will be required prior to the issuance of a building permit.
4. Engineering requirements on detention:
 - a. Pay the drainage in-lieu fee of \$5000/acre for the increase of impervious surfaces. (roof tops/parking)
5. Permit requirements/approvals submitted before a building permit will be issued:
 - a. A signed and recorded plat must be on file with the Planning Department.
 - b. If applicable, prior to construction, Owner's Engineer shall submit stormwater design report for review and approval by the City Engineer. Stormwater plans and detention calculations are to be approved by City Engineer and a written approval provided to Planning Department. Drainage submittal shall include, as a minimum, the following:
 - i. Proposed pipe material specifications.
 - ii. Proposed trench and bedding details, materials and specifications.
 - c. If applicable, provide CNLR Grading Permit application to City Engineer with grading plans.
 - d. Provide CNLR Stormwater Permit application to City Engineer with half size erosion control plan showing silt fence, storm inlet protection, and drainage details.
 - e. Provide CNLR driveway/curb cut permit application to City Engineer or copy of ARDOT driveway permit if State Highway.
 - f. Provide copy of Arkansas Department of Environmental Quality (ADEQ) Stormwater Permit to City Engineer.
 - g. Provide copy of Arkansas Department of Health approval for water and sewer facilities to NLR Planning Department if an extension of a main is required.
 - h. Prior to construction, Owner's Architect/Engineer shall submit signed construction plans and specifications (PDF format) to NLR Planning Department.
 - i. If applicable, prior to construction, Owner's Architect/Engineer shall submit digital maps for all stormwater drainage features in an ArcGIS or AutoCAD file to the City Engineer. The digital maps shall be natively in State Plane coordinate system, Arkansas North Zone, North American Datum 1983, units as feet; or the map must have sufficient points for georeferencing. The associated attribute data table from the submitted file shall match the fields contained within the "SW Attribute Data Entry Template.xlsx" as provided by City Engineering Department. All Control, Linear, and Junction map features will be annotated by a unique identifier that will correspond to the same unique identifier in the "SW Attribute Data Entry Template.xlsx" or GIS attribute table. Data for each attribute column in the "SW Attributed Data Entry Template.xlsx" file shall be chosen from the drop-down options of each cell, or chosen as "Other" (if not listed) and described in the comments field. At the completion of the project, As-Builts of these shapefiles in ArcGIS or AutoCAD format, along with associated attribute data table, shall be submitted to the City Engineer.
6. Meet the requirements of the City Engineer, including:
 - a. Prior to any excavation/street cuts within street ROW, provide CNLR Excavation Permit to City Engineer and Barricade Plan Permit to NLR Traffic Services.
 - b. Repair or replace existing sidewalk and curb to City Engineer's standards.
 - c. Contractor shall notify City Engineer at least 1 day prior to the construction of all stormwater pipes and inlet structures within City ROW.
 - d. At the end of construction, Owner/Developer shall have a Professional Engineer, licensed in the State of Arkansas, certify that all street and stormwater improvements in conjunction with this subdivision

- and/or the proposed development have been inspected and constructed in accordance with the approved plans and meet all City of North Little Rocks Standard Specifications.
- e. Driveway radii shall be labeled and shall have 25' minimum radii and be built according to CNLR standard details (available at NLR Engineering Department).
 - f. Driveways shall not be closer than 40' to adjoining streets or 10' from adjoining property lines.
 - g. Spacing between proposed commercial/industrial driveways shall not be closer than 40'.
 - h. Driveway widths shall be labeled and shall be 10' minimum to 40' maximum.
 - i. Cross drains in the ROW shall be labeled and shall be RCP with flared end sections unless otherwise approved by Engineering.
 - j. All driveways are to be concrete within the ROW.
7. Planning requirements before the plat will be signed:
- a. Plat will be submitted to NLR Planning Department in CAD compatible DXF and/or DWG format, tied to Arkansas State Plane Coordinates.
8. Other Boards approvals required before applying for a building permit.
- a. Provide approved City Council ordinance on rezoning property to R4.
9. Meet the requirements of Community Planning, including:
- a. Provide the standard requirements of Zoning and Development Regulations.
 - b. Provide dumpster location. Dumpsters are to have masonry screening on 3 sides along with an opaque gate enclosure. If proposing to utilize individual carts for each unit provide the location the carts will be placed along with the location of each individual recycle cart.
 - c. No fence is to be located between the front of the building and the street right of way.
 - d. All exterior lighting shall be shielded and not encroach onto neighboring properties.
10. Meet the requirements of the Master Street Plan, including:
- a. Provide 5' sidewalks and ramps with a minimum of 5' green space between sidewalk and curb to ADA standards and City standards.
11. Meet the requirements of the Screening and Landscaping ordinance, including:
- a. All disturbed areas are to be sodded, fertilized, watered and mulched.
 - b. Any new site development must comply with the City's minimal landscape and buffer ordinance requirements.
 - c. Provide a scaled landscape plan, graphically indicating the plant material and locations, plant material legend graphically indicating the different plant materials, plant material list and specifications noting the minimum plant material size at installation.
 - i. All turf and plant material shall be irrigated by an automatic underground irrigation system.
 - d. Provide street trees at a minimum rate 1 tree per 30 linear feet of property line adjacent to the street right-of-way.
 - i. Street trees are to be chosen from Section 7.5 of the North Little Rock zoning code Trees from Table B shall be spaced every thirty (30) feet to achieve the required number of trees; trees from Table C shall be spaced every twenty-five (25) feet; or trees from Table D shall be used if beneath overhead power lines and spaced every fifteen (15) feet.
 - e. Trees shall be planted at the rate of one (1) tree per six (6) parking spaces.
 - i. Trees ten (10) feet from the edge of parking area may serve for the parking lot shading requirements, but may not satisfy more than fifty (50) percent of the overall requirement for the parking lot or area.
 - ii. Parking lot trees are to be chosen from Table B or C, Section 7.5 of the North Little Rock zoning code, Table D shall be used if beneath overhead power lines.
 - f. Landscape plan to be revised prior to the July 2026 Planning Commission Hearing.
12. Meet the following requirements concerning signage:
- a. All signs require a permit and separate review.

13. Meet the requirements of the Fire Marshal, including:

a. Meet the requirements of the 2021 Arkansas Fire Prevention Code including:

- i. An automatic sprinkler system shall be provided throughout all buildings with a group R fire area. (Volume 2 Section 903.2.8)
 - ii. Townhouse: A single-family dwelling unit constructed in a group of three or more attached units in which each unit extends from the foundation to roof and with open space on at least two sides. (Volume 2 Chapter 2 Definitions)
 - iii. If there are dwellings above other dwellings the buildings shall be sprinklered. (Volume 2 Section 903.2.8, 903.3)
Or
 - iv. If each dwelling unit extends from the foundation to the roof they will be separated by fire resistance rated walls meeting the requirements of AFPC Volume 3 Section R302.2.1 or R302.2.2.
 - v. Exterior walls and eaves shall be five feet or more from the property line or an imaginary line between buildings or shall be fire rated. (Volume 3 Table R302.1(1))
- b. I would like to recommend which demising wall design to use. I will accept any UL listed or approved design, but I will need to know what design will be used and the wall shall be built to the specifications of that listed and approved design.
- c. Fire Apparatus access roads shall have an unobstructed width of not less than 20-feet. The alley does not appear to be 20-feet wide. (Volume 1 Section 503.2.1)
- d. Fire Apparatus access roads shall extend to within 150-feet of all portions of the exterior walls of the first story of the building. (Volume 1 Section 503.1.1)
- e. Fire Apparatus access roads shall support 85,000 lbs. (NLR Ordinance 9267)

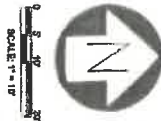
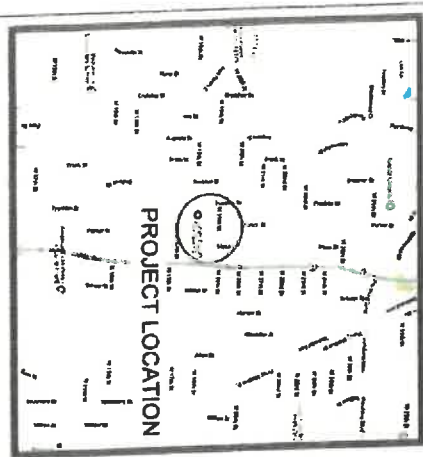
14. Meet the requirements of CAW, including:

- a. All Central Arkansas Water requirements in effect at the time of request for water service must be met.
- b. The North Little Rock Fire Department needs to evaluate this site to determine whether additional public and/or private fire hydrant(s) will be required. If additional fire hydrant(s) are required, they will be installed at the Developer's expense
- c. Please submit plans for water facilities and/or fire protection system to Central Arkansas Water for review. Plan revisions may be required after additional review. Contact Central Arkansas Water regarding procedures for installation of water facilities and/or fire service. Approval of plans by the Arkansas Department of Health Engineering Division and North Little Rock Fire Department is required.
- d. If there are facilities that need to be adjusted and/or relocated, contact Central Arkansas Water. That work would be done at the expense of the developer.
- e. Contact Central Arkansas Water regarding the size and location of the water meter.
- f. The facilities on-site will be private. When meters are planned off private lines, private facilities shall be installed to Central Arkansas Water's material and construction specifications and installation will be inspected by an engineer, licensed to practice in the State of Arkansas. Execution of Customer Owned Line Agreement is required.
- g. Due to the nature of this facility, installation of an approved reduced pressure zone backflow preventer assembly (RPZ) is required on the domestic water service. This assembly must be installed prior to the first point of use. Central Arkansas Water (CAW) requires that upon installation of the RPZA, successful tests of the assembly must be completed by a Certified Assembly Tester licensed by the State of Arkansas and approved by CAW. The test results must be sent to CAW's Cross Connection Section within ten days of installation and annually thereafter. Contact the Cross Connection Section at 377-1226 if you would like to discuss backflow prevention requirements for this project.

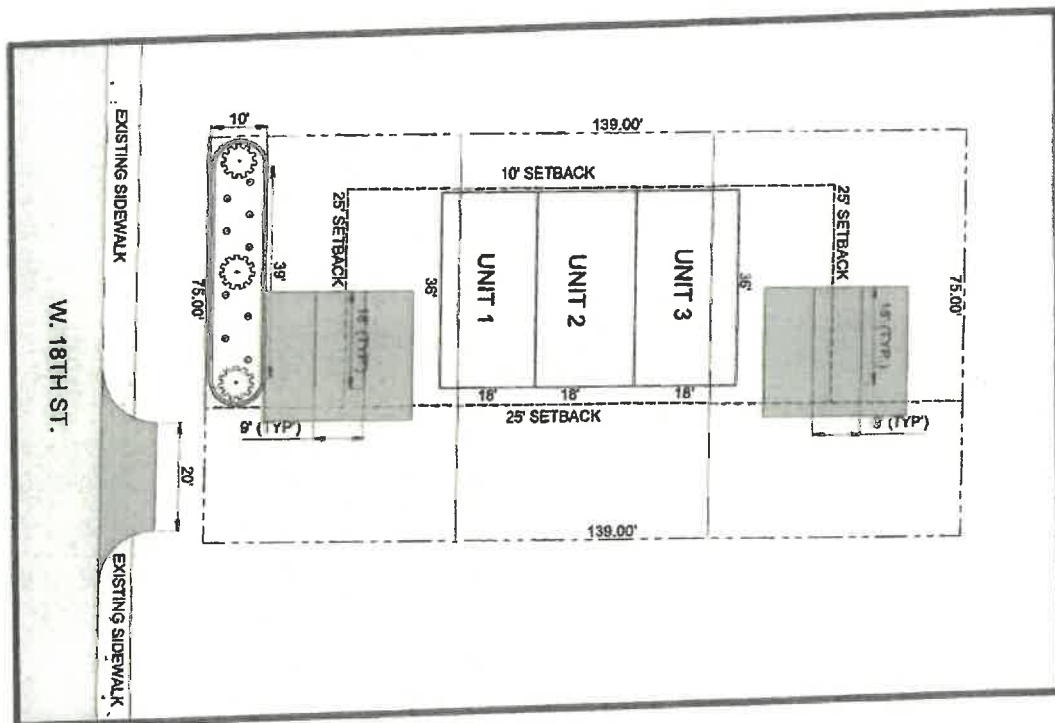
- h. Fire sprinkler systems which do not contain additives such as antifreeze shall be isolated with a double detector check valve assembly. If additives are used, a reduced pressure zone backflow preventer shall be required.

15. Meet the requirements of NLR Wastewater.

- a. State the number of tenants per unit.
- b. Please provide flow projections for the proposed development. NLRW will analyze projected flow and determine the sewer improvements for the receiving system, if any are required.
- c. One connection point is allowed at the public main for this development.
- d. Submit a full set of plans to kunderwood@nlrwu.com for review and approval before construction begins. Construction shall not commence until approval is granted.



NOTE:
1. SETTING AND AS SQUARE FOOTAGE - 1844 SF
2. 10' AND 25' SETBACKS



SITE PLAN REVIEW NOTES

1. SITE CONFORMS TO CONSTRUCTION OF NEW WOOD FRAMED MULTIFAMILY TRIPLETS, WITH EACH UNIT CONTAINING TWO BEDROOM, TWO BATH.
2. THE AREA IS ZONED R-2.
3. THE SETBACKS ARE 10' FROM 18TH STREET (FRONT OF WAY) REAR YARD - 25' SIDE YARD - 10'
4. PARKING SPACES PROVIDED TWO (2) PER DWELLING - 6 PROPOSED REAR YARD - 1 TOTAL SPACES - 6
5. THE REQUIREMENTS - ONE (1) TREE PER 30' OF FRONTAGE, 2 TREES ARE REQUIRED, ONE (1) TREE PROVIDED PER REQUIREMENT.
6. LANDSCAPE SITE REQUIREMENTS - 3 SHRUBS PER 30' LINEAL FEET OF FRONTAGE, 3 SHRUBS PROVIDED PER REQUIREMENT.
7. ALL TREES AND SHRUBS SHALL BE PROVIDED BY AN AUTOMATIC UNDERGROUND IRRIGATION SYSTEM.

LEGAL DESCRIPTION:

PART 7 OF LOTS 1 & 2 BLOCK 15 OF AIRBORNE PACIFIC ADDITION TO THE CITY OF NORTH LITTLE ROCK, ARKANSAS A SHOWN ON PLAT OF RECORD IN THE CLERK'S OFFICE, POLK COUNTY, ARKANSAS.

OWNER:

DAVID CONSTRUCTION, LLC
1213 W. 18TH STREET
NORTH LITTLE ROCK, AR 72114

FLOODPLAIN NOTE:

ACCORDING TO THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) FLOOD INSURANCE RATE MAP (FIRM) FOR THE CITY OF NORTH LITTLE ROCK, ARKANSAS, THE PROPERTY DESCRIBED HEREON IS WITHIN THE 100 YEAR FLOOD HAZARD BOUNDARY.

GENERAL NOTES:

1. CAUTION: UNDERGROUND UTILITIES ARE SHOWN AND ADJACENT TO THE LOTS OF CONSTRUCTION. AN ATTEMPT HAS BEEN MADE TO LOCATE THESE UTILITIES TO THE CITY OF NORTH LITTLE ROCK, ARKANSAS, A SHOWN ON PLAT OF RECORD IN THE CLERK'S OFFICE, POLK COUNTY, ARKANSAS. ANY TYPE OF EXCAVATION, THE CONTRACTOR SHALL MAINTAIN THE UTILITY LOCATIONS AND SHALL BE RESPONSIBLE FOR ANY DAMAGE TO EXISTING UTILITIES. THE CONTRACTOR SHALL MAINTAIN THE UTILITY LOCATIONS AND SHALL BE RESPONSIBLE FOR ANY DAMAGE TO EXISTING UTILITIES. THE CONTRACTOR SHALL MAINTAIN THE UTILITY LOCATIONS AND SHALL BE RESPONSIBLE FOR ANY DAMAGE TO EXISTING UTILITIES.
2. CONTRACTOR SHALL KEEP RECORD TRACKING OF ALL EXCAVATION AND SHALL CLEAN HALL ROUTES IF TRACKING BECOMES EXCESSIVE AS DETERMINED BY THE LOCAL GOVERNMENT OR PROJECT REPRESENTATIVE.
3. THE CONTRACTOR IS RESPONSIBLE FOR THE SAFETY PRECAUTIONS IN ALL EXCAVATED AREAS. EXCAVATED AREAS SHALL BE ADEQUATELY FENCED OR COVERED BY THE CONTRACTOR BEFORE LEAVING THE JOBSITE EACH DAY.
4. CONTRACTOR IS RESPONSIBLE FOR DAMAGE TO EXISTING STRUCTURES, PAVEMENTS, AND UTILITIES.
5. CONTRACTOR SHALL PROVIDE TEMPORARY ACCESS TO THE SITE DURING CONSTRUCTION.
6. THE CONTRACTOR SHALL MAINTAIN THE SITE IN ORDERLY AND CLEAN MANNER.
7. ALL WASTE MATERIALS GENERATED FROM CONSTRUCTION BECOME THE PROPERTY OF THE CONTRACTOR AND SHALL BE REMOVED FROM THE SITE AND DEPOSED OF IN A LEGAL MANNER.



8/28/2026
2026-09-10

1213 W. 18TH STREET
NORTH LITTLE ROCK, AR. 72114
SITE PLAN



DOUBLE A PLUS ENGINEERING
P.O. BOX 15608 - LITTLE ROCK, AR 72231 • (501) 541-9182



Item #5

SD2026-40 Springhill Development Addition Lot 1 Block 1 SPR 4600 McCain Blvd SPR for a Homewood Suite Hotel

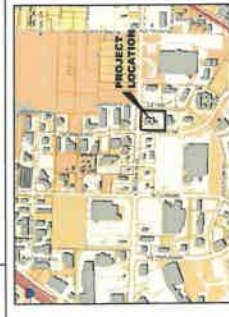
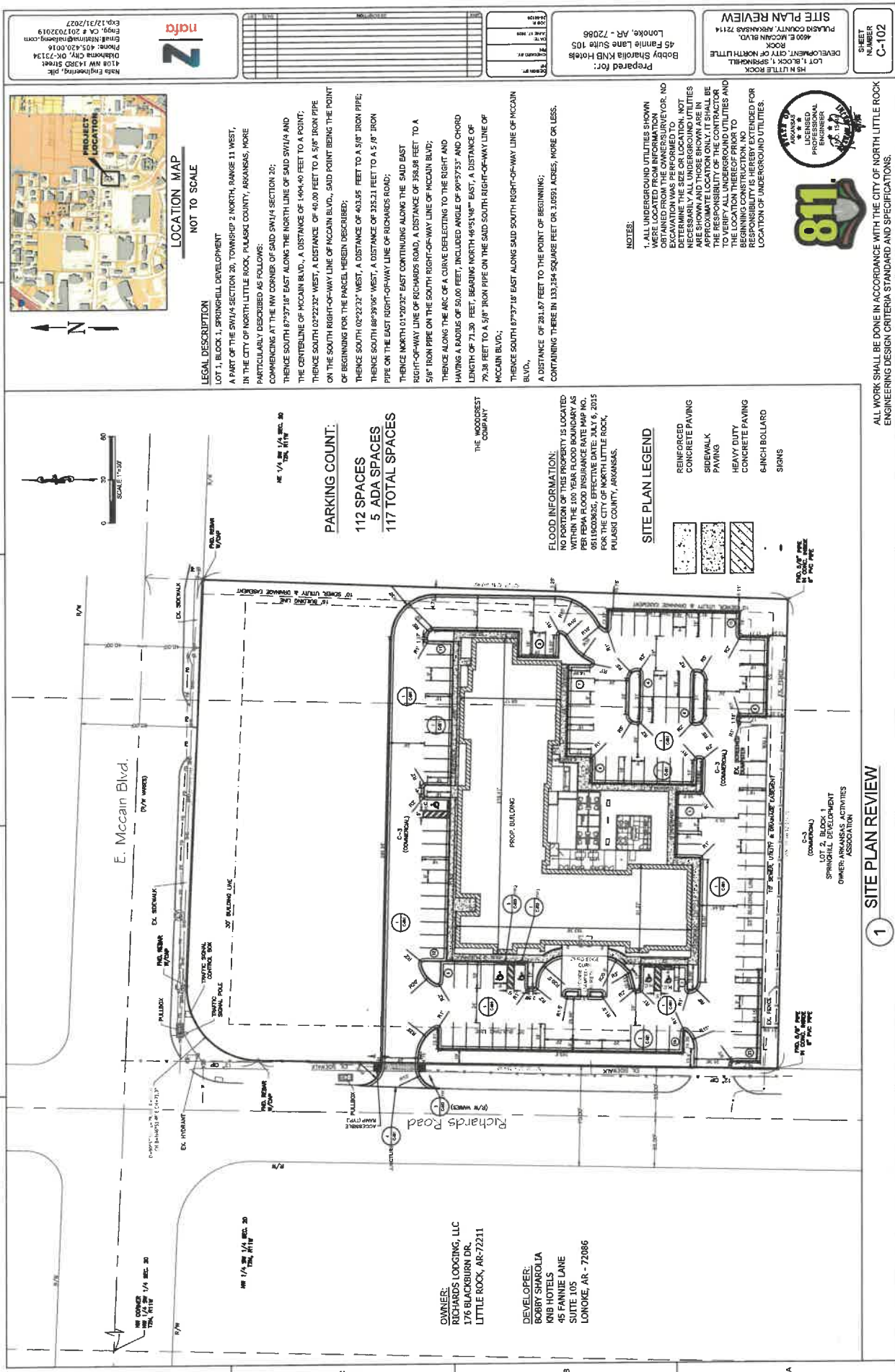
1. Engineering requirements on detention:
 - a. Pay the drainage in-lieu fee of \$5000/acre for the increase of impervious surfaces. (roof tops/parking)
2. Permit requirements/approvals submitted before a building permit will be issued:
 - a. A signed and recorded plat must be on file with the Planning Department.
 - b. If applicable, prior to construction, Owner's Engineer shall submit stormwater design report for review and approval by the City Engineer. Stormwater plans and detention calculations are to be approved by City Engineer and a written approval provided to Planning Department. Drainage submittal shall include, as a minimum, the following:
 - i. Proposed pipe material specifications.
 - ii. Proposed trench and bedding details, materials and specifications.
 - c. If applicable, provide CNLR Grading Permit application to City Engineer with grading plans.
 - d. Provide CNLR Stormwater Permit application to City Engineer with half size erosion control plan showing silt fence, storm inlet protection, and drainage details.
 - e. Provide CNLR driveway/curb cut permit application to City Engineer or copy of ARDOT driveway permit if State Highway.
 - f. Provide copy of Arkansas Department of Environmental Quality (ADEQ) Stormwater Permit to City Engineer.
 - g. Provide copy of Arkansas Department of Health approval for water and sewer facilities to NLR Planning Department if an extension of a main is required.
 - h. Prior to construction, Owner's Architect/Engineer shall submit signed construction plans and specifications (PDF format) to NLR Planning Department.
 - i. If applicable, prior to construction, Owner's Architect/Engineer shall submit digital maps for all stormwater drainage features in an ArcGIS or AutoCAD file to the City Engineer. The digital maps shall be natively in State Plane coordinate system, Arkansas North Zone, North American Datum 1983, units as feet; or the map must have sufficient points for georeferencing. The associated attribute data table from the submitted file shall match the fields contained within the "SW Attribute Data Entry Template.xlsx" as provided by City Engineering Department. All Control, Linear, and Junction map features will be annotated by a unique identifier that will correspond to the same unique identifier in the "SW Attribute Data Entry Template.xlsx" or GIS attribute table. Data for each attribute column in the "SW Attributed Data Entry Template.xlsx" file shall be chosen from the drop-down options of each cell, or chosen as "Other" (if not listed) and described in the comments field. At the completion of the project, As-Builts of these shapefiles in ArcGIS or AutoCAD format, along with associated attribute data table, shall be submitted to the City Engineer.
3. Meet the requirements of the City Engineer, including:

- a. Prior to any excavation/street cuts within street ROW, provide CNLR Excavation Permit to City Engineer and Barricade Plan Permit to NLR Traffic Services.
- b. Repair or replace existing sidewalk and curb to City Engineer's standards.
- c. Contractor shall notify City Engineer at least 1 day prior to the construction of all stormwater pipes and inlet structures within City ROW.
- d. At the end of construction, Owner/Developer shall have a Professional Engineer, licensed in the State of Arkansas, certify that all street and stormwater improvements in conjunction with this subdivision and/or the proposed development have been inspected and constructed in accordance with the approved plans and meet all City of North Little Rocks Standard Specifications.
- e. Driveway radii shall be labeled and shall have 25' minimum radii and be built according to CNLR standard details (available at NLR Engineering Department).
- f. Driveways shall not be closer than 40' to adjoining streets or 10' from adjoining property lines.
- g. Spacing between proposed commercial/industrial driveways shall not be closer than 40'.
- h. Driveway widths shall be labeled and shall be 10' minimum to 40' maximum.
- i. Cross drains in the ROW shall be labeled and shall be RCP with flared end sections unless otherwise approved by Engineering.
- j. All driveways are to be concrete within the ROW.
4. Other Boards approvals required before applying for a building permit.
 - a. Provide approval from Board of Zoning Adjustment on waiver of the maximum height restriction.
5. Meet the requirements of Community Planning, including:
 - a. Provide the standard requirements of Zoning and Development Regulations.
 - b. Provide dumpster location. Dumpsters are to have masonry screening on 3 sides and an opaque gate enclosure.
 - c. No fence is to be within the front of the building and the public right of way.
 - d. All exterior lighting shall be shielded and not encroach onto neighboring properties.
 - e. Building height exceeds the maximum allowed, provide Board of Zoning Adjustment approval before applying for a building permit.
6. Meet the requirements of the Master Street Plan.
7. Meet the requirements of the Screening and Landscaping ordinance, including:
 - a. All disturbed areas are to be sodded, fertilized, watered and mulched.
 - a. Any new site development must comply with the City's minimal landscape and buffer ordinance requirements.
 - b. Trees shall be planted at the rate of one (1) tree per six (6) parking spaces.
 - a. Trees ten (10) feet from the edge of parking area may serve for the parking lot shading requirements, but may not satisfy more than fifty (50) percent of the overall requirement for the parking lot or area.
 - b. A minimum of 18 trees will be required to meet the parking area requirements.
 - c. A minimum of 9 trees are required to be located within the parking lot area.
 - d. Parking lot trees are to be chosen from Table B or C, Section 7.5 of the North Little Rock zoning code, Table D shall be used if beneath overhead power lines.
 - c. Only shrubs from the approved planting list will count toward this requirement, unless approved by the Planning Commission. Shrubs shall be eighteen (18) inches in height at planting and be planted a maximum three (3) feet apart.

- a. A minimum of 66 shrubs are required between the parking area and the Richard's Road ROW.
 - b. A minimum of 108 shrubs are required between the parking area and the south property line.
 - c. A minimum of 50 shrubs are required between the parking area and the east property line.
 - d. Provide note on landscape plan stating shrubs shall be eighteen (18) inches in height at planting and be planted a maximum three (3) feet apart.
 - e. Provide note on landscape plan stating all turf and plant material shall be irrigated by an automatic underground irrigation system
 - f. Landscape plan to be revised prior to the July 2026 Planning Commission Hearing.
8. Meet the following requirements concerning signage:
 - a. All signs require a permit and separate review.
 - b. The property is located within the McCain Blvd Sign Overlay District. (Article 14 Section 14.107)
 - c. All signs must comply with the minimum requirements of Article 14 of the NLR Zoning Ordinance Sign Code.
9. Meet the requirements of the Fire Marshal, including:
 - a. Meet the requirements of the 2021 Arkansas Fire Prevention Code including:
 - i. A fire safety and evacuation plan shall be provided and maintained (Volume 1 Section 403, 404)
 - ii. An automatic sprinkler system shall be provided throughout all buildings with a Group R fire area. (Volume 1 Section 903.2.8)
 - iii. Class 1 standpipes shall be installed throughout buildings where the floor level of the highest story is located more than 30 feet above the lowest level of the fire department vehicle access. (Volume 1 Section 905.3.1)
 - iv. Fire Apparatus access roads shall have an unobstructed width of not less than 20 feet. (Volume 1 Section 503.2.1)
 - v. Meet the requirements for an aerial apparatus access roads in Volume 1 Section D105.
 - b. Fire Apparatus access roads will support 85,000 lbs. (Municipal Code Chapter 12, Article 3.2.4 D)
10. Meet the requirements of CAW, including:
 - a. All Central Arkansas Water requirements in effect at the time of request for water service must be met.
 - b. The North Little Rock Fire Department needs to evaluate this site to determine whether additional public and/or private fire hydrant(s) will be required. If additional fire hydrant(s) are required, they will be installed at the Developer's expense.
 - c. Please submit plans for water facilities and/or fire protection system to Central Arkansas Water for review. Plan revisions may be required after additional review. Contact Central Arkansas Water regarding procedures for installation of water facilities and/or fire service. Approval of plans by the Arkansas Department of Health Engineering Division and North Little Rock Fire Department is required.
 - d. If there are facilities that need to be adjusted and/or relocated, contact Central Arkansas Water. That work would be done at the expense of the developer.
 - e. The facilities on-site will be private. When meters are planned off private lines,

private facilities shall be installed to Central Arkansas Water's material and construction specifications and installation will be inspected by an engineer, licensed to practice in the State of Arkansas.

- f. Execution of Customer Owned Line Agreement is required.
 - g. Due to the nature of this facility, installation of an approved reduced pressure zone backflow preventer assembly (RPZ) is required on the domestic water service. This assembly must be installed prior to the first point of use. Central Arkansas Water (CAW) requires that upon installation of the RPZA, successful tests of the assembly must be completed by a Certified Assembly Tester licensed by the State of Arkansas and approved by CAW. The test results must be sent to CAW's Cross Connection Section within ten days of installation and annually thereafter. Contact the Cross Connection Section at 501-377-1226 if you would like to discuss backflow prevention requirements for this project.
 - h. Fire sprinkler systems which do not contain additives such as antifreeze shall be isolated with a double detector check valve assembly. If additives are used, a reduced pressure zone backflow preventer shall be required.
- 11. Meet the requirements of NLR Wastewater, including:**
- a. Compliance with current NLRW specifications is required for the existing service line, which may also need an upgrade to handle the projected increase in flow.
 - b. The existing grease interceptor must be recalculated for proper sizing and inspected by NLRW staff to ensure it meets current standards and is in good working order.
 - c. Submit a full set of plans to kunderwood@nlrwu.com for review and approval before construction begins. Construction shall not commence until approval is granted.



LOCATION MAP
NOT TO SCALE

LEGAL DESCRIPTION
LOT 1, BLOCK 1, SPRINGHILL DEVELOPMENT
A PART OF THE SW1/4 SECTION 20, TOWNSHIP 2 NORTH, RANGE 11 WEST,
IN THE CITY OF NORTH LITTLE ROCK, PULASKI COUNTY, ARKANSAS, MORE
PARTICULARLY DESCRIBED AS FOLLOWS:
COMMENCING AT THE NW CORNER OF SAID SW1/4 SECTION 20;
THENCE SOUTH 87°37'18" EAST ALONG THE NORTH LINE OF SAID SW1/4 AND
THE CENTERLINE OF MCCAIN BLVD., A DISTANCE OF 1404.40 FEET TO A POINT;
THENCE SOUTH 02°22'32" WEST, A DISTANCE OF 40.00 FEET TO A 5/8" IRON PIPE
ON THE SOUTH RIGHT-OF-WAY LINE OF MCCAIN BLVD., SAID POINT BEING THE POINT
OF BEGINNING FOR THE PARCEL HEREIN DESCRIBED;
THENCE SOUTH 02°22'32" WEST, A DISTANCE OF 403.05 FEET TO A 5/8" IRON PIPE;
THENCE SOUTH 88°39'06" WEST, A DISTANCE OF 325.21 FEET TO A 5/8" IRON
PIPE ON THE EAST RIGHT-OF-WAY LINE OF RICHARDS ROAD;
THENCE NORTH 01°20'32" EAST CONTINUING ALONG THE SAID EAST
RIGHT-OF-WAY LINE OF RICHARDS ROAD, A DISTANCE OF 358.98 FEET TO A
5/8" IRON PIPE ON THE SOUTH RIGHT-OF-WAY LINE OF MCCAIN BLVD.;
THENCE ALONG THE ARC OF A CURVE DEFLECTING TO THE RIGHT AND
HAVING A RADIUS OF 50.00 FEET, INCLUDED ANGLE OF 90°57'53" AND CHORD
LENGTH OF 71.30 FEET, BEARING NORTH 48°51'48" EAST, A DISTANCE OF
79.38 FEET TO A 5/8" IRON PIPE ON THE SAID SOUTH RIGHT-OF-WAY LINE OF
MCCAIN BLVD.;
THENCE SOUTH 87°37'18" EAST ALONG SAID SOUTH RIGHT-OF-WAY LINE OF MCCAIN
BLVD.,
A DISTANCE OF 281.87 FEET TO THE POINT OF BEGINNING;
CONTAINING THEREIN 133,254 SQUARE FEET OR 3.0591 ACRES, MORE OR LESS.

PARKING COUNT:
112 SPACES
5 ADA SPACES
117 TOTAL SPACES

FLOOD INFORMATION:
NO PORTION OF THIS PROPERTY IS LOCATED
WITHIN THE 100 YEAR FLOOD BOUNDARY AS
PER FEMA FLOOD INSURANCE RATE MAP NO.
051100060G, EFFECTIVE DATE: JULY 6, 2015
FOR THE CITY OF NORTH LITTLE ROCK,
PULASKI COUNTY, ARKANSAS.

SITE PLAN LEGEND

- REINFORCED CONCRETE PAVING
- SIDEWALK PAVING
- HEAVY DUTY CONCRETE PAVING
- 6-INCH BOLLARD
- SIGNS

NOTES:

1. ALL UNDERGROUND UTILITIES SHOWN
WERE LOCATED FROM INFORMATION
OBTAINED FROM THE OWNERS/SURVEYOR. NO
FIELD VERIFICATION WAS CONDUCTED TO
DETERMINE THE SIZE OR LOCATION. NOT
NECESSARILY ALL UNDERGROUND UTILITIES
ARE SHOWN AND THOSE SHOWN ARE IN
APPROXIMATE LOCATION. THE CONTRACTOR
IS RESPONSIBLE FOR VERIFYING THE LOCATION
AND DEPTH OF ALL UTILITIES PRIOR TO
BEGINNING CONSTRUCTION. THE CONTRACTOR
IS RESPONSIBLE FOR VERIFYING THE LOCATION
AND DEPTH OF ALL UTILITIES PRIOR TO
BEGINNING CONSTRUCTION.



ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE CITY OF NORTH LITTLE ROCK
ENGINEERING DESIGN CRITERIA STANDARD AND SPECIFICATIONS.

1 SITE PLAN REVIEW

OWNER:
RICHARDS LOGGING, LLC
176 BLACKBURN DR.
LITTLE ROCK, AR-72211

DEVELOPER:
BOBBY SHAROLA
KNB HOTELS
45 FANNIE LANE
SUITE 105
LONOKE, AR - 72086

LOT 2, BLOCK 1
SPRINGHILL DEVELOPMENT
OWNER: ARKANSAS ACTIVITIES
ASSOCIATION

nafta
Nash Engineering, Inc.
1105 NW 143RD Street
Oklahoma City, OK-73134
Phone: 405.420.0016
Email: info@naftaeng.com
Exp: 12/31/2027

SHEET NUMBER
C-102

SITE PLAN REVIEW
LOT 1, BLOCK 1, SPRINGHILL
DEVELOPMENT, CITY OF NORTH LITTLE
ROCK
40301 MCCAIN BLVD
PULASKI COUNTY, ARKANSAS 72114

Prepared for:
Bobby Sharola KNB Hotels
45 Fannie Lane Suite 105
Lonoke, AR - 72086

Item #6**SD2026-45 Maumelle Gateway Addition Preliminary Plat @ 12501 Maumelle Blvd**

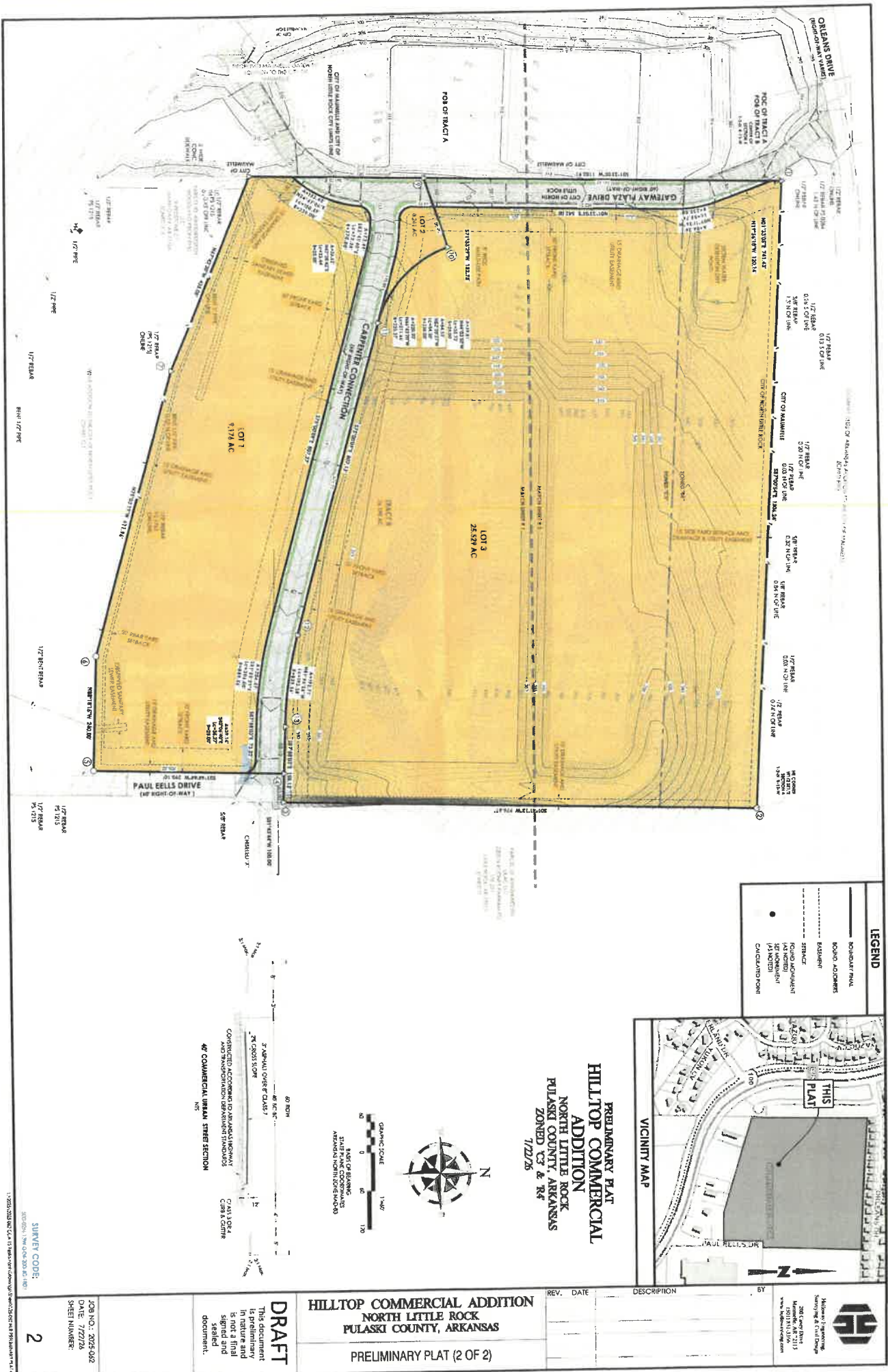
1. Engineering requirements on detention:
 - a. Stormwater detention plan will be required during Site Plan Review process.
2. Engineering requirements before the plat will be signed:
 - a. Provide ½ street improvements (street, drainage, curb and gutter, sidewalk, streetlights) or a performance bond.
 - b. Provide half of the required 60 foot right-of-way.
 - c. Street improvements must be approved by City Engineer and accepted by City Council.
3. Meet the requirements of Community Planning.
4. Meet the requirements of the Master Street Plan, including:
 - a. 11.2 of the *Regulations to Control Development and Subdivision of Lands* - Rights-of-Way and Pavement Width. Perimeter streets abutting a proposed commercial subdivision shall be developed in accordance with the Master Street Plan. Where an internalized system of public streets or private service easements is proposed for commercial subdivision, the following design standards shall be observed if dedicated:

Design Standards Street Type	Minimum ROW Width	Minimum Paving	Sidewalks (When Applicable)
Minor Arterial	80 Feet	44 Feet	Both Sides
Collector Street	60 Feet	36 Feet	Both Sides
Alley (When required)	20 Feet	17 Feet	NA

5. Meet the requirements of the Screening and Landscaping ordinance, including:
 - a. All disturbed areas are to be sodded, fertilized, watered and mulched.
6. Meet the following requirements concerning signage:
 - a. All signs require a permit and separate review.
7. Meet the requirements of the Fire Marshal.
8. Meet the requirements of CAW, including:
 - a. All Central Arkansas Water requirements in effect at the time of request for water service must be met.
 - b. Please submit plans for water facilities to Central Arkansas Water for review. Plan revisions may be required after additional review. Contact Central Arkansas Water regarding procedures for installation of water facilities. Approval of plans by Central Arkansas Water, the Arkansas
 - c. Department of Health Engineering Division and Maumelle Fire Department is required.
 - d. This development will have minor impact on the existing water distribution system. Proposed water facilities will be sized to provide adequate pressure and fire protection.
 - e. If there are facilities that need to be adjusted and/or relocated, contact Central Arkansas Water. That work would be done at the expense of the developer.
 - f. Additional fire hydrant(s) will be required. Contact the Maumelle Fire Department to obtain information regarding the required placement of the

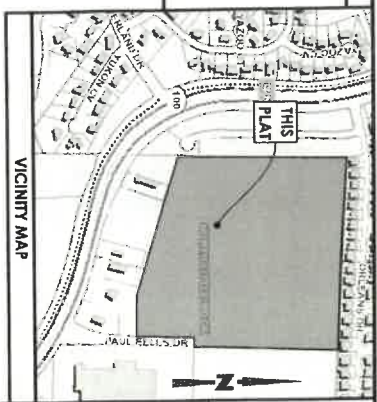
hydrant(s) and contact Central Arkansas Water regarding procedures for installation of the hydrant(s).

9. Meet the requirements of NLR Wastewater, including:
 - a. A public main extension is required for Lot 2 and Lot 3 as a condition of the proposed replat.
 - b. White Oak Connection Fee applies. Payment is required prior to public sewer connection.
 - c. Please submit a full set of plans to kunderwood@nlrwu.com for review and approval prior to construction beginning.

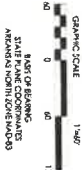


LEGEND

- BOUNDARY PAUL
- BOUNDARY ADJACENT
- BOUNDARY
- SEWER
- HOUSING ADJACENT
- UT ADJACENT
- ADJACENT
- ADJACENT



**PRELIMINARY PLAT
HILLTOP COMMERCIAL
ADDITION
NORTH LITTLE ROCK
PULASKI COUNTY, ARKANSAS
ZONED C3 & R4
1/22/26**



40' COMMERCIAL URBAN STREET SECTION

3" APPROPRIATE OVER CLASS 7

2" APPROPRIATE OVER CLASS 7

CONVERTED ACCORDING TO ARKANSAS HIGHWAY
AND TRANSPORTATION DEPARTMENT STANDARDS

CAN 1/2" X 3/4"

CAN 1/2" X 3/4"

REV.	DATE	DESCRIPTION
1	1/22/26	PRELIMINARY PLAT (2 OF 2)

DRAFT

This document is preliminary in nature and is not a final signed and sealed document.

**HILLTOP COMMERCIAL ADDITION
NORTH LITTLE ROCK
PULASKI COUNTY, ARKANSAS**

PRELIMINARY PLAT (2 OF 2)

JOB NO.: 2025-042

DATE: 7/22/26

SHEET NUMBER: 2

Surveying & Civil Design

2025 Survey Data

7/22/26

1/22/26

1/22/26

Item #7

SD2026-46 Riverside Add Lot A Blk 3 Replat and SPR @ 901 Dorthy Rodham Way

1. Engineering requirements on detention:
 - a. Option to pay the drainage in-lieu of fee of \$5000/acre instead of providing onsite detention.
2. Engineering requirements before the plat will be signed:
 - a. Provide ½ street improvements (street, drainage, curb and gutter, sidewalk, streetlights) or a performance bond.
 - b. Provide half of the required 50-foot right-of-way.
 - c. Street improvements must be approved by City Engineer and accepted by City Council.
3. Permit requirements/approvals submitted before a building permit will be issued:
 - a. A signed and recorded plat must be on file with the Planning Department.
 - b. If applicable, prior to construction, Owner's Engineer shall submit stormwater design report for review and approval by the City Engineer. Stormwater plans and detention calculations are to be approved by City Engineer and a written approval provided to Planning Department. Drainage submittal shall include, as a minimum, the following:
 - i. Proposed pipe material specifications.
 - ii. Proposed trench and bedding details, materials and specifications.
 - c. If applicable, provide CNLR Grading Permit application to City Engineer with grading plans.
 - d. Provide CNLR Stormwater Permit application to City Engineer with half size erosion control plan showing silt fence, storm inlet protection, and drainage details.
 - e. Provide CNLR driveway/curb cut permit application to City Engineer or copy of ARDOT driveway permit if State Highway.
 - f. Provide copy of Arkansas Department of Environmental Quality (ADEQ) Stormwater Permit to City Engineer.
 - g. Provide copy of Arkansas Department of Health approval for water and sewer facilities to NLR Planning Department if an extension of a main is required.
 - h. Prior to construction, Owner's Architect/Engineer shall submit signed construction plans and specifications (PDF format) to NLR Planning Department.
 - i. If applicable, prior to construction, Owner's Architect/Engineer shall submit digital maps for all stormwater drainage features in an ArcGIS or AutoCAD file to the City Engineer. The digital maps shall be natively in State Plane coordinate system, Arkansas North Zone, North American Datum 1983, units as feet; or the map must have sufficient points for georeferencing. The associated attribute data table from the submitted file shall match the fields contained within the "SW Attribute Data Entry Template.xlsx" as provided by City Engineering Department. All Control, Linear, and Junction map features will be annotated by a unique identifier that will correspond to the same unique identifier in the "SW Attribute Data Entry Template.xlsx" or GIS attribute table. Data for each attribute column in the "SW Attributed Data Entry Template.xlsx" file shall be chosen from the drop-down options of each cell, or chosen as "Other" (if not listed) and described in the

comments field. At the completion of the project, As-Builts of these shapefiles in ArcGIS or AutoCAD format, along with associated attribute data table, shall be submitted to the City Engineer.

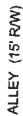
4. Meet the requirements of the City Engineer, including:
 - a. Prior to any excavation/street cuts within street ROW, provide CNLR Excavation Permit to City Engineer and Barricade Plan Permit to NLR Traffic Services.
 - b. Repair or replace existing sidewalk and curb to City Engineer's standards.
 - c. Contractor shall notify City Engineer at least 1 day prior to the construction of all stormwater pipes and inlet structures within City ROW.
 - d. At the end of construction, Owner/Developer shall have a Professional Engineer, licensed in the State of Arkansas, certify that all street and stormwater improvements in conjunction with this subdivision and/or the proposed development have been inspected and constructed in accordance with the approved plans and meet all City of North Little Rocks Standard Specifications.
 - e. Driveway radii shall be labeled and shall have 25' minimum radii and be built according to CNLR standard details (available at NLR Engineering Department).
 - f. Driveways shall not be closer than 40' to adjoining streets or 10' from adjoining property lines.
 - g. Spacing between proposed commercial/industrial driveways shall not be closer than 40'.
 - h. Driveway widths shall be labeled and shall be 10' minimum to 40' maximum.
 - i. Cross drains in the ROW shall be labeled and shall be RCP with flared end sections unless otherwise approved by Engineering.
 - j. All driveways are to be concrete within the ROW.
5. Meet the requirements of Community Planning, including:
 - a. Provide the standard requirements of Zoning and Development Regulations.
 - b. Provide on the site plan the location of the trash corral providing a location for refuse and recycle cans.
 - c. No fence is to be located from the front of the building to the front property line.
 - d. All exterior lighting shall be shielded and not encroach onto neighboring properties.
6. Meet the requirements of the Master Street Plan, including:
 - a. Provide 5-foot sidewalk and ramps with a minimum of 5-foot of green space between the sidewalk and curb to ADA and City standards.
 - b. Provide ½ street improvements. Repair or replace any broken curb, gutter or sidewalk located in the public right of way with the development of the site.
 - c. Provide ROW dedication to meet the Master Street Plan.
7. Meet the requirements of the Screening and Landscaping ordinance, including:
 - a. All disturbed areas are to be sodded, fertilized, watered and mulched.
 - b. Any new site development must comply with the City's minimal landscape and buffer ordinance requirements.
 - c. Landscape plan as submitted is acceptable.
8. Meet the following requirements concerning signage:
 - a. All signs require a permit and separate review.
9. Meet the requirements of the Fire Marshal, including:
 - a. Meet the requirements of the 2021 Arkansas Fire Prevention Code including:

- i. Townhouse: A single-family dwelling unit constructed in a group of three or more attached units in which each unit extends from the foundation to roof and with open space on at least two sides. (Volume 2 Chapter 2 Definitions)
 - ii. If there are dwellings above other dwellings the buildings shall be sprinklered. (Volume 2 Section 903.2.8, 903.3)
Or
 - iii. If each dwelling unit extends from the foundation to the roof they will be separated by fire resistance rated walls meeting the requirements of AFPC Volume 3 Section R302.2.1 or R302.2.2. These walls shall be constructed according to the approved plans or they will not pass inspection. UL design U336 is the design we would prefer. Call the Fire Marshal's Office with questions.
 - iv. Parapets shall be installed between townhouse units or the roof decking shall be of noncombustible material or fire retardant treated wood for 4 feet on each side of the demising wall or walls. (Volume 3 Section R302.2.4)
 - v. Exterior walls and eaves shall be five feet or more from the property line or an imaginary line between buildings or shall be fire rated. (Volume 3 Table R302.1(1))
 - vi. Fire Apparatus access roads shall extend to within 150 feet of all portions of the exterior walls of the first story of the buildings. The alley shall be 20' wide and capable of supporting 85,000lbs. (Volume 1 Section 503.1.1, Municipal Code Chapter 12, Article 3.2.4 D)
10. Meet the requirements of CAW, including:
- a. All Central Arkansas Water requirements in effect at the time of request for water service must be met.
 - b. The North Little Rock Fire Department needs to evaluate this site to determine whether additional public and/or private fire hydrant(s) will be required. If additional fire hydrant(s) are required, they will be installed at the Developer's expense.
 - c. Please submit plans for water facilities and/or fire protection system to Central Arkansas Water for review. Plan revisions may be required after additional review. Contact Central Arkansas Water regarding procedures for installation of water facilities and/or fire service. Approval of plans by the Arkansas Department of Health Engineering Division and North Little Rock Fire Department is required.
 - d. If there are facilities that need to be adjusted and/or relocated, contact Central Arkansas Water. That work would be done at the expense of the developer.
 - e. The facilities on-site will be private. When meters are planned off private lines, private facilities shall be installed to Central Arkansas Water's material and construction specifications and installation will be inspected by an engineer, licensed to practice in the State of Arkansas.
 - f. Execution of Customer Owned Line Agreement is required.
 - g. Due to the nature of this facility, installation of an approved reduced pressure zone backflow preventer assembly (RPZ) is required on the domestic water service. This assembly must be
 - h. installed prior to the first point of use. Central Arkansas Water (CAW) requires that upon installation of the RPZA, successful tests of the assembly must be completed by a Certified Assembly Tester

- i. licensed by the State of Arkansas and approved by CAW. The test results must be sent to CAW's Cross Connection Section within ten days of installation and annually thereafter. Contact the Cross Connection Section at 377-1226 if you would like to discuss backflow prevention requirements for this project.
 - j. Fire sprinkler systems which do not contain additives such as antifreeze shall be isolated with a double detector check valve assembly. If additives are used, a reduced pressure zone backflow preventer shall be required.
11. Meet the requirements of NLR Wastewater, including:
- a. Please provide flow projections for the proposed development. NLRW will analyze projected flow and determine whether sewer improvements will be needed for the receiving system.
 - b. Only one sewer lateral connection to the public main is allowed for the entire project parcel.
 - c. Will the townhomes have separate owners?
 - i. If so, will an entity such as an HOA be solely responsible for maintaining the private sewer service line?
 - d. Please submit a full set of plans to kunderwood@nlrwu.com for review and approval prior to construction beginning.



WINNERS & SUBWINNERS

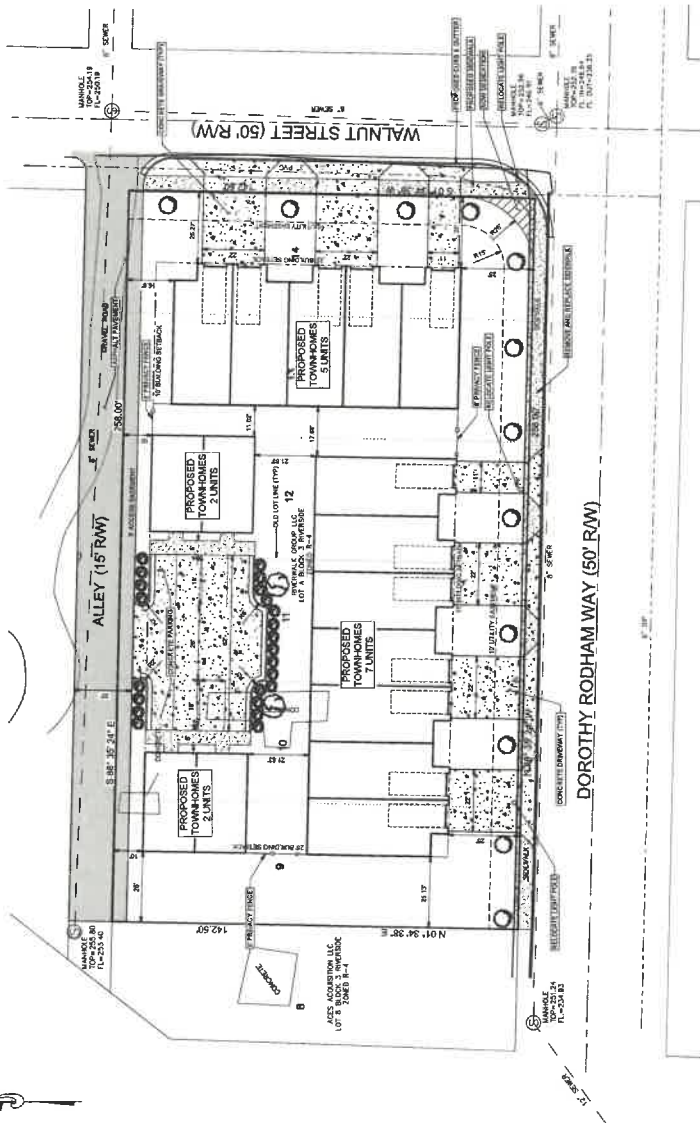




**THOMAS
ENGINEERING
COMPANY**

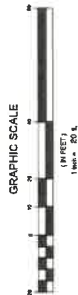
**REPLAT OF
RIVERSIDE ADDITION
LOT 4 BLOCK 3
NORTH LITTLE ROCK, ARKANSAS**

APPROVED	DATE	SHEET NO.
	8/20/99	1
3810 LONGCUT ROAD, N. LITTLE ROCK, AR. 72118 FAX: 501-763-6814 TEL: 501-763-4465 		



FOR USE AND BENEFIT OF
RIVERWALK GROUP, LLC
PO BOX 528
BENTONVILLE, AR 72712

LEGAL DESCRIPTION
LOT A, BLOCK 3,
RIVERSIDE ADDITION
CITY OF NORTH LITTLE ROCK, PULASKI COUNTY, ARKANSAS.



VICINITY MAP

- LEGEND
- SHOWS CONCRETE SIDEWALK
 - SHOWS ASPHALT PAVEMENT
 - SHOWS STANDARD DUTY CONCRETE PAVEMENT
 - SHOWS NEW BUILDING
 - PARKING LOT SHADE TREE
 - RED ON OR TREE FROM TABLE B OR C
 - 25' MINIMUM CLEARANCE
 - RED SHADE TREE
 - RED SHADE TREE FROM TABLE B
 - 25' MINIMUM CLEARANCE
 - DWIGHT VAUGHN HOLLY
 - SPACED 30' ON CENTER
 - 10' MINIMUM HEIGHT AT INSTALLATION

PAVING
STANDARD 6 SPOTS
DRIVEWAY 12 SPOTS
GARAGE 12 SPOTS
TOTAL 30 SPOTS

SITE PLAN REVIEW NOTES

1. SITE CONTAINS A PROPOSED 15 TOWNHOME BUILDINGS
2. SABS OF BEARING PILES
3. THIS PROPERTY IS NOT SHOWN IN THE 100 YEAR FLOOD PLAIN ON THE 6,000 INSURANCE RATE MAP COMMUNITY FLOOD NUMBER 850162 DATED JULY 4, 2016.
4. THIS PROPERTY IS ZONED R-4.
5. ALL ADJUTING PROPERTIES ARE ZONED R-4.
6. THIS TRACT CONTAINS 36,705 S.F. OR 0.844 ACRES, MORE OR LESS.
7. SETBACKS SHOWN ARE FOR R-4 ZONING.
FRONT 10' SIDE 10' REAR 25' REAR
8. ALL LANDSCAPING SHALL HAVE AUTOMATIC IRRIGATION.



SITE PLAN REVIEW
RIVERSIDE ADDITION
LOT A, BLOCK 3
NORTH LITTLE ROCK, ARKANSAS

APPROVED
DATE
BY

DESIGNED
DATE
BY

CHECKED
DATE
BY

3010 LORRAINE ROAD, N. LITTLE ROCK, AR 72118
TEL: 501-763-4483 FAX: 501-763-4814

DATE
BY
C1.0

Item #8
Special Use # 2026-14

Request: a Special Use to allow auto sales in a C3 zoning district

Location of the Request: 1201 Parkway Dr, NLR, AR

Applicant: Prestige Motorsports LLC

Owner: GRV Investments LLC

Legal Description: Lot 1 Graham Homer L Replat to the City of North Little Rock, Pulaski County, AR

Site Characteristics: The site is a commercial site located in a residential area. The lot has a history of automobile oriented business operations, primarily automobile detailing.

Land Use: Single Family

Master Street Plan: The Master Street Plan indicates Parkway Drive as a Minor Arterial. A Bike Route with Proposed Sharrow is indicated on the Master Bike Plan along Parkway Drive.

Surrounding Zoning and Uses

<u>Direction</u>	<u>Surrounding Zoning</u>	<u>Surrounding Uses</u>
North	R3	Single Family
South	R3	Single Family
East	R3	Single Family
West	R3	Single Family

Background: The property was rezoned from R3 to C3 by the adoption of Ordinance #3608 adopted by City Council on June 26, 1962.

Ordinance #7355 adopted by NLR City Council on March 26, 2001, approved a Special Use to allow automobile sales in a C3 zoning district for Vance Broadway. The approval allowed the placement of a maximum of ten vehicles on the property at any one time, limited the hours of operation from 8 am to 7 pm Monday through Friday, required the owner to comply with the Screening Ordinances and stated no vehicles shall be stored on said property from which parts are sold.

Ordinance #8216 adopted by NLR City Council on November 23, 2009, approved a contractor's office, auto detail shop and auto repair at this location. The approval limited the hours of operation for the minor auto repair and detail shop to 8 am to 9 pm and limited the lighting placement and eliminated the use of an outside speaker system.

General Information:

1. **Compatible with previous actions?**
2. **Neighborhood Position/Comment?** None at the time of printing.
3. **Effect on public service and utilities?** There should be minimal effect on public services and utilities with the approval of the Special Use to allow automobile sales.
4. **Legal Consideration/Reasonableness?** The request is reasonable.
5. **Will the approval have a stabilizing effect on surrounding properties?** With proper maintenance and with limiting the outdoor noise the approval should not have a significant impact on the adjacent homes.
6. **Is the site of adequate size for the development?** The site is a developed site.
7. **Will this set a precedent for future rezoning?** The zoning will remain unchanged. The Special Use will limit the availability for future transfer of the business to another automobile sales business owner.
8. **Should a different zoning classification be requested?** A Special Use is the appropriate request to allow the applicant to operate automobile sales from this location.

Staff Summary:

The applicant is seeking approval of a Special Use to allow automobile sales from this location. The applicant states the property will be primarily for the sale of used vehicles. No major mechanical repair work, body work or commercial automobile service operations will be conducted on-site. Any mechanical activity will be limited strictly to minor maintenance of dealership owned vehicles, such as basic servicing and preparation for sale. The applicant states the two buildings will be utilized for office space and general business operations associated with vehicle sales. The rear-fenced parking area will be utilized as overflow vehicle storage and for vehicles undergoing reconditioning prior to be offered for sale. The applicant states this set-up helps maintain a clean and organized appearance along the public-facing portions of the property. The hours of operation are proposed from 9 am to 6 pm Monday through Saturday and Sunday by appointment only.

Conditions to Consider:

1. There shall be a ratio of one vehicle per every 450 square feet of open lot area. This ratio shall include sales, employees, and customer vehicles. Open lot area does not include any structures.
2. A six (6) foot opaque privacy fence or a solid masonry wall shall be required when automobile/vehicle outdoor sales or leasing lot abuts a residential use or zoning district. Fences or walls shall not extend beyond the front building line of the abutting residential use or zoning district.
3. Fences shall not be allowed in the front yard of an automobile/vehicle outdoor sales or leasing lot, except as otherwise required by separate regulation.
4. Existing fences located in the front yard of an automobile/vehicle outdoor sales or leasing lot shall be removed, unless required when adjacent to residential use.
5. Automobile/vehicle outdoor sales or leasing lots shall not utilize barbed wire or razor wire. Any existing barbed wire or razor wire shall be removed.
6. All exterior automobile/vehicle outdoor sales or leasing lot lighting, located on a building or free standing, shall be shielded and directed downward. Lighting shall be directed away from abutting residential use or zoning district.

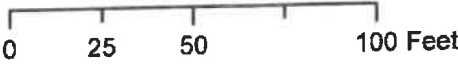
7. Sales or lease vehicles shall be displayed on one of the following surfaces: asphalt paving or concrete. Asphalt paving shall meet the Standards of Article 6 and approved by the City Engineer. Sale or lease vehicles shall not be displayed on grass or gravel surfaces.
8. Automobile/vehicle outdoor sales or leasing lots and any structures located on the lot shall meet all applicable City, County, State and Federal requirements and codes.
9. All signage shall meet the requirements of Article 14, Signs of the Zoning Ordinance.
10. Sale vehicles shall be secured after business hours and shall not be used as storage.
11. No inoperable or wrecked vehicles shall be stored or sold from the sales lot nor any vehicle parts as are defined under the Chapter 8 of the North Little Rock Code, Property Maintenance and Nuisance Abatement Code.
12. Vehicle sales lot shall be maintained at all times.
13. The Planning Department shall perform an inspection to confirm all requirements of the approval have been met.
14. By receipt of the City of North Little Rock business license, the holder shall acknowledge that failure to comply with these conditions may result in loss of the Special Use and/or removal of electric power meter.

Special Use #2026-14



Ortho Map

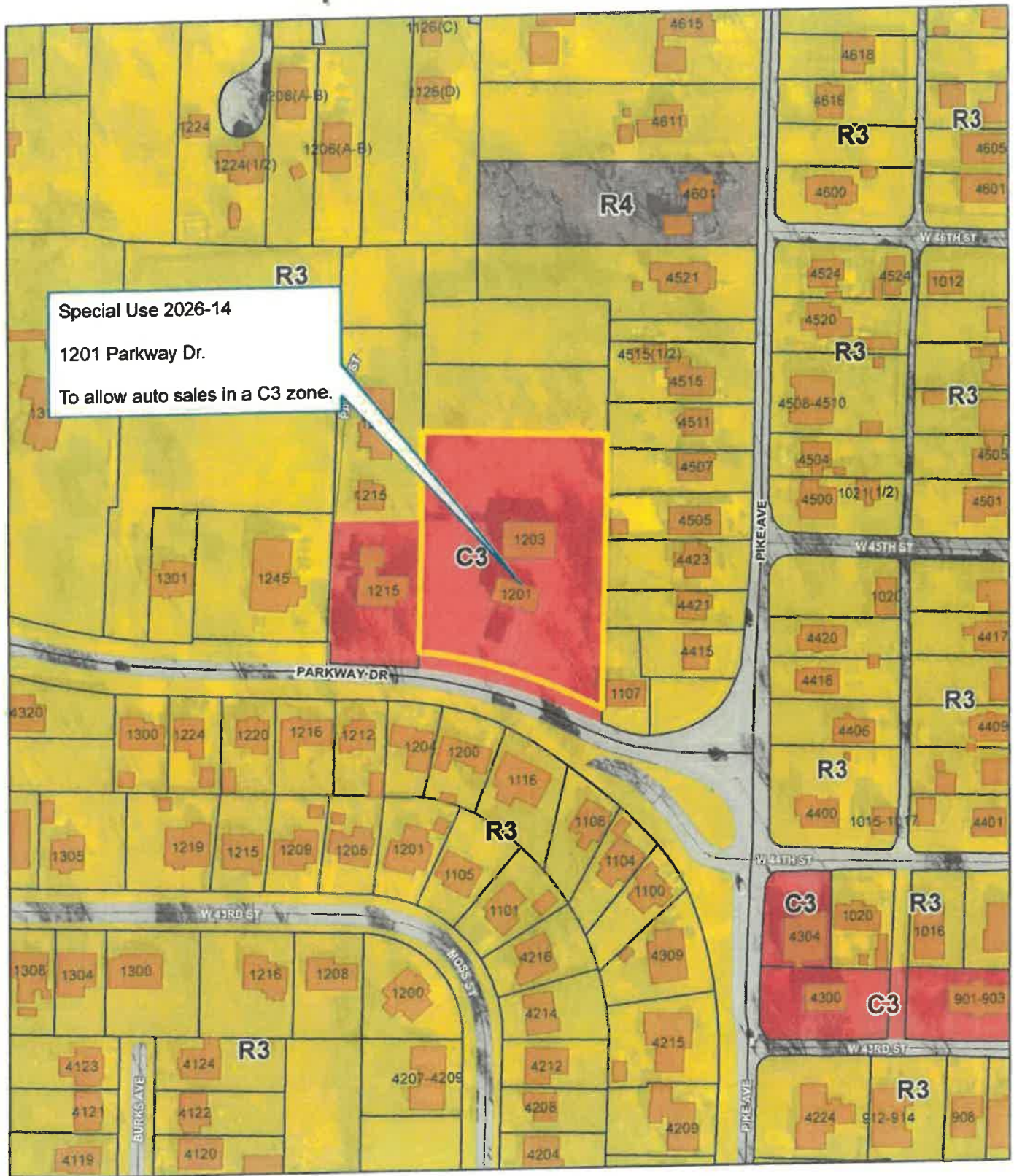
1 inch = 50 feet



Date: 5/21/2026

Not an actual survey

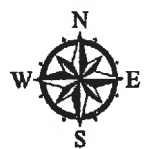
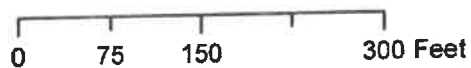
Special Use #2026-14



Zoning Map

Date: 5/21/2026

1 inch = 150 feet



Not an actual survey

Prestige Motorsports LLC
Victor Pantoja
501-773-6310
Prestige Motorsports LLC
1201 Parkway Drive
North Little Rock, Arkansas

04/24/2026

City of North Little Rock
Planning Department
North Little Rock, Arkansas

RE: Request for Conditional Use Permit – Used Automobile Sales

To Whom It May Concern,

I am writing on behalf of **Prestige Motorsports LLC** to formally request approval for a Conditional Use Permit to operate a used automobile sales business at the above-referenced property in North Little Rock, Arkansas.

The proposed use of the property will be primarily for the sale of used vehicles. No major mechanical repair work, body work, or commercial automotive service operations will be conducted on-site. Any mechanical activity will be limited strictly to **minor maintenance of dealership-owned vehicles**, such as basic servicing and preparation for sale.

The subject property consists of approximately **46,540 square feet**, with a total perimeter of **865 feet**, and includes **two existing buildings**. These structures will be utilized for office space and general business operations associated with vehicle sales.

Additionally, the property includes a **rear fenced parking area** that is screened from public view. This area will be used for overflow vehicle storage and for vehicles undergoing reconditioning prior to being offered for sale. This setup helps maintain a clean and organized appearance along the public-facing portions of the property.

Business hours will be **Monday through Saturday, 9:00 AM to 6:00 PM**, with **occasional Sunday appointments by request only**. The operation is expected to generate minimal traffic and will not produce excessive noise or disturbances. There will be no loud equipment or disruptive activities conducted on the premises.

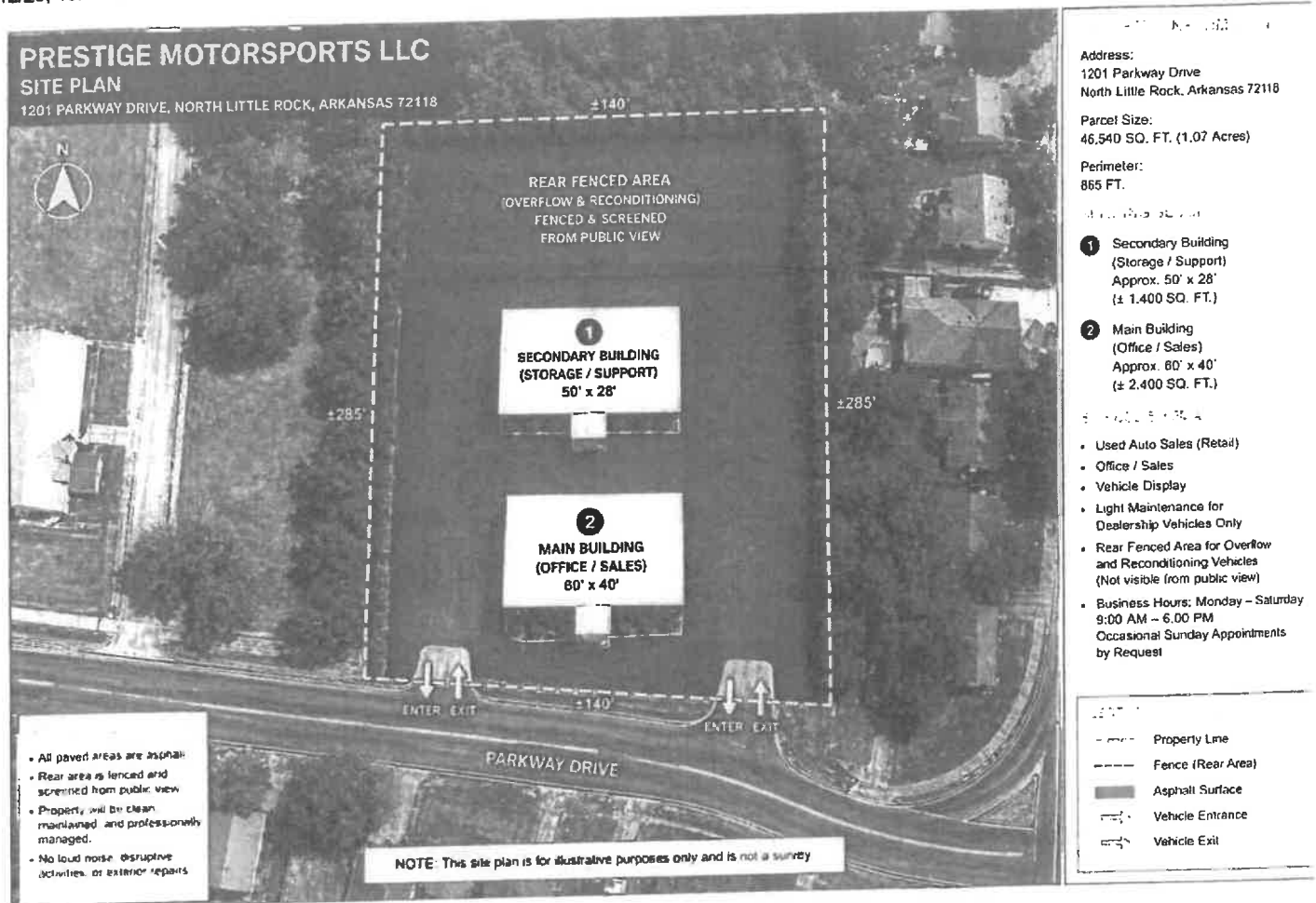
The property will be maintained in a clean, orderly, and professional manner at all times. Any exterior lighting will be appropriately directed to minimize impact on surrounding properties and ensure compliance with local regulations.

We believe this proposed use is compatible with the surrounding area and will contribute positively to the local business environment. Prestige Motorsports LLC is committed to operating responsibly and in full compliance with all applicable city ordinances and regulations.

We respectfully request your consideration and approval of this Conditional Use Permit. Please feel free to contact me if any additional information is needed.

Sincerely,

Victor Pantoja
Prestige Motorsports LLC



Item #9
Rezone #2026-12

Request: a Rezoning from C3 to R2 to recognize the existing use of the property as single family and a detached accessory dwelling unit

Location of the Request: @ 4001 HWY 161, NLR, AR

Applicant/Owner: LaTisha Earl

Legal Description: Part of the SE NE Section 20 2N 11W, Commencing at the NE Corner of the SE NE of Section 20 2N 11W Thence W 124' To the Westerly ROW Line of AR STATE HWY 161 Thence Southwesterly 935.2' to the Point of Beginning; Thence S17°47'44"W 119.62'; Thence N90°W 211.22' to the Northern ROW of Flowers Lane; Thence N2°24'04"E 114'; Thence N90°E243' to the Point of Beginning.

Site Characteristics: The property sits at the corner of HWY 161 and Flowers Lane. The property contains a single-family home which was constructed in 1938 and an accessory dwelling unit located in the rear yard. The home is modest in size containing 992 square feet. The ADU is indicated to contain 336 square feet. Waste Corporation of AR is located to the north of the property and undeveloped commercially zoned property located to the south. Flowers Lane is a two-lane roadway with no curb and gutter. Along Flowers Lane there are single family homes. There is a manufactured home park located at the end of Flowers Lane.

Land Use Plan: Single Family

Master Street Plan: HWY 161 is indicated on the Master Street Plan as a Principal Arterial street classification. There are no sidewalks in place along HWY 161. Flowers Lane is classified as a local street on the Master Street Plan.

Surrounding Zoning & Uses

<u>Direction</u>	<u>Surrounding Zoning</u>	<u>Surrounding Uses</u>
North	NA	Waste Collection – located in the County
South	C3	C3
East	NA	Auto Sales, Residential – located in the County
West	R2	Single Family

General Information:

1. **Compatible with previous actions?** Down zoning to recognize an existing use has been approved by the city in a number of cases previously.
2. **Neighborhood Position/Comment?** None at the time of printing.

3. **Effect on public service and utilities?** There should be no effect on public service and utilities if the rezoning is approved to recognize the existing use of the property.
4. **Legal Consideration/Reasonableness?** The request is to rezone the property to recognize the existing use of single family with an accessory dwelling unit on the property. The request is reasonable.
5. **Will the approval have a stabilizing effect on surrounding properties?** There should be no effect on the surrounding properties with the approval of the rezoning recognizing the existing use of the property.
6. **Is the site of adequate size for the development?** The site is a developed site and is of sufficient size to allow for the residence and the accessory dwelling unit on a property.
7. **Will this set a precedent for future rezoning?** The rezoning request is consistent with the Land Use Plan. The zoning is to recognize the existing use of the property and will not set a precedent for future rezoning request.
8. **Should a different zoning classification be requested?** R2 is the appropriate zoning to recognize the existing single-family home on the property and allow the ADU.

Staff Summary:

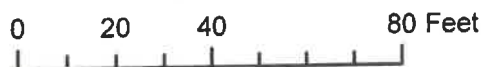
The applicant is seeking a rezoning of the property from C3 to R2 to recognize the existing use of the property. The property was developed as single-family and has historically been used as a residence. The area is indicated on the Land Use Plan as Single Family. The rezoning request is consistent with the Land Use Plan and staff is supportive of the applicant's request.

Rezone Case #2026-12



Ortho Map

1 inch = 40 feet



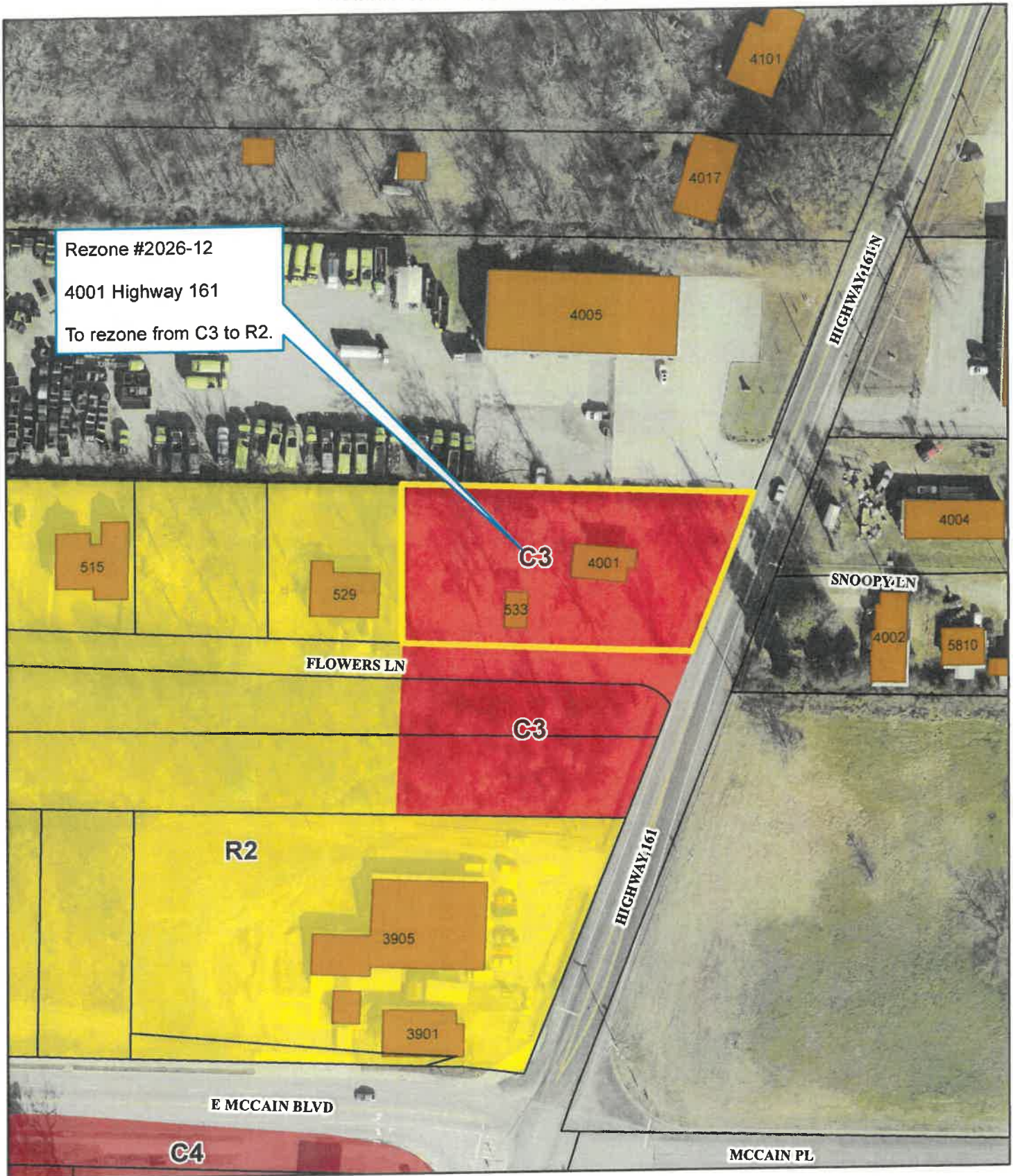
Date: 7/29/2026

Rezone Case #2026-12

Rezone #2026-12

4001 Highway 161

To rezone from C3 to R2.



Zoning Map

1 inch = 100 feet

0 50 100 200 Feet

Date: 7/29/2026



LaTisha Q . Earl Holloway
4001 Highway 161
North Little Rock, Ark 72117

7/8/2026

Rezoning request via Ms. Donna James

1. Fee sent usps in the amount of \$220.00

2. I would like to return the property back to residential status, It is currently commercial. Due ro its current status it makes lending next to impossible because of its homestead status

3. Legal Description: PT SE NE COM NE COR SE NE TH W124' TO W'LY R/W LN AR STATE HWY 161 TH SW'LY 935.2' FOR POB TH S17°47'44"W119.62' N90°W211.22' TO N'LY R/W FLOWERS LN TH N2°24'04"E114' N90°E243' TO POB 20 2N 11W

4.