

North Little Rock Planning Commission
July 14, 2026 - Agenda / Public Hearing 4:00 PM
City Council Chambers – 300 Main Street, NLR, AR 72114

I. Call to Order

II. Roll Call & Finding of a Quorum

III. Administrative

IV. Approval of Minutes June 9, 2026

V. Planning Commission Agenda Items

1. RZ2026-10 Faulkner Crossing Phase 12 – 14 Rezoning from R2 to R3 and RU to allow development of a residential subdivision @ the East end of Amaranth Dr
2. SD2026-37 Faulkner Crossing Phase 12 – 14 Preliminary Plat for 84 acres 429 lots constructed in 3 phases @ the East end of Amaranth Dr
3. SD2026-38 Lakewood Addition Lot 4B, Blk 67, SPR for Goodwill Donation Drop-off @ 4583 Fairway Ave
4. SD2026-39 Donovan Briley Subdivision Lot 2 SPR for 7.018-acres and the development of 72 residential townhomes @ 900 Donovan Briley Blvd
5. SD2026-41 Odus J Pack Jr Revocable Trust Pre Plat and SPR for reconstruction of a building damaged in the previous winter's ice storm @ 1501 HWY 161
6. RZ2026-11 a Rezoning from R3 to R4 for development of a triplex @ 1213 W 18th St
7. SD2026-42 Missouri Pacific Add Lots 7, 8 and 9 Blk 15 SPR for development of a triplex @ 1213 W 19th St
8. SD2026-43 McCain Mall Addition Replat and SPR for the creation of 4 lots and site plan review for 3 new buildings @ 3929 McCain Blvd
9. CU2026-06 a Conditional Use to revise the previously approved hours of operation for a daycare in a C3 zoning district @ 2501 N Poplar St
10. SU2026-15 a Special Use to allow the continued sale of dirt in an R2 zoning district @ 12602 Faulkner Lake Rd

VI. Public Comment

VII. Adjournment

Reminder -

- ❖ Commissioners and Participants speak into the microphone
- ❖ Turn off or silence cell phones
- ❖ Visitors Sign-in with both name and address
- ❖ Next Planning Commission Hearing Date August 11, 2026 @ 4 pm – Council Chambers, 300 Main Street, NLR, AR

NLR PLANNING COMMISSION MEETING PROCEDURES

PUBLIC HEARINGS: The regularly scheduled meeting is held on the second Tuesday of each month at 4:00 pm in the City Council Chambers, 300 Main Street, NLR, AR 72114. All Planning Commission meetings are open to the public. Typical meetings begin with Roll Call, Approval of the previous meeting Minutes, Old and New Business, Public Comment and Adjournment. The Commission considers Zoning Requests, Conditional and Special Use Requests as well as Development Review Items which are presented as summary recommendations of the Design Review Committee. The Planning Commission is not the final action on Rezoning, Special and Conditional Use requests. The Commission merely provides a recommendation on these items which is then forwarded to City Council for final action.

NOTICE TO MEMBERS OF THE AUDIENCE: All interested parties may appear and be heard at the public hearings. If you wish to address the Planning Commission on an agenda item, please queue behind the podium when the item is called and the Chair asks for comment from the audience. Once the Chair recognizes you, go to the podium and give your name and address. Address your comments to the Chair, who is the presiding officer. The Chair will direct your comments to the appropriate appointed official, staff, or others for response. Please keep your comments brief, to the point, and relevant to the agenda item being considered so that everyone has an opportunity to express their view.

GENERAL INFORMATION:

1. No person shall address the Planning Commission without first being recognized by the Chair.
2. All questions and remarks shall be made from the podium and addressed through the Chair.
3. After being recognized, each person shall state their name and address for the record.
4. When a group of citizens are present to speak on an item, a spokesperson(s) shall be selected by the group to address the Planning Commission. Presentations by the spokesperson(s) shall be limited to 3 minutes.
5. Additional member(s) of a group may be recognized if new or additional information is to be provided on an item. The time for this additional presentation is also limited to 3 minutes.
6. For individuals, not represented by a citizen group, presentations shall be limited to 3 minutes.
7. All remarks shall be addressed to the Planning Commission as a whole and not to any individual Planning Commission member.
8. No person, other than a Planning Commission member and the person having the floor, shall be permitted to enter into any discussion, either directly or indirectly, without first being recognized by the Chair.
9. Once the Question is called for or discussion on an item is closed, no person in the audience shall address the Planning Commission on the matter without first securing consent to do so by a majority vote of the Planning Commission members present.
10. All information, exhibits, photos, correspondence submitted at the hearing for the Commission's consideration will become a part of the record and will be retained by the Secretary of the Planning Commission for inclusion in the case file.
11. For persons wishing to submit information for the Planning Commission to consider at the hearing the information shall be provided one copy for each of the Planning Commissioners, one copy for the City Attorney's office, one copy for the case file and one copy for the Planning Director (12 copies total).
12. Anyone wishing to read a statement into the record shall provide the Secretary of the Planning Commission with a written copy of the statement at the time the statement is read into the record.

VOTING: There are 9 Commissioners. A quorum consists of 6 members present. "Robert's Rules of Order" apply unless the Commission outlines alternative procedures. As per the Commission's By-laws, all motions must be approved by a minimum of 5 positive votes. A simple majority of the members present does not necessarily approve a motion.

**North Little Rock Planning Commission
Minute Summary
June 9, 2026**

Chairman White called the meeting of the North Little Rock Planning Commission to order at 4:00 PM in the Council Chambers, City Hall, 300 Main Street, North Little Rock, AR. Rollcall found a quorum to be present; a quorum being six (6) members present.

Planning Commission Members Present:

Emanuel Banks
Vandy Belasco
Don Chambers
Charlie Foster
Junior Phillips (in @ 4:05 pm)
Renee Pierce
Reverend William Robinson
Edward Wallace
Steve White, Chairman

Members Absent:

All members present

Staff Present:

Marie-Bernarde Miller, Deputy City Attorney
Shawn Spencer, Director of Planning
Donna James, Assistant Director of Planning

Approval of Minutes: Commissioner Chambers made a motion to approve May 12, 2026, minute summary as submitted. Commissioner Wallace provided a second to the motion. By voice vote, the Commission members present voted unanimously in favor of the motion, (8/0/1).

Administrative: City Engineer, David Cook, provided his opinion of items which should be considered in an Environmental Study and what goes on in the environmental review process. He stated he felt the concern was the Wild River Country Site and what should be considered in the environmental process. He stated water and where it goes is a major consideration. He stated traffic studies were a part of the environmental review process. He stated the permitting process and mitigation were a part of the environmental review process. He stated the state environmental process was also included in the city review. Mr. Cook stated this was a large site for the state's environmental review process. He stated a large site review by the state was more strenuous than checking a box on a piece of paper. He stated the state also required additional information in their Stormwater Pollution and Prevention Plan (SWPP). He stated in this case the city had requested a traffic study in addition to the drainage study. He stated the drainage study had been provided by the applicant and staff had found the study to be acceptable. He stated the applicant had requested to continue grading of the site based on their approved grading plan. Mr. Cook stated for the site staff had on file an approved drainage study, the SWPP. He stated the SWPP was a study which shows where the water goes and any erosion controls measures associated with the water flow. He stated this was required for any

private development by the State of Arkansas. He stated the City of North Little Rock also required drainage analysis with private development.

Commissioner Foster questioned if the State Highway Department had a traffic study underway for the area as a whole. There was a general discussion concerning whether the previous traffic study would be used or if a new study would be performed. Mr. Thomas Pownall stated the study would be updated based on the change in use from the previous study. He stated the study would be provided to ARDOT and if they wanted to update their study, which would include a much larger area and include the numbers from this study that would be great but the State Highway Department did independent studies of areas under their jurisdiction.

There was a general discussion concerning the need for widening Crystal Hill Road and who would pay for widening. Mr. Pownall stated typically the developer did not widen State Highways. He stated if it was a simple turn lane then the developer would pay for and install this but if the improvements involved lane changes and additional lanes then ARDOT would take care of the widening.

Mr. Chambers stated the city did not have ordinances which would require a developer to provide an environmental study. He stated all the city could require was hydrology and traffic studies. Mr. Cook stated in his experience this was correct. He stated the city had a detention ordinance so they could require drainage analysis. He stated there were also mechanisms which would require traffic analysis. Mr. Cook stated he had been in meetings with the City of Maumelle and Metro Plan and they were conducting a traffic analysis of HWY 100 from I-40 to I-40. He stated this project would be added to the review once the traffic study was complete. He stated this would be provided to ARDOT which would help out for anything they had planned for long-term purposes.

Planning Commission Hearing Items – Development Review Committee & Public Hearings:

1. SD2026-31 Geo W Heilman Addition Replat, SPR located at 4125 Crystal Hill Rd

Mr. Mark Redder was present representing the request. Commissioner Chambers stated the Design Review Committee reviewed the application, the applicant was agreeable to the conditions, and the Committee recommended approval conditioned upon:

1. Engineering requirements on detention:
 - a. Pay the drainage in-lieu fee of \$5000/acre for the increase of impervious surfaces. (roof tops/parking)
2. Engineering requirements before the plat will be signed:
 - a. Provide ½ street improvements (street, drainage, curb and gutter, sidewalk, street lights) or a performance bond.
 - b. Provide half of the required 60 foot right-of-way.
 - c. Street improvements must be approved by City Engineer and accepted by City Council.
3. Permit requirements/approvals submitted before a building permit will be issued:
 - a. A signed and recorded plat must be on file with the Planning Department.
 - b. If applicable, prior to construction, Owner's Engineer shall submit stormwater design report for review and approval by the City Engineer. Stormwater plans and detention calculations are to be

approved by City Engineer and a written approval provided to Planning Department. Drainage submittal shall include, as a minimum, the following:

- i. Proposed pipe material specifications.
 - ii. Proposed trench and bedding details, materials and specifications.
 - c. Provide CNLR Stormwater Permit application to City Engineer with half size erosion control plan showing silt fence, storm inlet protection, and drainage details.
 - d. Provide CNLR driveway/curb cut permit application to City Engineer or copy of ARDOT driveway permit if State Highway.
 - e. Provide CNLR Floodplain Development Permit application to City Engineer.
 - f. Provide copy of Arkansas Department of Environmental Quality (ADEQ) Stormwater Permit to City Engineer.
 - g. Provide copy of Arkansas Department of Health approval for water and sewer facilities to NLR Planning Department if an extension of a main is required.
 - h. Prior to construction, Owner's Architect/Engineer shall submit signed construction plans and specifications (PDF format) to NLR Planning Department.
 - i. If applicable, prior to construction, Owner's Architect/Engineer shall submit digital maps for all stormwater drainage features in an ArcGIS or AutoCAD file to the City Engineer. The digital maps shall be natively in State Plane coordinate system, Arkansas North Zone, North American Datum 1983, units as feet; or the map must have sufficient points for georeferencing. The associated attribute data table from the submitted file shall match the fields contained within the "SW Attribute Data Entry Template.xlsx" as provided by City Engineering Department. All Control, Linear, and Junction map features will be annotated by a unique identifier that will correspond to the same unique identifier in the "SW Attribute Data Entry Template.xlsx" or GIS attribute table. Data for each attribute column in the "SW Attributed Data Entry Template.xlsx" file shall be chosen from the drop-down options of each cell or chosen as "Other" (if not listed) and described in the comments field. At the completion of the project, As-Builts of these shapefiles in ArcGIS or AutoCAD format, along with associated attribute data table, shall be submitted to the City Engineer.
4. Meet the requirements of the City Engineer, including:
- a. Prior to any excavation/street cuts within street ROW, provide CNLR Excavation Permit to City Engineer and Barricade Plan Permit to NLR Traffic Services.
 - b. Repair or replace existing sidewalk and curb to City Engineer's standards.
 - c. Contractor shall notify City Engineer at least 1 day prior to the construction of all stormwater pipes and inlet structures within City ROW.
 - d. At the end of construction, Owner/Developer shall have a Professional Engineer, licensed in the State of Arkansas, certify that all street and stormwater improvements in conjunction with this subdivision and/or the proposed development have been inspected and constructed in accordance with the approved plans and meet all City of North Little Rocks Standard Specifications.
 - e. If the proposed subdivision/development is located in a FEMA designated floodplain, the first floors of any commercial building is to be 1' above the 100-Year Base Flood Elevation and any residential development is to be 2' above the 100-Year Base Flood Elevation (BFE). At the completion of the project, submit Elevation Certificate to City Engineer.
 - f. If the proposed subdivision/development is located in a FEMA designated floodplain, submit Letter of Map Revision Based on Fill (LOMR-F) at end of project and provide a copy of FEMA approval to City Engineer.
 - g. Driveway radii shall be labeled and shall have 25' minimum radii and be built according to CNLR standard details (available at NLR Engineering Department).

- h. Driveways shall not be closer than 40' to adjoining streets or 10' from adjoining property lines.
 - i. Spacing between proposed commercial/industrial driveways shall not be closer than 40'.
 - j. Driveway widths shall be labeled and shall be 10' minimum to 40' maximum.
 - k. Cross drains in the ROW shall be labeled and shall be RCP with flared end sections unless otherwise approved by Engineering.
 - l. All driveways are to be concrete within the ROW.
5. Meet the requirements of Community Planning, including:
- a. Provide the standard requirements of Zoning and Development Regulations.
 - b. No fence is to be located from the front of the building to the front property line.
 - c. All exterior lighting shall be shielded and not encroach onto neighboring properties.
6. Meet the requirements of the Master Street Plan, including:
- a. Provide ½ street improvements. Repair or replace any broken curb, gutter or sidewalk located in the public right of way with the development of the site.
 - b. Provide ROW dedication to meet the Master Street Plan.
7. Meet the requirements of the Screening and Landscaping ordinance, including:
- a. All disturbed areas are to be sodded, fertilized, watered and mulched.
 - b. Any new site development must comply with the City's minimal landscape and buffer ordinance requirements.
 - c. Planting plan as submitted is acceptable.
 - d. With the exception of tree caliper specification. To meet the minimum code requirements revise all trees to meet the minimum caliper of 2.5 inches.
 - e. Landscape plan to be revised prior to the June 2026 Planning Commission Hearing
8. Meet the following requirements concerning signage:
- a. All signs require a permit and separate review.
9. Meet the requirements of the Fire Marshal.
10. Meet the requirements of CAW, including:
- a. All Central Arkansas Water requirements in effect at the time of request for water service must be met.
 - b. The North Little Rock Fire Department needs to evaluate this site to determine whether additional public and/or private fire hydrant(s) will be required. If additional fire hydrant(s) are required, they will be installed at the Developer's expense
 - c. Please submit plans for water facilities and/or fire protection system to Central Arkansas Water for review. Plan revisions may be required after additional review. Contact Central Arkansas Water regarding procedures for installation of water facilities and/or fire service. Approval of plans by the Arkansas Department of Health Engineering Division and North Little Rock Fire Department is required.
 - d. If there are facilities that need to be adjusted and/or relocated, contact Central Arkansas Water. That work would be done at the expense of the developer
 - e. Due to the nature of this facility, installation of an approved reduced pressure zone backflow preventer assembly (RPZ) is required on the domestic water service. This assembly must be installed prior to the first point of use. Central Arkansas Water (CAW) requires that upon installation of the RPZA, successful tests of the assembly must be completed by a Certified Assembly Tester licensed by the State of Arkansas and approved by CAW. The test results must be sent to CAW's Cross Connection Section within ten days of installation and annually thereafter. Contact the Cross Connection Section at 377-1226 if you would like to discuss backflow prevention requirements for this project.

- f. Fire sprinkler systems which do not contain additives such as antifreeze shall be isolated with a double detector check valve assembly. If additives are used, a reduced pressure zone backflow preventer shall be required.
11. Meet the requirements of NLR Wastewater, including:
- a. The replat indicates that 4135 and 4125 Crystal Hill Road will be located on a single parcel. Should this land be subdivided into two separate parcels in the future, each new lot must have its own independent sewer service that is within property boundaries. According to North Little Rock Wastewater (NLRW) regulations, private sewer lines are prohibited from crossing property boundaries; therefore, each parcel will be responsible for its respective service line.
 - b. Public sewer main extension will be required to serve Lot 5C, 5D and Lot 5E.
 - c. Please submit a full set of plans to kunderwood@nlrwu.com for review and approval prior to construction beginning.

Commissioner Blasco provided a second to the motion. By voice vote, the Commission voted unanimously for approval (9/0/0).

2. SD2026-33 McCain Mall Addition Replat Lot 3RR and SPR located in the McCain Mall Parking Lot behind 4221 & 4225 Warden Rd

The item was postponed to the July 14, 2026, Planning Commission hearing at the request of the applicant.

3. SD2026-35 Richardson Commercial Lot 1 SPR located in the 4700 Block of McCain Blvd

The applicant was present representing the request. Commissioner Chambers stated the Design Review Committee reviewed the application, the applicant was agreeable to the conditions, and the Committee recommended approval conditioned upon:

- 1. The preliminary plat for the subdivision has been approved by the Planning Commission (SD2024-43). Prior to the issuance of a building permit a final recorded plat shall be required.
- 2. Engineering requirements on detention:
 - a. Option to pay the drainage in-lieu of fee of \$5000/acre instead of providing onsite detention.
- 3. Permit requirements/approvals submitted before a building permit will be issued:
 - a. A signed and recorded plat must be on file with the Planning Department.
 - b. If applicable, prior to construction, Owner's Engineer shall submit stormwater design report for review and approval by the City Engineer. Stormwater plans and detention calculations are to be approved by City Engineer and a written approval provided to Planning Department. Drainage submittal shall include, as a minimum, the following:
 - i. Proposed pipe material specifications.
 - ii. Proposed trench and bedding details, materials and specifications.
 - c. Provide CNLR Grading Permit application to City Engineer with grading plans.
 - d. Provide CNLR Stormwater Permit application to City Engineer with half size erosion control plan showing silt fence, storm inlet protection, and drainage details.
 - e. Provide CNLR driveway/curb cut permit application to City Engineer or copy of ARDOT driveway permit if State Highway.

- f. Provide CNLR Floodplain Development Permit application to City Engineer.
 - g. Provide copy of Arkansas Department of Environmental Quality (ADEQ) Stormwater Permit to City Engineer.
 - h. Provide copy of Arkansas Department of Health approval for water and sewer facilities to NLR Planning Department if an extension of a main is required.
 - i. Prior to construction, Owner's Architect/Engineer shall submit signed construction plans and specifications (PDF format) to NLR Planning Department.
 - j. If applicable, prior to construction, Owner's Architect/Engineer shall submit digital maps for all stormwater drainage features in an ArcGIS or AutoCAD file to the City Engineer. The digital maps shall be natively in State Plane coordinate system, Arkansas North Zone, North American Datum 1983, units as feet; or the map must have sufficient points for georeferencing. The associated attribute data table from the submitted file shall match the fields contained within the "SW Attribute Data Entry Template.xlsx" as provided by City Engineering Department. All Control, Linear, and Junction map features will be annotated by a unique identifier that will correspond to the same unique identifier in the "SW Attribute Data Entry Template.xlsx" or GIS attribute table. Data for each attribute column in the "SW Attributed Data Entry Template.xlsx" file shall be chosen from the drop-down options of each cell, or chosen as "Other" (if not listed) and described in the comments field. At the completion of the project, As-Built of these shapefiles in ArcGIS or AutoCAD format, along with associated attribute data table, shall be submitted to the City Engineer.
4. Meet the requirements of the City Engineer, including:
- a. Prior to any excavation/street cuts within street ROW, provide CNLR Excavation Permit to City Engineer and Barricade Plan Permit to NLR Traffic Services.
 - b. Repair or replace existing sidewalk and curb to City Engineer's standards.
 - c. Contractor shall notify City Engineer at least 1 day prior to the construction of all stormwater pipes and inlet structures within City ROW.
 - d. At the end of construction, Owner/Developer shall have a Professional Engineer, licensed in the State of Arkansas, certify that all street and stormwater improvements in conjunction with this subdivision and/or the proposed development have been inspected and constructed in accordance with the approved plans and meet all City of North Little Rocks Standard Specifications.
 - e. If the proposed subdivision/development is located in a FEMA designated floodplain, the first floors of any commercial building is to be 1' above the 100-Year Base Flood Elevation and any residential development is to be 2' above the 100-Year Base Flood Elevation (BFE). At the completion of the project, submit Elevation Certificate to City Engineer.
 - f. If the proposed subdivision/development is located in a FEMA designated floodplain, submit Letter of Map Revision Based on Fill (LOMR-F) at end of project and provide a copy of FEMA approval to City Engineer.
 - g. Driveway radii shall be labeled and shall have 25' minimum radii and be built according to CNLR standard details (available at NLR Engineering Department).
 - h. Driveways shall not be closer than 40' to adjoining streets or 10' from adjoining property lines.
 - i. Spacing between proposed commercial/industrial driveways shall not be closer than 40'.
 - j. Driveway widths shall be labeled and shall be 10' minimum to 40' maximum.
 - k. Cross drains in the ROW shall be labeled and shall be RCP with flared end sections unless otherwise approved by Engineering.
 - l. All driveways are to be concrete within the ROW.
 - m. Provide ½ street improvements (street, drainage, curb and gutter, sidewalk, street lights) or a performance bond.

- n. Street improvements must be approved by City Engineer and accepted by City Council.
- 5. Meet the requirements of Community Planning, including:
 - a. Provide the standard requirements of Zoning and Development Regulations.
 - b. No fence is to be located from the front of the building to the front property line.
 - c. All exterior lighting shall be shielded and not encroach onto neighboring properties.
- 6. Meet the requirements of the Master Street Plan, including:
 - a. Provide 5-foot sidewalk and ramps with a minimum of 5-foot of green space between the sidewalk and curb to ADA and City standards.
 - b. Provide ½ street improvements. Repair or replace any broken curb, gutter or sidewalk located in the public right of way with the development of the site.
 - c. Provide ROW dedication to meet the Master Street Plan.
- 7. Meet the requirements of the Screening and Landscaping ordinance, including:
 - a. All disturbed areas are to be sodded, fertilized, watered and mulched.
 - b. Any new site development must comply with the City's minimal landscape and buffer ordinance requirements.
 - c. Trees shall be planted at the rate of one (1) tree per six (6) parking spaces.
 - d. Trees ten (10) feet from the edge of parking area may serve for the parking lot shading requirements, but may not satisfy more than fifty (50) percent of the overall requirement for the parking lot or area.
 - e. A minimum of 10 trees are required to be located within the parking lot area.
 - f. Parking lot trees are to be chosen from Table B or C, Section 7.5 of the North Little Rock zoning code, Table D shall be used if beneath overhead power lines.
 - g. Only shrubs from the approved planting list will count toward this requirement, unless approved by the Planning Commission. Shrubs shall be eighteen (18) inches in height at planting and be planted a maximum three (3) feet apart.
 - h. Provide note on landscape plan stating all turf and plant material shall be irrigated by an automatic underground irrigation system
 - i. Landscape plan to be revised prior to the May 2026 Planning Commission Hearing.
- 8. Meet the following requirements concerning signage:
 - a. All signs require a permit and separate review.
 - b. The site is located in the East McCain Sign Overlay District.
- 9. Meet the requirements of the Fire Marshal, including:
 - a. Meet the requirements of the 2021 Arkansas Fire Prevention Code including
 - i. A coversheet shall be provided including the information required by Volume 2 Section 107.2.12 including occupancy classification, floor area and occupant load. (Volume 2 Section 107.2.12)
 - b. Meet the requirements of the 2021 Arkansas Fire Prevention Code including:
 - i. - Emergency lighting. (Volume 1 Section 1008)
 - ii. - Approved exit signs. (Volume 1 Section 1013)
 - iii. -Two emergency exits (Volume 1 Section 1006)
 - iv. -A main electrical disconnect shall be installed outside of every building (Municipal Code Chapter 4, Article 3, Sec. 1)
 - v. 1) - There shall be a fire hydrant within 400' of any portion the building if unsprinklered, within 600' if sprinklered. (Volume 1 Section 507.5.

- vi. - Buildings containing a mercantile occupancy with a fire area exceeding 12,000 square feet shall be provided throughout with an automatic fire sprinkler system. (Volume 1 Section 903.2.7)

10. Meet the requirements of CAW, including:

- a. All Central Arkansas Water requirements in effect at the time of request for water service must be met.
- b. The North Little Rock Fire Department needs to evaluate this site to determine whether additional public and/or private fire hydrant(s) will be required. If additional fire hydrant(s) are required, they will be installed at the Developer's expense.
- c. Please submit plans for water facilities and/or fire protection system to Central Arkansas Water for review. Plan revisions may be required after additional review. Contact Central Arkansas Water regarding procedures for installation of water facilities and/or fire service. Approval of plans by the Arkansas Department of Health Engineering Division and North Little Rock Fire Department is required.
- d. The facilities on-site will be private. When meters are planned off private lines, private facilities shall be installed to Central Arkansas Water's material and construction specifications and installation will be inspected by an engineer, licensed to practice in the State of Arkansas. Execution of Customer Owned Line Agreement is required.
- e. Due to the nature of this facility, installation of an approved reduced pressure zone backflow preventer assembly (RPZ) is required on the domestic water service. This assembly must be installed prior to the first point of use. Central Arkansas Water (CAW) requires that upon installation of the RPZA, successful tests of the assembly must be completed by a Certified Assembly Tester licensed by the State of Arkansas and approved by CAW. The test results must be sent to CAW's Cross Connection Section within ten days of installation and annually thereafter. Contact the Cross Connection Section at 377-1226 if you would like to discuss backflow prevention requirements for this project.
- f. Fire sprinkler systems which do not contain additives such as antifreeze shall be isolated with a double detector check valve assembly. If additives are used, a reduced pressure zone backflow preventer shall be required.

11. Meet the requirements of NLR Wastewater, including:

- a. Please verify all public sewer mains that are not within the Public Right-of-Way have sanitary sewer easement. (See Attached Map)
- b. Easement must be centered over public sewer mains.
- c. Please submit a full set of plans to kunderwood@nlrwu.com for review and approval prior to construction beginning.

Commissioner Blasco provided a second to the motion. By voice vote, the Commission voted unanimously for approval (9/0/0).

4. SU2026-14 a Special Use to allow auto sales in a C3 zoning district located at 1201 Parkway Dr

The application was postponed to the July 14, 2026 public hearing due to lack of proper notice being provided by the applicant.

5. RZ2026-06 a Rezoning from I2 to R6 and to amend the Land Use Plan from Light Industrial to Single Family @ 122 Steed Rd

Ms. Kenia Moreno and Ms. Caterina Simms were present representing the request. Chairman White called the item and requested the applicant come forward to address the Commission on the merits of the request. Ms. Simms stated Ms. Moreno wanted to reconstruct a home of the former manufactured home frame. Ms. Simms stated the home was started but was stopped when staff told Ms. Moreno the property needed to be rezoned to allow the residential use.

Ms. Nancy Haley addressed the Commission stating she was concerned with the rezoning and the reconstruction of the home. She stated the property had a history of issues including not taking care of the property and concern for criminal activities taking place. She stated the current property as vacant was a better option.

Chairman White questioned if the issues were with the current owner. Ms. Haley stated the issues were with previous occupants of the site. She stated the previous occupants were renters and they were not good neighbors.

Ms. Simms stated Ms. Moreno wanted the property to be her home and had every intention of being a good neighbor and keeping the property maintained.

Chairman White questioned if there was anyone in the audience who wanted to speak for or against the item. There being none he questioned if any of the Commissioners had any questions or comments there being none and there being no more discussion Chairman White called for a roll call vote:

Banks	Yes	Belasco	Yes	Chambers	Yes
Foster	Yes	Phillips	Yes	Pierce	Yes
Robinson	Yes	Wallace	Yes	White	Yes

RZ2026-06 was approved with (9) affirmative votes, (0) no votes and (0) absent.

6. RZ2026-07 a Rezoning from R4 to C6 @ 412 Division St

Mr. Thomas Pownall was present representing the request. Chairman White called the item and requested Mr. Pownall come forward to address the Commission on the merits of the request. Mr. Pownall stated the request was to rezone the property from the current R4 zoning classification to C6 to allow future development of a five-plex on the property.

Commissioner Chambers stated the approval of the developments replacing an existing single unit with four and five units. He stated the C6 zoning was being used for purposes it was not intended. He stated by allowing the rezonings to C6 the developments were being created with no open space, no where for the children to play and no where for the dogs to get outside. He stated the city was building future slums. He stated until the loophole was corrected he would no longer vote to support C6 rezonings to allow for the over building of lots.

Chairman White questioned if there was anyone in the audience who wanted to speak for or against the item. There being none he questioned if any of the Commissioners had any additional questions or comments there being none and there being no more discussion Chairman White called for a roll call vote:

Banks	Yes	Belasco	Yes	Chambers	No
Foster	Yes	Phillips	Yes	Pierce	Yes
Robinson	Yes	Wallace	Yes	White	Yes

RZ2026-07 was approved with (8) affirmative votes, (0) no votes and (1) absent.

7. RZ2026-08 a Rezoning from R4 to C6 for the south 5-feet of the property @ 805 Magnolia St

Mr. Thomas Pownall was present representing the request. Chairman White called the item and requested Mr. Pownall come forward to address the Commission on the merits of the request. Mr. Pownall stated the request was to rezone the property from the current R4 zoning classification to C6 to match the existing zoning of the remainder of the property and to allow future construction of a single family home.

Chairman White questioned if there was anyone in the audience who wanted to speak for or against the item. There being none he questioned if any of the Commissioners had any questions or comments there being none and there being no more discussion Chairman White called for a roll call vote:

Banks	Yes	Belasco	Yes	Chambers	No
Foster	Yes	Phillips	Yes	Pierce	Yes
Robinson	Yes	Wallace	Yes	White	Yes

RZ2026-08 was approved with (8) affirmative votes, (0) no votes and (1) absent.

Public Comments/Adjournment:

Chairman White called for public comment. There being no further business before the Commission, and on a motion by Commissioner Chambers and seconded by Commissioner Wallace, and with the consent of all members present (9/0/0), the meeting was adjourned at 5:10 pm. The next regularly scheduled Commission meeting is to be held on Tuesday, July 14, 2026, at 4:00 pm in the City Council Chambers of City Hall, 300 Main Street, NLR, AR.

Respectfully Submitted:

Donna James, AICP

Assistant Director of Planning

Item #1
Rezone #2026-10

Request: a rezoning from R2 to R3 and RU to allow development of a residential subdivision

Location of the Request: the East end of Amaranth Dr, NLR, AR

Applicant: Davidson Engineering

Owner: Stillwater Land Development

Legal Description: Part of the North ½ of the North ½ of Section 7, Township 1 North, Range 10 West of the Fifth Principle Meridian, Pulaski County, Arkansas and being more particularly described as: Beginning at the Southwest corner of Section 6, Township 1 North, Range 10 West as shown on final plat, Faulkner Crossing Addition, Phase 4 filed with Pulaski County Circuit Court, Instrument #2010063453; thence along South line of said Section 6, South 88°43'26" East a distance of 2409.29 feet to a found rebar; thence leaving said South line, South 20°36'50" East a distance of 1466.33 feet to a found rebar with cap (PLS 1755); thence North 88°48'15" West a distance of 2950.46 feet to a 5/8" iron pipe on the West line of Section 7; thence along said West line North 00°25'12" East a distance of 379.25 feet to a 5/8" iron pipe; thence continuing along said West line North 00°25'23" East a distance of 542.30 feet to the Southeast corner of Section 1, Township 1 North, Range 11 West; thence continuing along said West line North 02°20'18" East a distance of 443.37 feet to the Point of Beginning, containing 84.00 (3,659,201.37 sq ft) acres more or less.

Site Characteristics: The site is undeveloped raw acreage located south and east of Faulkner Crossing Subdivision. The site appears to be relatively flat. The property to the north and west is developed as a single-family subdivision, Faulkner Crossing.

Land Use Plan: Single Family

Master Street Plan: Amaranth Drive was constructed with a 60-foot ROW, a Collector Street ROW width, although the street is not indicated on the Master Street Plan as a collector. There is a Class III bikeway route located to the west along HWY 391 and also a 2nd Class III bikeway route located to the north along Faulkner Lake Road. Typically bike routes are in more urban areas where formal bike lanes cannot adequately be striped or located along rural roadways lane widths in excess of 14 feet. Generally, these routes are unimproved, meaning the roadway has not been widened or altered.

Surrounding Zoning & Uses

<u>Direction</u>	<u>Surrounding Zoning</u>	<u>Surrounding Uses</u>
North	R2	Single Family – Faulkner Crossing PH 4
South	R5	Raw acreage
East	R2	Property approved with a SU to allow the sale of dirt
West	R2	Single Family – Faulkner Crossing PH 3

General Information:

1. **Compatible with previous actions?** The request to rezone the property to allow the development as proposed is not compatible with the existing development pattern in the area.
2. **Neighborhood Position/Comment?** None at the time of printing.
3. **Effect on public service and utilities?** Wastewater has expressed concern with capacity capabilities stating the receiving sanitary sewer system currently lacks the capacity to accept this development.
4. **Legal Consideration/Reasonableness?** It is not a reasonable request to develop the property as an urban development within a suburban area which lacks urban services such as transit, parks and recreational areas and open space.
5. **Will the approval have a stabilizing effect on surrounding properties?** The development of the lots as proposed has the potential to negatively affect the surrounding properties both existing developed property and future developments.
6. **Is the site adequate size for the development?** The site is in excess of 80-acres and is of adequate size for development of a single-family subdivision.
7. **Will this set a precedent for future rezoning?** There is a strong possibility the approval of the rezoning will set precedent for future rezoning requests in the area who will also lack services such as recreational amenities.
8. **Should a different zoning classification be requested?** The zoning should remain unchanged, and the proposed subdivision developed consistent with the existing zoning.

Staff Summary:

The applicant is seeking approval of a rezoning from the current R2, Single Family District to R3, Duplex District and RU Residential Urban District. With the approved rezoning the applicant is seeking to development 84-acres with 429 residential lots in 3 phases. Phase I consists of 38-R3 zoned lots and 92-RU zoned lots, Phase II includes 41-R3 lots and 130-RU lots and Phase III includes 31-R3 lots and 97-RU lots.

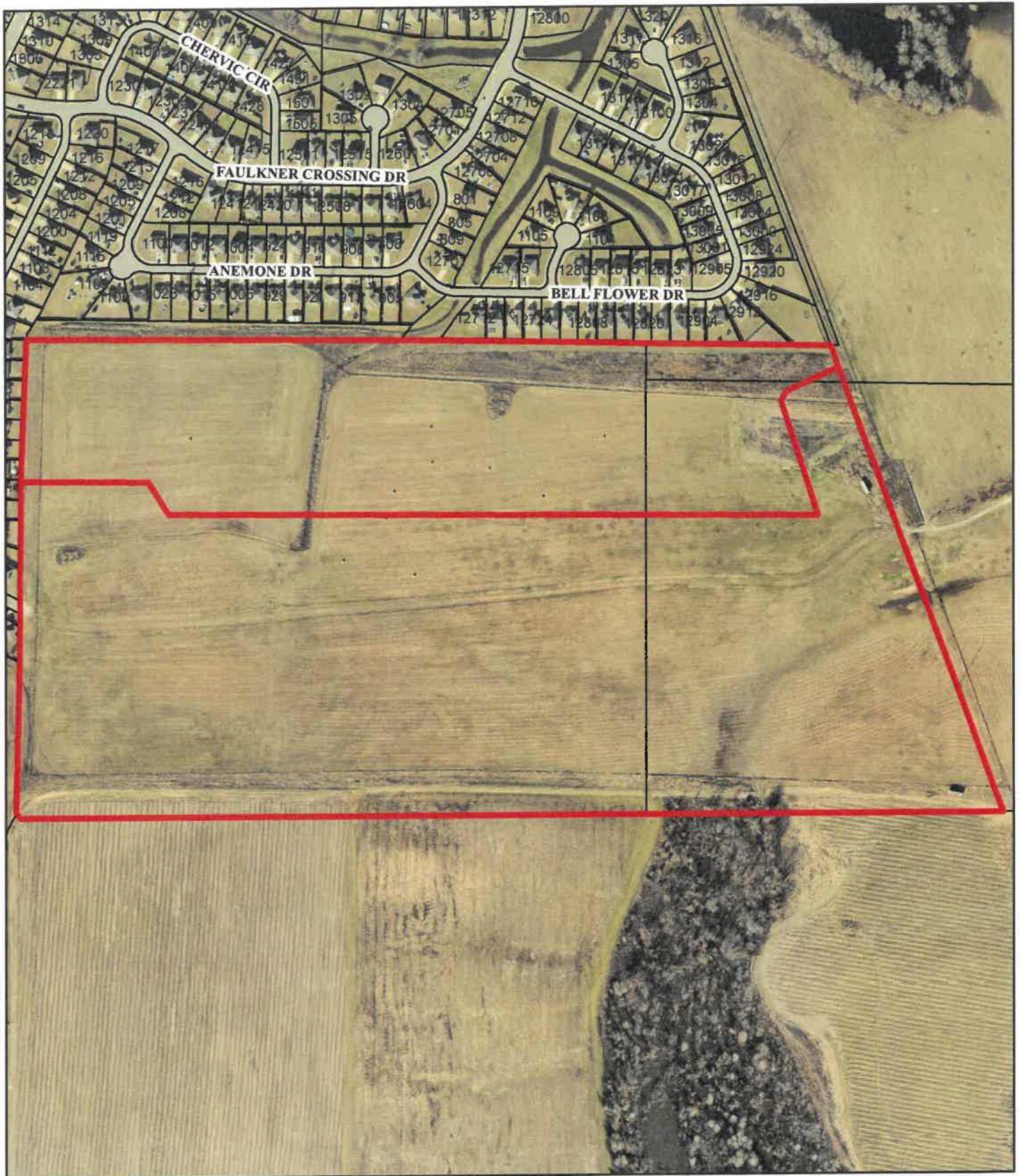
The RU, Residential Urban District is intended to provide areas that mimic traditional urban residential forms within existing urban neighborhoods and new neighborhood developments. The RU zoning districts require lot widths of 40-feet for interior lots and 45-feet for corner lots with minimum lot sizes of 4,000 square feet for interior lots and 4,500 square feet for corner lots. The maximum lot coverage allowed within the RU zoning district is 90% including the principal building and all accessory structures. Setbacks are allowed at 0-feet to 15-feet for the front yard and 10-feet for the rear yard. The side yard setbacks are allowed at 5 feet.

The R2, Single-Family District is intended to provide areas for low density single-family developments as well as the related complementary uses normally required to provide the basic elements of a balanced and attractive residential area with the potential for Special Uses. The R3, Duplex District is intended to provide areas for medium density single-family and two-family developments and related complementary uses normally required to provide the basic elements of a balanced and attractive residential area. Both the R2 and R3 zoning districts require lot widths of 60-feet for interior lots and 75-feet for corner lots. The maximum lot coverage allowed within these zoning districts is 50%

including the principal building and all accessory structures. Setbacks are allowed at 25 feet for the front yard and 25 feet for the rear yard. The side yard setbacks are allowed at 10% of the lot width with a minimum of 6-feet and a maximum of 8-feet.

Staff has concerns with the rezoning and overall development plan as proposed. The applicant is seeking densities far greater than the typical suburban development pattern in the area with existing densities ranging from 2.5 to 4.2 units per acre. With the development of 110 lots zoned R3 and 319 lots zoned RU the resulting is a density of 5.1 units per acre if developed with all lots as single family homes and 6.4 units per acre if developed with the maximum density allowed of single-family homes and duplex housing.

Rezone Case #2026-10



Ortho Map

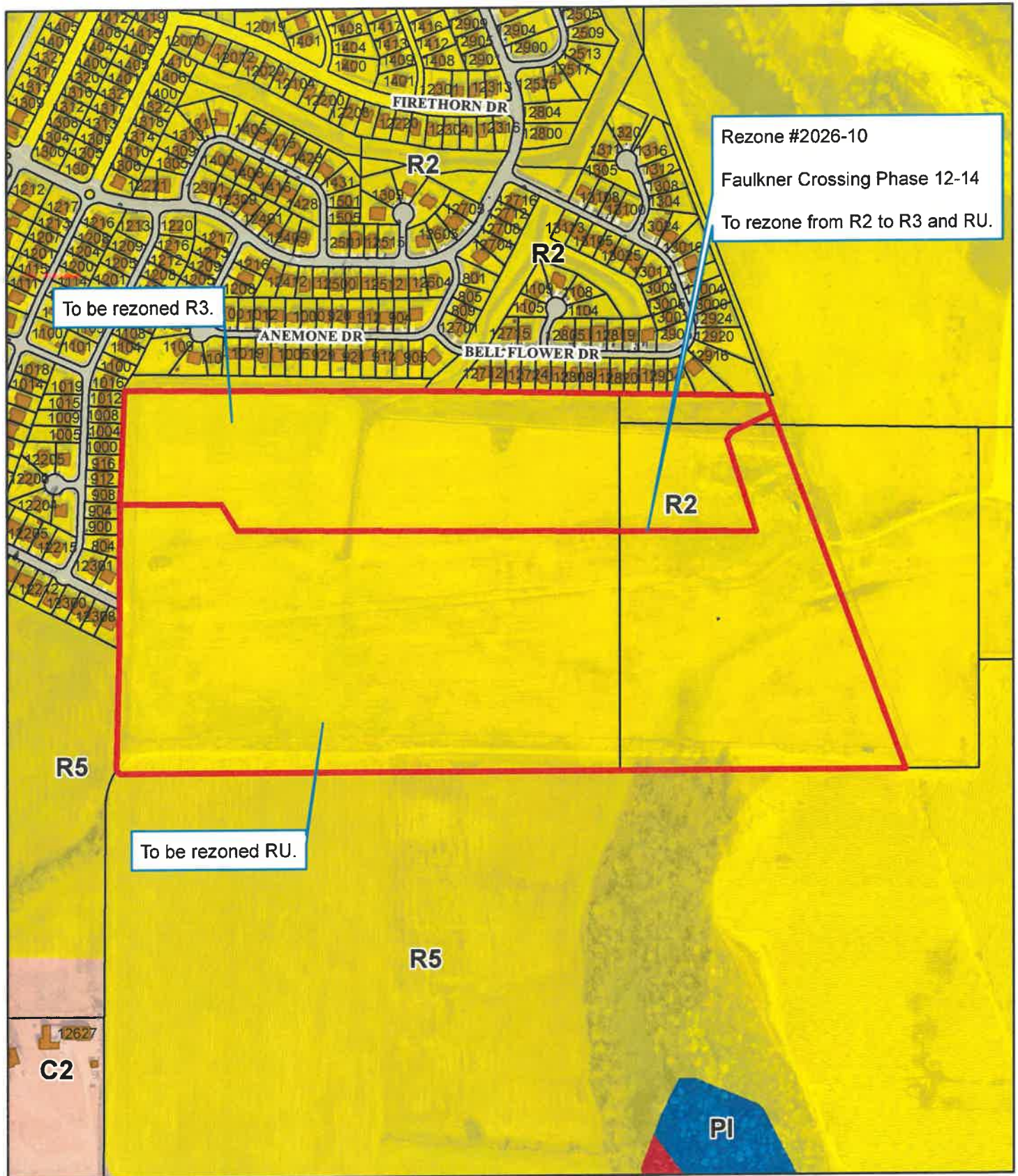
1 inch = 400 feet

0 200 400 800 Feet



Date: 6/17/2026

Rezone Case #2026-10



Zoning Map



May 27, 2026

Shawn Spencer, Director
City of North Little Rock Planning
700 W. 29th Street
North Little Rock, AR 72114

**RE: Preliminary Plat & Rezone
Faulkner Crossing Ph. 12-14
Stillwaters Land Development LLC**

Mr. Spencer,

On behalf of Middleton Brothers Trucking Inc. and Stillwater Land Development, we would like to request that this letter serve as our application for the above referenced submittal. We wish to be placed on be the July 14, 2026 Planning Commission meeting. We are requesting both the Preliminary plat and Rezoning be accepted for review simultaneously.

We are requesting to amend the zoning map from R2 (Single-Family District) to R3 (Duplex District) and RU (Residential Urban District). Please see the attached rezoning map with the legals for each District.

We are also submitting for Preliminary Plat Review. The property is to the East of the existing Faulkner Crossing Phase 1 and consists of 429 lots on 84.0 acres. The property will be constructed in three phases as shown on the preliminary plat.

Enclosed please find a check for the review fees in the amount of \$220 for the rezone and \$1,058 for the Preliminary Plat for a total of \$1,278.

Please review the attached drawings and let me know if you have any questions, comments, or concerns.

Thank you,
Davidson Engineering, PLLC



Jason Bouwknecht

Attached: Preliminary Plat Checklist
Preliminary Plat
Rezoning Map

Item #2

SD2026-37 Faulkner Crossing Phase 12 – 14 Preliminary Plat 84 acres 429 lots constructed in 3 phases @ the East end of Amaranth Drive

1. Engineering requirements before the final plat/replat will be signed:
 - a. Option to pay the drainage in-lieu fee of \$500/acre for residential development instead of providing on-site detention.
 - b. Provide full street improvements (street, drainage, curb and gutter, sidewalk, cross walks) or a performance bond. Street improvements must be approved by City Engineer and accepted by City Council.
2. Permit requirements/approvals submitted before construction can begin:
 - a. A signed and recorded plat must be on file with the Planning Department.
 - b. Provide a full set of plans and specifications (PDF format) to the City Engineer for review.
 - c. Prior to construction, Owner's Engineer shall submit stormwater design report for review and approval by the City Engineer. Stormwater plans and detention calculations are to be approved by City Engineer and a written approval provided to Planning Department. Drainage submittal shall include, as a minimum, the following:
 - i. Proposed pipe material specifications.
 - ii. Proposed trench and bedding details, materials and specifications.
 - d. Provide CNLR Grading Permit application to City Engineer with grading plans.
 - e. Provide CNLR Stormwater Permit application to City Engineer with erosion control plan in accordance with CNLR Best Management Practices (BMP) Manual.
 - f. Provide copy of Arkansas Department of Environmental Quality (ADEQ) Stormwater Permit to City Engineer.
 - g. Provide copy of Arkansas Department of Health approval for water and sewer facilities to NLR Planning Department if an extension of a main is required.
 - h. Prior to construction, Owner's Architect/Engineer shall submit digital maps for all stormwater drainage features in an ArcGIS or AutoCAD file to the City Engineer. The digital maps shall be natively in State Plane coordinate system, Arkansas North Zone, North American Datum 1983, units as feet; or the map must have sufficient points for georeferencing. The associated attribute data table from the submitted file shall match the fields contained within the "SW Attribute Data Entry Template.xlsx" as provided by City Engineering Department. All Control, Linear, and Junction map features will be annotated by a unique identifier that will correspond to the same unique identifier in the "SW Attribute Data Entry Template.xlsx" or GIS attribute table. Data for each attribute column in the "SW Attributed Data Entry Template.xlsx" file shall be chosen from the drop-down options of each cell, or chosen as "Other" (if not listed) and described in the comments field. At the completion of the project, As-Built of these shapefiles in ArcGIS or AutoCAD format, along with associated attribute data table, shall be submitted to the City Engineer.
 - i. Schedule preconstruction meeting with City Engineer. The contractor's on-site superintendent must be present.
3. Meet the requirements of the City Engineer, including:
 - a. Contractor shall notify City Engineer at least 1 day prior to the construction of all stormwater pipes and inlet structures within City ROW.
 - b. At the end of construction, Owner/Developer shall have a Professional Engineer, licensed in the State of Arkansas, certify that all street and stormwater improvements in conjunction with this subdivision and/or the proposed development have been inspected and constructed in accordance with the approved plans and meet all City of North Little Rocks Standard Specifications.

4. Planning requirements before the plat will be signed:
 - a. Street names to be approved by Planning Staff.
 - b. Plat will be submitted to NLR Planning Department in CAD compatible DXF and/or DWG format, tied to Arkansas State Plane Coordinates.
 - c. Pay for street signs.
 - d. Provide streetlights or provide a bond.
5. Other Boards approvals required before applying for a grading permit.
 - a. Provide approved City Council ordinance rezoning the property from R2 to RU and R3.
6. Meet the requirements of Community Planning, including:
 - a. Provide the standard requirements of Zoning and Development Regulations.
7. Meet the requirements of the Master Street Plan, including:
 - a. Provide 5' sidewalks and ramps with a minimum of 5' green space between sidewalk and curb to ADA standards and City standards.
8. Meet the requirements of the Screening and Landscaping ordinance, including:
 - a. All disturbed areas are to be sodded, fertilized, watered and mulched.
 - b. Tree plantings shall be required for all new Single-family and Two-family dwellings.
 - c. One (1) tree shall be required for each lot and to be located within 10' of the front property line.
 - d. Trees shall be 2.5" caliper or greater at time of planting. Caliper shall be measured 3' above the ground surface.
 - e. Trees must be installed prior to receiving the certificate of completion for the home.
9. Meet the following requirements concerning signage:
 - a. All signs require a permit and separate review.
 - b. Subdivision signage is limited to a maximum of 6-feet in height and a sign area of 24-square feet.
10. Meet the requirements of the Fire Marshal, including:
 - a. Meet the requirements of the 2021 Arkansas Fire Prevention Code including:
 - i. Exterior walls and eaves shall be five feet or more from the property line or shall be fire rated. (Volume 3 Table R302.1(1))
 - ii. Where there are houses, fire hydrants shall have an average spacing of 500 feet along the road. The maximum distance from any point on a street frontage to a hydrant shall be 250 feet. (Volume 1 Appendix C Table C102.1)
 - iii. In a one or two family residential development, where the number of one or two family dwelling units exceeds 30 there shall be two separate, fire apparatus access roads, or all dwelling units shall be equipped throughout with an approved automatic sprinkler system. These roads shall be sufficiently remote from each other. (Volume 1 Appendix D107)
 - iv. Fire Apparatus access roads shall have an unobstructed width of not less than 20 feet. (Volume 1 Section 503.2.1)
 - b. Fire Apparatus access roads will support 85,000 lbs. (Municipal Code Chapter 12, Article 3.2.4 D)
11. Meet the requirements of CAW, including:
 - a. Please submit these plans to CAW for hydraulic review, offsite improvements will need to be made at the expense of the developer to provide adequate fire flow to the subdivision.
 - b. All Central Arkansas Water requirements in effect at the time of request for water service must be met.
 - c. Please submit plans for water facilities to Central Arkansas Water for review. Plan revisions may be required after additional review. Contact Central Arkansas Water regarding procedures for installation of water facilities. Approval of plans by Central Arkansas Water, the Arkansas Department of Health Engineering Division and North Little Rock Fire

Department is required.

- d. This development will have minor impact on the existing water distribution system. Proposed water facilities will be sized to provide adequate pressure and fire protection.
 - e. A Capital Investment Charge based on the size of meter connection(s) will apply to this project in addition to normal charges.
12. Meet the requirements of NLR Wastewater, including:
- a. The receiving sanitary sewer system currently lacks the capacity to accept this development. The developer must provide flow projections for the proposed project. Upon receipt, NLRW will analyze the projected flow and determine the specific downstream system improvements required of the developer.
 - b. Submit a full set of plans to kunderwood@nlrwu.com for review and approval before construction begins. Construction shall not commence until approval is granted.

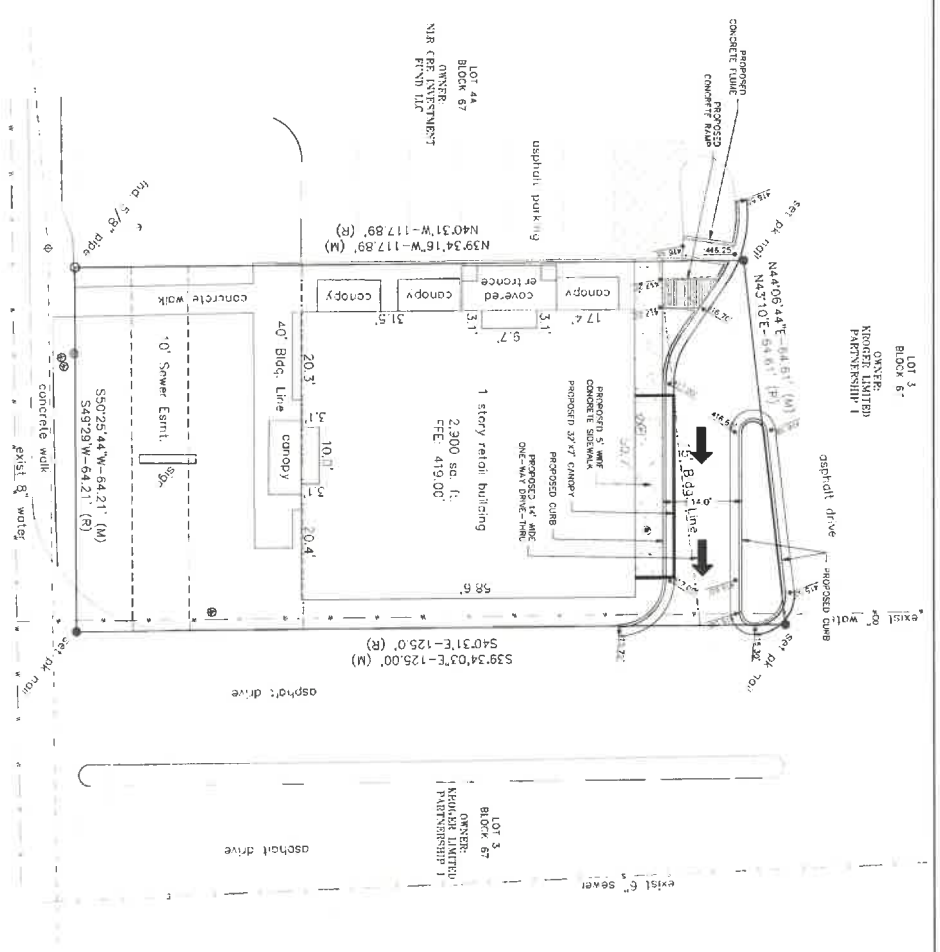
Item #3**SD2026-38 Lakewood Addition Lot 4B Blk 67 SPR 4583 Fairway Ave SPR for Goodwill Donation Drop-off**

1. The typical rear yard setback for C3 zoned property is 20-feet. The plan indicates the placement of a 15-foot rear yard setback. Provide approval from Board of Zoning Adjustment for the rear yard setback variance prior to requesting a building permit for the canopy construction.
2. Engineering requirements on detention:
 - a. If applicable, pay the drainage in-lieu fee of \$5000/acre for the increase of impervious surfaces. (roof tops/parking)
3. Permit requirements/approvals submitted before a building permit will be issued:
 - a. A signed and recorded plat must be on file with the Planning Department.
 - b. Provide CNLR Stormwater Permit application to City Engineer with half size erosion control plan showing silt fence, storm inlet protection, and drainage details.
 - c. If applicable, provide CNLR driveway/curb cut permit application to City Engineer or copy of ARDOT driveway permit if State Highway.
 - d. Provide copy of Arkansas Department of Health approval for water and sewer facilities to NLR Planning Department if an extension of a main is required.
 - e. Prior to construction, Owner's Architect/Engineer shall submit signed construction plans and specifications (PDF format) to NLR Planning Department.
4. Meet the requirements of the City Engineer, including:
 - a. Prior to any excavation/street cuts within street ROW, provide CNLR Excavation Permit to City Engineer and Barricade Plan Permit to NLR Traffic Services.
 - b. Repair or replace existing sidewalk and curb to City Engineer's standards.
 - c. Contractor shall notify City Engineer at least 1 day prior to the construction of all stormwater pipes and inlet structures within City ROW.
 - d. At the end of construction, Owner/Developer shall have a Professional Engineer, licensed in the State of Arkansas, certify that all street and stormwater improvements in conjunction with this subdivision and/or the proposed development have been inspected and constructed in accordance with the approved plans and meet all City of North Little Rocks Standard Specifications.
 - e. Driveway radii shall be labeled and shall have 25' minimum radii and be built according to CNLR standard details (available at NLR Engineering Department).
 - f. Driveways shall not be closer than 40' to adjoining streets or 10' from adjoining property lines.
 - g. Spacing between proposed commercial/industrial driveways shall not be closer than 40'.
 - h. Driveway widths shall be labeled and shall be 10' minimum to 40' maximum.
 - i. Cross drains in the ROW shall be labeled and shall be RCP with flared end sections unless otherwise approved by Engineering.
 - j. All driveways are to be concrete within the ROW.
 - k. Street improvements must be approved by City Engineer and accepted by City Council.
5. Meet the requirements of Community Planning, including:
 - a. Provide the standard requirements of Zoning and Development Regulations.
 - b. Provide dumpster location.
 - c. Dumpster to have masonry screening.
 - d. All exterior lighting shall be shielded and not encroach onto neighboring properties.

6. Meet the requirements of the Master Street Plan.
7. Meet the requirements of the Screening and Landscaping ordinance, including:
 - a. All disturbed areas are to be sodded, fertilized, watered and mulched.
 - b. Any new site development must comply with the City's minimal landscape and buffer ordinance requirements.
 - c. Any disturbed turf or groundcover shall be repaired before final acceptance of the project, show limits of work on landscape / site plan.
8. Meet the following requirements concerning signage:
 - a. All signs require a permit and separate review.
9. Meet the requirements of the Fire Marshal.
10. Meet the requirements of CAW, including:
 - a. All Central Arkansas Water requirements in effect at the time of request for water service must be met.
 - b. The North Little Rock Fire Department needs to evaluate this site to determine whether additional public and/or private fire hydrant(s) will be required. If additional fire hydrant(s) are required, they will be installed at the Developer's expense.
 - c. Please submit plans for water facilities and/or fire protection system to Central Arkansas Water for review. Plan revisions may be required after additional review. Contact Central Arkansas Water regarding procedures for installation of water facilities and/or fire service. Approval of plans by the Arkansas Department of Health Engineering Division and North Little Rock Fire Department is required.
 - d. If there are facilities that need to be adjusted and/or relocated, contact Central Arkansas Water. That work would be done at the expense of the developer.
 - e. The facilities on-site will be private. When meters are planned off private lines, private facilities shall be installed to Central Arkansas Water's material and construction specifications and installation will be inspected by an engineer, licensed to practice in the State of Arkansas.
 - f. Execution of Customer Owned Line Agreement is required.
 - g. Due to the nature of this facility, installation of an approved reduced pressure zone backflow preventer assembly (RPZ) is required on the domestic water service. This assembly must be installed prior to the first point of use. Central Arkansas Water (CAW) requires that upon installation of the RPZA, successful tests of the assembly must be completed by a Certified Assembly Tester licensed by the State of Arkansas and approved by CAW. The test results must be sent to CAW's Cross Connection Section within ten days of installation and annually thereafter. Contact the Cross Connection Section at 501-377-1226 if you would like to discuss backflow prevention requirements for this project.
 - h. Fire sprinkler systems which do not contain additives such as antifreeze shall be isolated with a double detector check valve assembly. If additives are used, a reduced pressure zone backflow preventer shall be required.
11. Meet the requirements of NLR Wastewater, including:
 - a. Please verify the 10' Sewer Easement shown on the Site Plan.
 - b. Submit a full set of plans to kunderwood@nlrwu.com for review and approval before construction begins. Construction shall not commence until approval is granted.



Symbol	Description
○	Lot 44
●	Lot 45
△	Lot 46
▽	Lot 47
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FAIRWAY AVENUE
(50' HIGH-T-OF-WAY)



DATE	DESCRIPTION	BY
05-25-2025	REVISION	ROBINSON

SITE PLAN REVIEW

GOODWILL DONATION CENTER
LOT 48, BLOCK 6, LAKESIDE ADDITION
NORTH LITTLE ROCK, ARKANSAS
AT ADDITION TO THE CITY OF NORTH LITTLE ROCK
BEING PART OF SECTION 13, T-2-N, R-12-W
PULASKI COUNTY, ARKANSAS
JOE WHITE & ASSOCIATES, INC.
CIVIL ENGINEERING & CONSULTING SERVICES, LAND SURVEYING
25 WILSON CIRCLE, SUITE 400, LITTLE ROCK, ARKANSAS 72203
PHONE (501) 214-1414

DATE: 05-25-2025
PROJECT NUMBER: 25-2291
SCALE: 1" = 10'

Lot	Area (sq. ft.)	Area (sq. ft.)	Area (sq. ft.)
1	10,000	10,000	10,000
2	20,000	20,000	20,000
3	30,000	30,000	30,000
4	40,000	40,000	40,000
5	50,000	50,000	50,000
6	60,000	60,000	60,000
7	70,000	70,000	70,000
8	80,000	80,000	80,000
9	90,000	90,000	90,000
10	100,000	100,000	100,000

- NOTES
1. ADDRESS OF PROPERTY: 4383 FAIRWAY AVE, NORTH LITTLE ROCK, AR 72116
 2. BASIS OF SURVEY: ARKANSAS STATE PLAT, NORTH ZONE
 3. AREA OF PROPERTY: 7.788 SQ. FT. OR 0.179 ACRES ±
 4. NO PORTION OF THIS PROPERTY IS LOCATED WITHIN THE 100 YEAR FLOOD ZONE AS SHOWN ON THE FLOOD INSURANCE RATE MAP FOR ARKANSAS (FIRM NO. 15113C0310, JULY 4, 2015)
 5. ZONING OF PROPERTY: C-3 (COMMERCIAL)
 6. UTILITIES ARE SHOWN PER OBSERVED EVIDENCE, TOGETHER WITH EVIDENCE FROM PLANS OBTAINED FROM UTILITY COMPANIES. HOWEVER, LOCATION OF UTILITIES, DEPTHS, AND RELATIVE DEPTHS, CANNOT BE DETERMINED.

Item #4**SD2026-39 Donovan Briley Subdivision Lot 2 SPR 900 Donovan Briley Blvd SPR of 7.018-acres for development of 72 residential townhomes**

1. Parking for Multi-family with 0 to 250 units requires the placement of 1.8 spaces per dwelling unit. The general notes indicate the requirement as 1.5 spaces per dwelling unit. Please correct the general note. (The number of parking spaces indicated is more than adequate to meet the typical minimum requirement of 130 parking spaces.)
2. Engineering requirements on detention:
 - a. Provide on-site storm water detention as well as clear calculations showing that detention volume is sufficient or demonstrate to City Engineer that on-site detention is not required (based on proposed development) by providing detention calculations showing pre and post site runoff comparisons.
3. Permit requirements/approvals submitted before a building permit will be issued:
 - a. A signed and recorded plat must be on file with the Planning Department.
 - b. Prior to construction, Owner's Engineer shall submit stormwater design report for review and approval by the City Engineer. Stormwater plans and detention calculations are to be approved by City Engineer and a written approval provided to Planning Department. Drainage submittal shall include, as a minimum, the following:
 - i. Proposed pipe material specifications.
 - ii. Proposed trench and bedding details, materials and specifications.
 - c. Provide CNLR Grading Permit application to City Engineer with grading plans.
 - d. Provide CNLR Stormwater Permit application to City Engineer with half size erosion control plan showing silt fence, storm inlet protection, and drainage details.
 - e. Provide CNLR driveway/curb cut permit application to City Engineer or copy of ARDOT driveway permit if State Highway.
 - f. Provide copy of Arkansas Department of Environmental Quality (ADEQ) Stormwater Permit to City Engineer.
 - g. If applicable, provide copy of Corps of Engineers (COE) 404 Clearance/Permit to City Engineer.
 - h. Provide copy of Arkansas Department of Health approval for water and sewer facilities to NLR Planning Department if an extension of a main is required.
 - i. Prior to construction, Owner's Architect/Engineer shall submit signed construction plans and specifications (PDF format) to NLR Planning Department.
 - j. Prior to construction, Owner's Architect/Engineer shall submit digital maps for all stormwater drainage features in an ArcGIS or AutoCAD file to the City Engineer. The digital maps shall be natively in State Plane coordinate system, Arkansas North Zone, North American Datum 1983, units as feet; or the map must have sufficient points for georeferencing. The associated attribute data table from the submitted file shall match the fields contained within the "SW Attribute Data Entry Template.xlsx" as provided by City Engineering Department. All Control, Linear, and Junction map features will be annotated by a unique identifier that will correspond to the same unique identifier in the "SW Attribute Data Entry Template.xlsx" or GIS attribute table. Data for each attribute column in the "SW Attributed Data Entry Template.xlsx" file shall be chosen from the drop-down options of each cell, or chosen as "Other" (if not listed) and described in the comments field. At the completion of the project, As-Builts of these shapefiles in ArcGIS or AutoCAD format, along with associated attribute data table, shall be submitted to the City Engineer.
4. Meet the requirements of the City Engineer, including:
 - a. Prior to any excavation/street cuts within street ROW, provide CNLR Excavation Permit to City Engineer and Barricade Plan Permit to NLR Traffic Services.
 - b. Contractor shall notify City Engineer at least 1 day prior to the construction of all stormwater pipes and inlet structures within City ROW.

- c. At the end of construction, Owner/Developer shall have a Professional Engineer, licensed in the State of Arkansas, certify that all street and stormwater improvements in conjunction with this subdivision and/or the proposed development have been inspected and constructed in accordance with the approved plans and meet all City of North Little Rocks Standard Specifications.
- d. Driveway radii shall be labeled and shall have 25' minimum radii and be built according to CNLR standard details (available at NLR Engineering Department).
- e. Driveways shall not be closer than 40' to adjoining streets or 10' from adjoining property lines.
- f. Spacing between proposed commercial/industrial driveways shall not be closer than 40'.
- g. Driveway widths shall be labeled and shall be 10' minimum to 40' maximum.
- h. Cross drains in the ROW shall be labeled and shall be RCP with flared end sections unless otherwise approved by Engineering.
- i. All driveways are to be concrete within the ROW.
- j. Provide ½ street improvements (street, drainage, curb and gutter, sidewalk, street lights) or a performance bond.
- k. Provide half of the required 80 foot right-of-way.
- l. Street improvements must be approved by City Engineer and accepted by City Council.
- m. Show and label boundary of detention area as a drainage easement.
5. Other Boards approvals required before applying for a building permit:
 - a. Provide approved City Council ordinance of waiver of the required half-street improvements curb, gutter and sidewalk along with the required 60-foot pavement width and bike lane required.
6. Meet the requirements of Community Planning, including:
 - a. Provide the standard requirements of Zoning and Development Regulations.
 - b. Provide dumpster location(s).
 - c. Dumpster to have masonry screening.
 - d. No fence is to be located from the front of the building to the public right of way.
 - e. All exterior lighting shall be shielded and not encroach onto neighboring properties.
7. Meet the requirements of the Master Street Plan, including:
 - a. Provide 100-foot right of way dedication along with the required 60-foot of pavement width, curb, gutter and sidewalk and a dedicated bike lane or provide a waiver of the requirements from City Council.
 - b. Provide 5' sidewalks and ramps with a minimum of 5' green space between sidewalk and curb to ADA standards and City standards.
8. Meet the requirements of the Screening and Landscaping ordinance, including:
 - a. All disturbed areas are to be sodded, fertilized, watered and mulched.
 - b. Any new site development must comply with the City's minimal landscape and buffer ordinance requirements.
 - c. Provide a scaled landscape plan, graphically indicating the plant material and locations, plant material legend graphically indicating the different plant materials, plant material list and specifications noting the minimum plant material size at installation.
 - i. Provide note on landscape plan stating all turf and plant material shall be irrigated by an automatic underground irrigation system.
 - d. Provide street trees at a minimum rate 1 tree per 30 linear feet of property line adjacent to the street right-of-way.
 - i. Street trees are to be chosen from Section 7.5 of the North Little Rock zoning code Trees from Table B shall be spaced every thirty (30) feet to achieve the required number of trees; trees from Table C shall be spaced every twenty-five (25) feet; or trees from Table D shall be used if beneath overhead power lines and spaced every fifteen (15) feet.
 - e. Provide a buffer/screening adjacent to the dissimilar land use to the east and south as defined by Section 7.2.4: Buffers between Dissimilar Uses.

- i. The development of a R4 zoned property adjacent to the R1 zoned property to the south will require a full screen as defined by Section 7.3.1. Class Full Screens.
 - ii. Each side and rear yard buffer areas shall be five (5) percent of the lot width and depth. Buffer areas shall not be less than six (6) feet or greater than forty (40) feet.
 - iii. Trees from Section 7.5, Table B or C shall be spaced every twenty (20) feet; or trees from Table D shall be used if beneath overhead power lines and spaced every twenty (20) feet.
 - iv. An eight (8) foot tall, continuous opaque screen shall be provided. An opaque screen may include one (1) of the following: wall, fence, site grading, or plantings. No fence, wall and/or site grading is required with evergreen trees from Table E. The opaque screen must be opaque within 4 seasons.
 - f. Trees shall be planted at the rate of one (1) tree per six (6) parking spaces.
 - i. Trees ten (10) feet from the edge of parking area may serve for the parking lot shading requirements, but may not satisfy more than fifty (50) percent of the overall requirement for the parking lot or area.
 - ii. Parking lot trees are to be chosen from Table B or C, Section 7.5 of the North Little Rock zoning code, Table D shall be used if beneath overhead power lines.
 - g. A continuous screen of shrubs shall be required for any landscape strip adjacent to any parking area.
 - i. Only shrubs from the approved planting list will count toward this requirement, unless approved by the Planning Commission. Shrubs shall be eighteen (18) inches in height at planting and be planted a maximum three (3) feet apart.
 - h. Wheel stops shall be required when parking areas abut sidewalks, landscaped areas or pedestrian areas. No portion of a vehicle shall encroach onto a sidewalk, landscaped area or pedestrian area.
 - i. Landscape plans to be revised prior to the July 2026 Planning Commission Hearing
 - 9. Meet the following requirements concerning signage:
 - a. All signs require a permit and separate review.
 - 10. Meet the requirements of the Fire Marshal, including:
 - a. Meet the requirements of the 2021 Arkansas Fire Prevention Code including:
 - i. Townhouse: A single-family dwelling unit constructed in a group of three or more attached units in which each unit extends from the foundation to roof and with open space on at least two sides. (Volume 2 Chapter 2 Definitions)
 - ii. If there are dwellings above other dwellings the buildings shall be sprinklered. (Volume 2 Section 903.2.8, 903.3)
- Or
- If each dwelling unit extends from the foundation to the roof they will be separated by fire resistance rated walls meeting the requirements of AFPC Volume 3 Section R302.2.1 or R302.2.2.
- iii. Exterior walls and eaves shall be five feet or more from the property line or an imaginary line between buildings or shall be fire rated. (Volume 3 Table R302.1(1))
 - iv. Where there are houses, fire hydrants shall have an average spacing of 500 feet along streets. The maximum distance from any point on a street frontage to a hydrant shall be 250 feet. (Volume 1 Appendix C Table C102.1)
 - v. Fire Apparatus access roads shall have an unobstructed width of not less than 20 feet. (Volume 1 Section 503.2.1)
 - b. Fire Apparatus access roads will support 85,000 lbs. (Municipal Code Chapter 12, Article 3.2.4 D)
11. Meet the requirements of CAW, including:
 - a. Submit Grading to CAW for review, grading over CAW's existing 30" and 24" waterline located within the easement is only permitted with express permission from Central Arkansas Water.

- b. All Central Arkansas Water requirements in effect at the time of request for water service must be met.
 - c. The North Little Rock Fire Department needs to evaluate this site to determine whether additional public and/or private fire hydrant(s) will be required. If additional fire hydrant(s) are required, they will be installed at the Developer's expense.
 - d. Please submit plans for water facilities and/or fire protection system to Central Arkansas Water for review. Plan revisions may be required after additional review. Contact Central Arkansas Water regarding procedures for installation of water facilities and/or fire service. Approval of plans by the Arkansas Department of Health Engineering Division and North Little Rock Fire Department is required.
 - e. If there are facilities that need to be adjusted and/or relocated, contact Central Arkansas Water. That work would be done at the expense of the developer.
 - f. The facilities on-site will be private. When meters are planned off private lines, private facilities shall be installed to Central Arkansas Water's material and construction specifications and installation will be inspected by an engineer, licensed to practice in the State of Arkansas.
 - g. Execution of Customer Owned Line Agreement is required.
 - h. Due to the nature of this facility, installation of an approved reduced pressure zone backflow preventer assembly (RPZ) is required on the domestic water service. This assembly must be
 - i. installed prior to the first point of use. Central Arkansas Water (CAW) requires that upon installation of the RPZA, successful tests of the assembly must be completed by a Certified Assembly Tester licensed by the State of Arkansas and approved by CAW. The test results must be sent to CAW's Cross Connection Section within ten days of installation and annually thereafter. Contact the Cross Connection Section at 501-377-1226 if you would like to discuss backflow prevention requirements for this project.
 - j. Fire sprinkler systems which do not contain additives such as antifreeze shall be isolated with a double detector check valve assembly. If additives are used, a reduced pressure zone backflow preventer shall be required.
12. Meet the requirements of NLR Wastewater, including:
- a. Please provide flow projections for the proposed development. NLRW will analyze projected flow and determine the sewer improvements for the receiving system, if any are required.
 - b. Submit a full set of plans to kunderwood@nlrwu.com for review and approval before construction begins. Construction shall not commence until approval is granted.

Item #5

SD2026-41 Odus J Pack Jr Revocable Trust Pre Plat and SPR @ 1501 HWY 161 for reconstruction of a building damaged in the previous winter's ice storm

1. Engineering requirements on detention:
 - a. Pay the drainage in-lieu fee of \$5000/acre for the increase of impervious surfaces. (roof tops/parking)
2. Engineering requirements before the plat will be signed:
 - a. Provide ½ street improvements (street, drainage, curb and gutter, sidewalk, street lights) or a performance bond.
 - b. Provide half of the required 60 foot right-of-way.
 - c. Street improvements must be approved by City Engineer and accepted by City Council.
3. Permit requirements/approvals submitted before a building permit will be issued:
 - a. A signed and recorded plat must be on file with the Planning Department.
 - b. If applicable, provide CNLR Grading Permit application to City Engineer with grading plans.
 - c. Provide CNLR Stormwater Permit application to City Engineer with half size erosion control plan showing silt fence, storm inlet protection, and drainage details.
 - d. Provide copy of Arkansas Department of Health approval for water and sewer facilities to NLR Planning Department if an extension of a main is required.
 - e. Prior to construction, Owner's Architect/Engineer shall submit signed construction plans and specifications (PDF format) to NLR Planning Department.
4. Meet the requirements of the City Engineer, including:
 - a. Prior to any excavation/street cuts within street ROW, provide CNLR Excavation Permit to City Engineer and Barricade Plan Permit to NLR Traffic Services.
 - b. Repair or replace existing sidewalk and curb to City Engineer's standards.
 - c. Contractor shall notify City Engineer at least 1 day prior to the construction of all stormwater pipes and inlet structures within City ROW.
 - d. At the end of construction, Owner/Developer shall have a Professional Engineer, licensed in the State of Arkansas, certify that all street and stormwater improvements in conjunction with this subdivision and/or the proposed development have been inspected and constructed in accordance with the approved plans and meet all City of North Little Rocks Standard Specifications.
5. Planning requirements before the plat will be signed:
 - a. Plat will be submitted to NLR Planning Department in CAD compatible DXF and/or DWG format, tied to Arkansas State Plane Coordinates.
6. Other Boards approvals required before applying for a building permit.
 - a. Provide approval from Board of Zoning Adjustment on waiver of setback requirements.
7. Meet the requirements of Community Planning, including:
 - a. Provide the standard requirements of Zoning and Development Regulations.
 - b. Provide dumpster location.
 - c. Dumpster to have masonry screening.
 - d. No fence is to be located between the front of the building and the front property line (street right of way).
 - e. All exterior lighting shall be shielded and not encroach onto neighboring properties.
8. Meet the requirements of the Master Street Plan, including:
 - a. Provide 5' sidewalks and ramps with a minimum of 5' green space between sidewalk and curb to ADA standards and City standards.
 - b. Provide ½ street improvements.
 - c. Provide ROW dedication.
9. Meet the requirements of the Screening and Landscaping ordinance, including:
 - a. All disturbed areas are to be sodded, fertilized, watered and mulched.

- b. Any new site development must comply with the City's minimal landscape and buffer ordinance requirements.
 - c. Any disturbed turf or groundcover shall be repaired before final acceptance of the project, show limits of work on landscape / site plan.
10. Meet the following requirements concerning signage:
- a. All signs require a permit and separate review.
11. Meet the requirements of the Fire Marshal, including:
- a. Meet the requirements of the 2021 Arkansas Fire Prevention Code including:
 - i. Emergency lighting. (Volume 1 Section 1008)
 - ii. Approved exit signs. (Volume 1 Section 1013)
 - iii. Two emergency exits (Volume 1 Section 1006)
 - b. A main electrical disconnect shall be installed outside of every building (Municipal Code Chapter 4, Article 3, Sec. 1)
12. Meet the requirements of CAW, including:
- a. Show and reference existing easement for existing 8" main on Highway 161.
 - b. Provide 15' utility easement along E. Broadway and Highway 161 for existing water mains.
 - c. All Central Arkansas Water requirements in effect at the time of request for water service must be met.
 - d. Please submit plans for water facilities and/or fire protection system to Central Arkansas Water for review. Plan revisions may be required after additional review. Contact Central Arkansas Water regarding procedures for installation of water facilities and/or fire service. Approval of plans by the Arkansas Department of Health Engineering Division and North Little Rock Fire Department is required.
 - e. If there are facilities that need to be adjusted and/or relocated, contact Central Arkansas Water. That work would be done at the expense of the developer.
 - f. Due to the nature of this facility, installation of an approved reduced pressure zone backflow preventer assembly (RPZ) is required on the domestic water service. This assembly must be installed prior to the first point of use. Central Arkansas Water (CAW) requires that upon installation of the RPZA, successful tests of the assembly must be completed by a Certified Assembly Tester licensed by the State of Arkansas and approved by CAW. The test results must be sent to CAW's Cross Connection Section within ten days of installation and annually thereafter. Contact the Cross Connection Section at 377-1226 if you would like to discuss backflow prevention requirements for this project.
 - g. Fire sprinkler systems which do not contain additives such as antifreeze shall be isolated with a double detector check valve assembly. If additives are used, a reduced pressure zone backflow preventer shall be required
13. Meet the requirements of NLR Wastewater, including:
- a. The proposed building is over a public sewer main. Revise plans to either move the structure outside of the sanitary sewer easement (at least 10 feet away from public main) or relocate the public sewer main.
 - b. Submit a full set of plans to kunderwood@nlrwu.com for review and approval before construction begins. Construction shall not commence until approval is granted.

[illegible]

ODUS PACK BUILDING MATERIALS
1501 HWY 161, NORTH LITTLE
ROCK, AR 72117

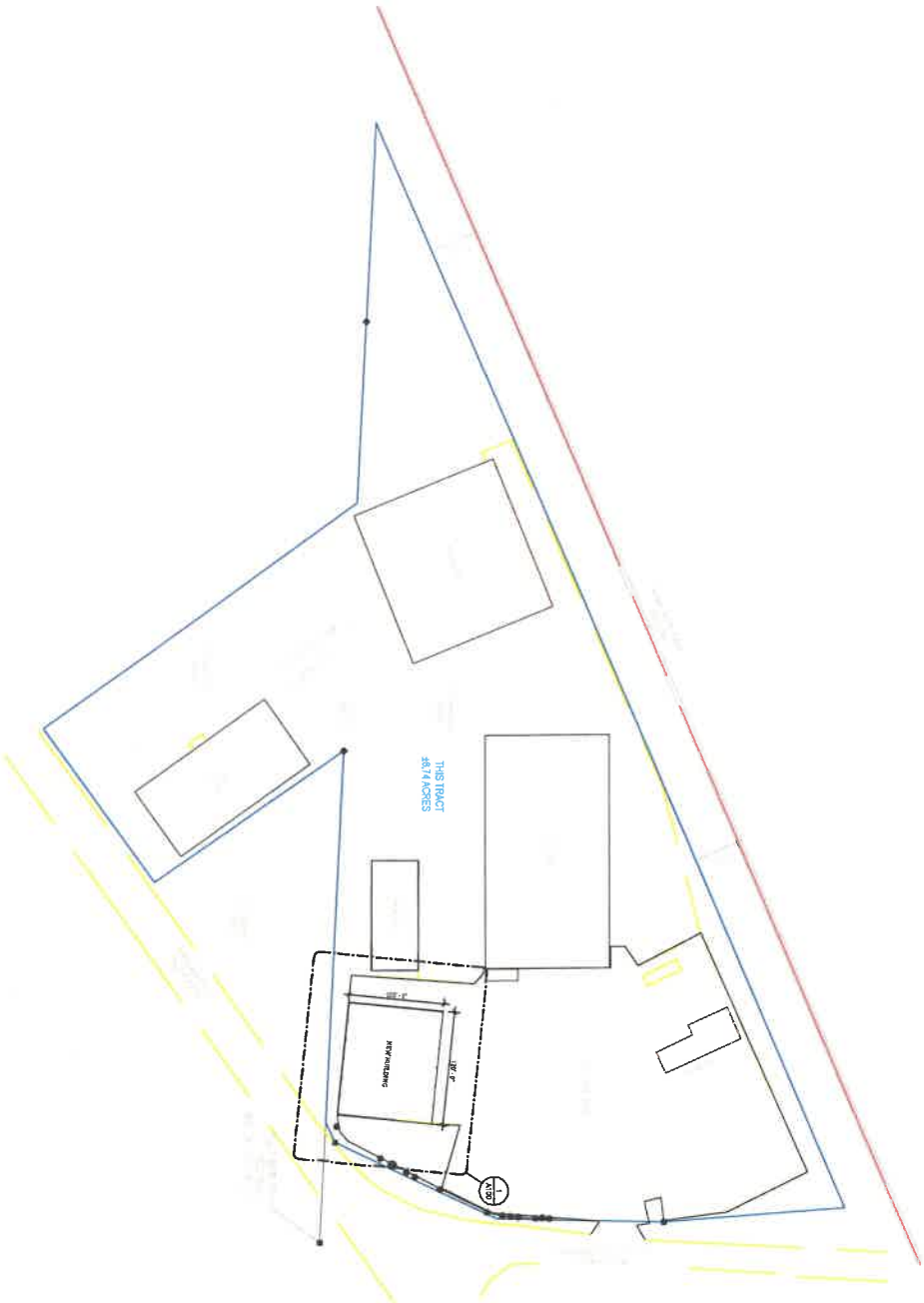
Issue Information		
No.	Description	Date

PROJECT NO: 2028-153
DATE: 5/31/2028
SHEET TITLE SHEET SIZE = 24" X 36"

SITE PLAN W/ SURVEY
OVERLAY

SHEET NO.

C101



① SITE PLAN W/ SURVEY OVERLAY
1" = 60'-0"

Item #6
Rezone #2026-11

Request: a Rezoning from R3 to R4 to allow development of a triplex apartment development

Location of the Request: @ 1213 W 18th St, NLR, AR

Applicant/Owner: Nash Development LLC

Legal Description: The East 75 feet of Lots 7, 8 and 9 Block 15 Missouri Pacific Addition to the City of North Little Rock, Pulaski County, AR

Site Characteristics: The area is predominately single-family homes. The site contains a single-family home which will be removed to allow the new construction. To the west of the site is AEDD Sammie Gail Sanders Daycare Children's Learning Center, a center providing services to children who have been diagnosed as developmentally delayed.

Land Use Plan: Single Family

Master Street Plan: W 18th Street is indicated on the Master Street Plan with a Collector Street Classification. There is a Class III bikeway route located to the west along Parker Street, to the east along Allen Street and to the north along W 22nd Street. Typically bike routes are in more urban areas where formal bike lanes cannot adequately be striped or located along rural roadways lane widths in excess of 14 feet. Generally, these routes are unimproved, meaning the roadway has not been widened or altered.

Surrounding Zoning & Uses

<u>Direction</u>	<u>Surrounding Zoning</u>	<u>Surrounding Uses</u>
North	R3	Single Family
South	R3	Single Family
East	R3	Single Family
West	R3	Single Family

General Information:

1. **Compatible with previous actions?** There have been a few rezonings in the area to R4. The rezonings were typically to recognize an existing 2nd residence on a lot containing a residential unit.
2. **Neighborhood Position/Comment?** None at the time of printing.
3. **Effect on public service and utilities?** There should be minimal effect on public service and utilities.
4. **Legal Consideration/Reasonableness?** The request is reasonable.

5. **Will the approval have a stabilizing effect on surrounding properties?** It is possible with the new construction there will be a stabilizing effect on the surrounding properties.
6. **Is the site adequate size for the development?** The zoning ordinance requires 3,500 square feet for each of the first 3 dwelling units and an additional 1,000 square feet for each additional dwelling unit. The lot contains 10,500 square feet which is more than adequate to meet the typical minimum lot size requirement for a triplex.
7. **Will this set a precedent for future rezoning?** The approval will not set precedent for future rezoning requests in the area. The applicant has an oversized lot which will meet the criteria for the R4 zoning classification of minimum lot area per dwelling unit.
8. **Should a different zoning classification be requested?** The request of R4 permits the applicant to develop the site as a 3-plex as proposed.

Staff Summary:

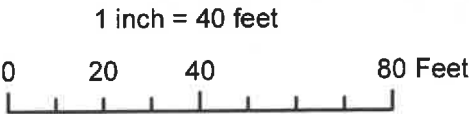
The applicant is seeking approval of a rezoning from R3 to R4 to allow the development of a triplex on the lot. The lot is 75-feet by 139-feet with a 10-foot platted alley located along the eastern boundary. In addition to the rezoning request the applicant is seeking site plan approval for the proposed triplex (SD2026-42).

Staff is supportive of the applicant's request.

Rezone Case #2026-11

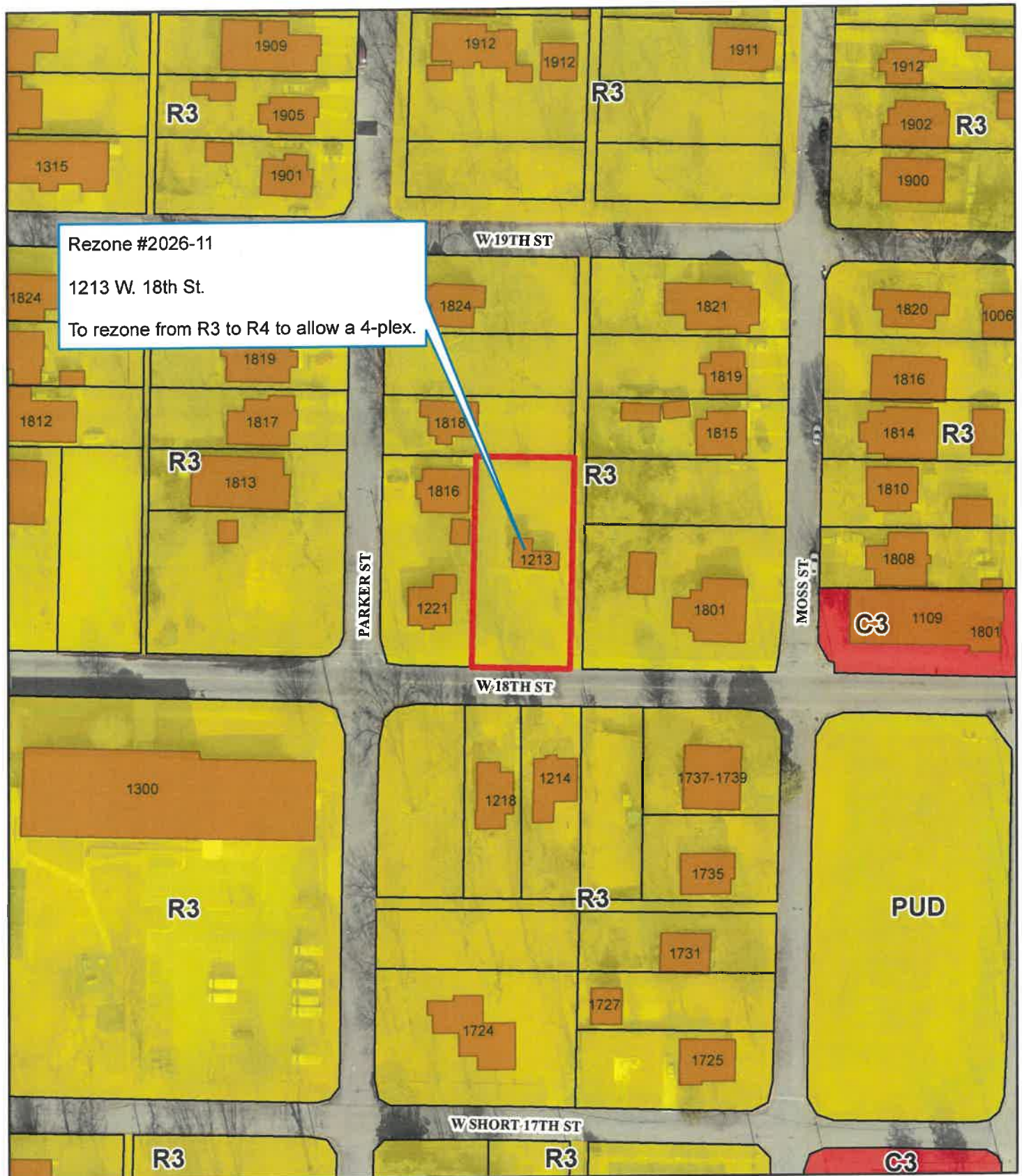


Ortho Map

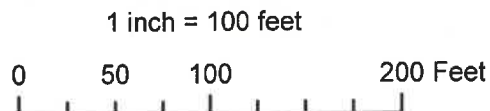


Date: 6/17/2026

Rezone Case #2026-11



Zoning Map



Date: 6/17/2026



James, Donna

To: Eric Nash
Subject: RE: 1213 W. 18th Zoning - Nash Development

From: Eric Nash <nashrealty1@sbcglobal.net>
Sent: Monday, June 8, 2026 12:03 PM
To: James, Donna <>DJames@nlr.ar.gov>
Cc: Creshelle Nash <creshellen50@gmail.com>; Sam Cook <smcookjr@gmail.com>
Subject: 1213 W. 18th Zoning - Nash Development

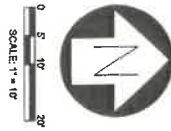
Ms. James,

Please accept this email as verification that we're giving 41 Construction LLC the authorization to represent us in the zoning needs for our property located on 1213 W. 18th NLR AR. We respectfully request the zoning of the property be changed from the existing R3 zoning classification to R4 to allow development of a triplex on the property.

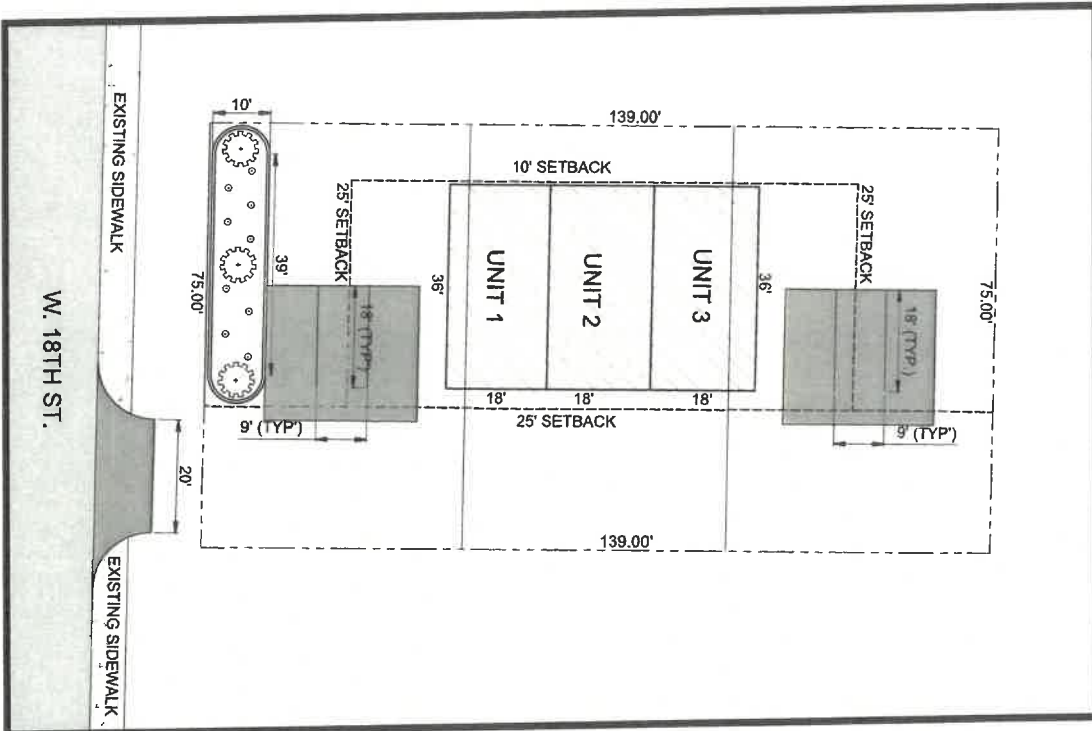
If you have any question of concerns please feel free to reach out to me.

Thank you,

Eric Nash
Principal Broker
Nash Realty
415 N. McKinley Suite 625
Little Rock, AR 72205
501-671-NASH Office
501-804-8211 Cell
501-671-6941 Fax



NOTE:
1. HEATING AND AIR SQUARE FOOTAGE - 1844 SF
(646 SF EACH UNIT)



SITE PLAN REVIEW NOTES

1. SITE CONSISTS OF CONSTRUCTION OF NEW WOOD FRAMED MULTIFAMILY TRIPLEX, WITH EACH UNIT CONSISTING TWO BEDROOM, AND BATH, BUILT TO BE TYPED R-3.
2. THE SETBACK REQUIREMENTS FOR R-3 ZONING:
FRONT YARD - 25' FROM 18TH STREET RIGHT OF WAY
REAR YARD - 25'
SIDE YARD - 10'
4. PARKING SPACES
REQUIRED TWO (2) PER DWELLING - 6
PROVIDED REGULAR SPACES - 5
PROVIDED HANDICAP ACCESSIBLE - 1
TOTAL SPACES - 8
5. TREE REQUIREMENTS - ONE (1) TREE PER 30' OF FRONTAGE. 2 TREES ARE REQUIRED. FIVE (5) TREES PROVIDED PER REQUIREMENTS.
6. LANDSCAPE STRIP REQUIREMENTS - 3 STRIPS PER 30' LINEAR FEET OF FRONTAGE. 2 STRIPS PROVIDED PER REQUIREMENTS.
7. UNDERGROUND IRRIGATION SYSTEM.

LEGAL DESCRIPTION:

EAST 75' OF LOTS 2, 3 & 4 BLOCK 15 OF MISSOURI PACIFIC ADDITION TO THE CITY OF NORTH LITTLE ROCK, ARKANSAS AS SHOWN ON PLAT OF RECORD IN THE CIRCUIT CLERK'S OFFICE, PULASKI COUNTY, ARKANSAS.

OWNER:

NASH DEVELOPMENT, LLC
1213 W. 18TH ST.
NORTH LITTLE ROCK, AR 72114

FLOODPLAIN NOTE:

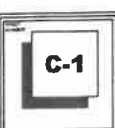
ACCORDING TO THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) FLOOD INSURANCE RATE MAP (FIRM) FOR THE CITY OF LITTLE ROCK, ARKANSAS, PANEL 059162034C DATED 07/06/2015, NO PORTION OF THE PROJECT DISCLOSED HEREON LIES WITHIN THE 100 YEAR FLOOD HAZARD ZONING.

GENERAL NOTES:

1. CAUTION: UNDERGROUND UTILITIES LIE WITHIN AND ADJACENT TO THE LIMITS OF CONSTRUCTION. AN ATTEMPT SHALL BE MADE TO LOCATE ALL UTILITIES PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION AND DEPTH OF ALL UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION AND DEPTH OF ALL UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION AND DEPTH OF ALL UTILITIES.
2. CONTRACTOR SHALL KEEP RECORDS OF REMOVAL OF EXISTING UTILITIES AND SHALL CLEAN HALL ROUTES IF TRACKING BECOMES EXCESSIVE AS DETERMINED BY THE LOCAL GOVERNMENT OR PROJECT REPRESENTATIVE.
3. THE CONTRACTOR IS RESPONSIBLE FOR THE SAFETY PRECAUTIONS IN ALL EXCAVATED AREAS. EXCAVATED AREAS SHALL BE ADEQUATELY FENCED OR COVERED BY THE CONTRACTOR BEFORE LEAVING THE JOB SITE EACH DAY.
4. CONTRACTOR IS RESPONSIBLE FOR DAMAGE TO EXISTING STRUCTURES, FURNISHMENTS, AND UTILITIES.
5. CONTRACTOR SHALL PROVIDE TEMPORARY ACCESS TO THE SITE DURING CONSTRUCTION.
6. THE CONTRACTOR SHALL MAINTAIN THE SITE IN AN ORDERLY AND CLEAN FASHION.
7. ALL WASTE MATERIALS GENERATED FROM CONSTRUCTION BECOME THE PROPERTY OF THE CONTRACTOR. THE CONTRACTOR SHALL REMOVE THE WASTE MATERIALS FROM THE SITE AND DISPOSE OF IN A LEGAL MANNER.



Know what's below.
Call before you dig.



DATE: 5/25/2020
PROJECT: 1213 W. 18TH STREET
SHEET NO.: 1
2020-06-10

1213 W. 18TH STREET
NORTH LITTLE ROCK, AR. 72114
SITE PLAN



DOUBLE A PLUS ENGINEERING
P.O. BOX 15608 - LITTLE ROCK, AR 72231 • (501) 541-9182



Item #7**SD2026-42 Missouri Pacific Add Lots 7, 8 and 9 Blk 15 SPR @ 1213 W 18th St for a triplex apartment development**

1. The site is portions of 3 lots. A replat will be required prior to the issuance of a building permit.
2. Engineering requirements on detention:
 - a. Pay the drainage in-lieu fee of \$5000/acre for the increase of impervious surfaces. (roof tops/parking)
3. Permit requirements/approvals submitted before a building permit will be issued:
 - a. A signed and recorded plat must be on file with the Planning Department.
 - b. If applicable, prior to construction, Owner's Engineer shall submit stormwater design report for review and approval by the City Engineer. Stormwater plans and detention calculations are to be approved by City Engineer and a written approval provided to Planning Department. Drainage submittal shall include, as a minimum, the following:
 - i. Proposed pipe material specifications.
 - ii. Proposed trench and bedding details, materials and specifications.
 - c. If applicable, provide CNLR Grading Permit application to City Engineer with grading plans.
 - d. Provide CNLR Stormwater Permit application to City Engineer with half size erosion control plan showing silt fence, storm inlet protection, and drainage details.
 - e. Provide CNLR driveway/curb cut permit application to City Engineer or copy of ARDOT driveway permit if State Highway.
 - f. Provide copy of Arkansas Department of Environmental Quality (ADEQ) Stormwater Permit to City Engineer.
 - g. Provide copy of Arkansas Department of Health approval for water and sewer facilities to NLR Planning Department if an extension of a main is required.
 - h. Prior to construction, Owner's Architect/Engineer shall submit signed construction plans and specifications (PDF format) to NLR Planning Department.
 - i. If applicable, prior to construction, Owner's Architect/Engineer shall submit digital maps for all stormwater drainage features in an ArcGIS or AutoCAD file to the City Engineer. The digital maps shall be natively in State Plane coordinate system, Arkansas North Zone, North American Datum 1983, units as feet; or the map must have sufficient points for georeferencing. The associated attribute data table from the submitted file shall match the fields contained within the "SW Attribute Data Entry Template.xlsx" as provided by City Engineering Department. All Control, Linear, and Junction map features will be annotated by a unique identifier that will correspond to the same unique identifier in the "SW Attribute Data Entry Template.xlsx" or GIS attribute table. Data for each attribute column in the "SW Attributed Data Entry Template.xlsx" file shall be chosen from the drop-down options of each cell, or chosen as "Other" (if not listed) and described in the comments field. At the completion of the project, As-Built of these shapefiles in ArcGIS or AutoCAD format, along with associated attribute data table, shall be submitted to the City Engineer.
4. Meet the requirements of the City Engineer, including:
 - a. Prior to any excavation/street cuts within street ROW, provide CNLR Excavation Permit to City Engineer and Barricade Plan Permit to NLR Traffic Services.

- b. Repair or replace existing sidewalk and curb to City Engineer's standards.
- c. Contractor shall notify City Engineer at least 1 day prior to the construction of all stormwater pipes and inlet structures within City ROW.
- d. At the end of construction, Owner/Developer shall have a Professional Engineer, licensed in the State of Arkansas, certify that all street and stormwater improvements in conjunction with this subdivision and/or the proposed development have been inspected and constructed in accordance with the approved plans and meet all City of North Little Rocks Standard Specifications.
- e. Driveway radii shall be labeled and shall have 25' minimum radii and be built according to CNLR standard details (available at NLR Engineering Department).
- f. Driveways shall not be closer than 40' to adjoining streets or 10' from adjoining property lines.
- g. Spacing between proposed commercial/industrial driveways shall not be closer than 40'.
- h. Driveway widths shall be labeled and shall be 10' minimum to 40' maximum.
- i. Cross drains in the ROW shall be labeled and shall be RCP with flared end sections unless otherwise approved by Engineering.
- j. All driveways are to be concrete within the ROW.
5. Planning requirements before the plat will be signed:
 - a. Plat will be submitted to NLR Planning Department in CAD compatible DXF and/or DWG format, tied to Arkansas State Plane Coordinates.
6. Other Boards approvals required before applying for a building permit.
 - a. Provide approved City Council ordinance on rezoning property to R4.
7. Meet the requirements of Community Planning, including:
 - a. Provide the standard requirements of Zoning and Development Regulations.
 - b. Provide dumpster location. Dumpsters are to have masonry screening on 3 sides along with an opaque gate enclosure. If proposing to utilize individual carts for each unit provide the location the carts will be placed along with the location of each individual recycle cart.
 - c. No fence is to be located between the front of the building and the street right of way.
 - d. All exterior lighting shall be shielded and not encroach onto neighboring properties.
8. Meet the requirements of the Master Street Plan, including:
 - a. Provide 5' sidewalks and ramps with a minimum of 5' green space between sidewalk and curb to ADA standards and City standards.
9. Meet the requirements of the Screening and Landscaping ordinance, including:
 - a. All disturbed areas are to be sodded, fertilized, watered and mulched.
 - b. Any new site development must comply with the City's minimal landscape and buffer ordinance requirements.
 - c. Provide a scaled landscape plan, graphically indicating the plant material and locations, plant material legend graphically indicating the different plant materials, plant material list and specifications noting the minimum plant material size at installation.
 - i. All turf and plant material shall be irrigated by an automatic underground irrigation system.
 - d. Provide street trees at a minimum rate 1 tree per 30 linear feet of property line adjacent to the street right-of-way.
 - i. Street trees are to be chosen from Section 7.5 of the North Little Rock zoning code. Trees from Table B shall be spaced every thirty (30) feet to achieve the required number of trees; trees from Table C shall be spaced every twenty-five (25) feet; or trees from Table D shall be used if beneath overhead power lines and spaced every fifteen (15) feet.
 - e. Trees shall be planted at the rate of one (1) tree per six (6) parking spaces.

- i. Trees ten (10) feet from the edge of parking area may serve for the parking lot shading requirements, but may not satisfy more than fifty (50) percent of the overall requirement for the parking lot or area.
 - ii. Parking lot trees are to be chosen from Table B or C, Section 7.5 of the North Little Rock zoning code, Table D shall be used if beneath overhead power lines.
 - f. Landscape plan to be revised prior to the July 2026 Planning Commission Hearing.
10. Meet the following requirements concerning signage:
 - a. All signs require a permit and separate review.
11. Meet the requirements of the Fire Marshal, including:
 - a. Meet the requirements of the 2021 Arkansas Fire Prevention Code including:
 - i. An automatic sprinkler system shall be provided throughout all buildings with a group R fire area. (Volume 2 Section 903.2.8)
 - ii. Townhouse: A single-family dwelling unit constructed in a group of three or more attached units in which each unit extends from the foundation to roof and with open space on at least two sides. (Volume 2 Chapter 2 Definitions)
 - iii. If there are dwellings above other dwellings the buildings shall be sprinklered. (Volume 2 Section 903.2.8, 903.3)

Or

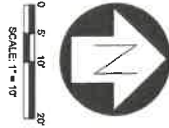
 - iv. If each dwelling unit extends from the foundation to the roof they will be separated by fire resistance rated walls meeting the requirements of AFPC Volume 3 Section R302.2.1 or R302.2.2.
 - v. Exterior walls and eaves shall be five feet or more from the property line or an imaginary line between buildings or shall be fire rated. (Volume 3 Table R302.1(1))
 - b. I would like to recommend which demising wall design to use. I will accept any UL listed or approved design, but I will need to know what design will be used and the wall shall be built to the specifications of that listed and approved design.
12. Meet the requirements of CAW, including:
 - a. All Central Arkansas Water requirements in effect at the time of request for water service must be met.
 - b. The North Little Rock Fire Department needs to evaluate this site to determine whether additional public and/or private fire hydrant(s) will be required. If additional fire hydrant(s) are required, they will be installed at the Developer's expense
 - c. Please submit plans for water facilities and/or fire protection system to Central Arkansas Water for review. Plan revisions may be required after additional review. Contact Central Arkansas Water regarding procedures for installation of water facilities and/or fire service. Approval of plans by the Arkansas Department of Health Engineering Division and North Little Rock Fire Department is required.
 - d. If there are facilities that need to be adjusted and/or relocated, contact Central Arkansas Water. That work would be done at the expense of the developer.
 - e. Contact Central Arkansas Water regarding the size and location of the water meter.
 - f. The facilities on-site will be private. When meters are planned off private lines, private facilities shall be installed to Central Arkansas Water's material and construction specifications and installation will be inspected by an engineer, licensed to practice in the State of Arkansas. Execution of Customer Owned Line Agreement is required.
 - g. Due to the nature of this facility, installation of an approved reduced pressure zone backflow preventer assembly (RPZ) is required on the domestic water service. This assembly must be installed prior to the first point of use. Central Arkansas Water (CAW) requires that upon installation of the RPZA, successful tests of the assembly

must be completed by a Certified Assembly Tester licensed by the State of Arkansas and approved by CAW. The test results must be sent to CAW's Cross Connection Section within ten days of installation and annually thereafter. Contact the Cross Connection Section at 377-1226 if you would like to discuss backflow prevention requirements for this project.

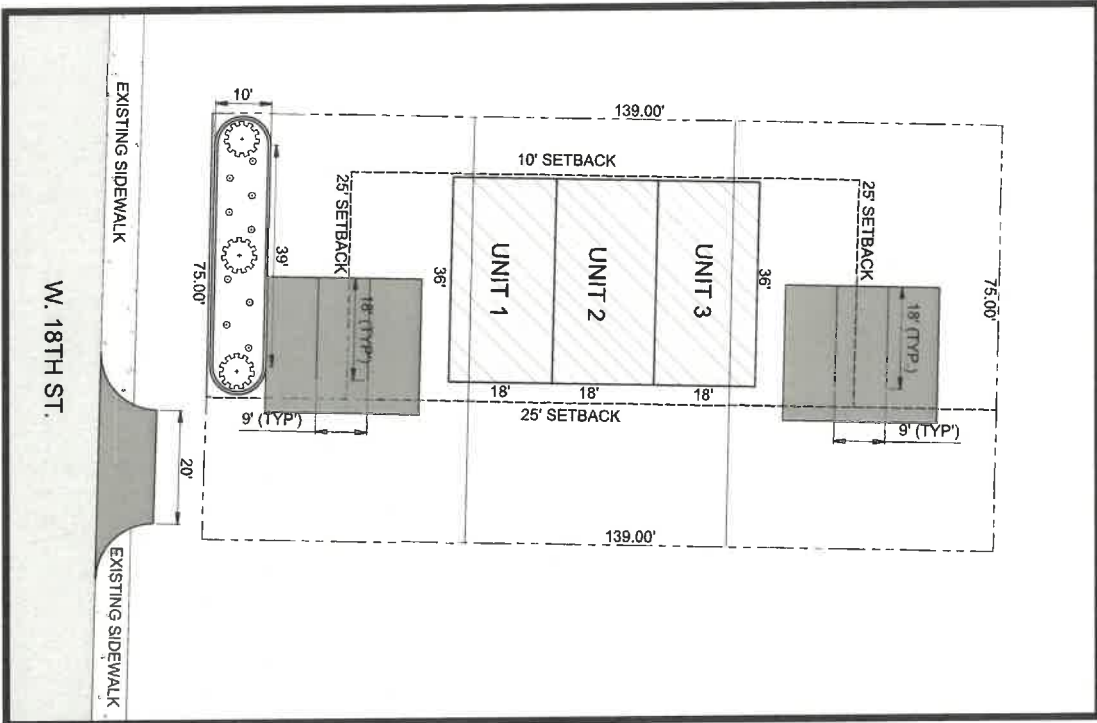
- h. Fire sprinkler systems which do not contain additives such as antifreeze shall be isolated with a double detector check valve assembly. If additives are used, a reduced pressure zone backflow preventer shall be required.

13. Meet the requirements of NLR Wastewater.

- a. State the number of tenants per unit.
- b. Please provide flow projections for the proposed development. NLRW will analyze projected flow and determine the sewer improvements for the receiving system, if any are required.
- c. One connection point is allowed at the public main for this development.
- d. Submit a full set of plans to kunderwood@nlrwu.com for review and approval before construction begins. Construction shall not commence until approval is granted.



NOTE:
1. HEATING AND AIR SQUARE FOOTAGE - 1944 SF
(943 SF EACH UNIT)



SITE PLAN REVIEW NOTES

1. SITE CONSISTS OF CONSTRUCTION OF NEW WOOD FRAMED MULTIFAMILY TRIPLEX, WITH EACH UNIT CONSISTING OF TWO BEDROOM, TWO BATHS.
2. THE LOT IS ZONED R-3.
3. THE SETBACK REQUIREMENTS FOR R-3 ZONING:
FRONT YARD - 25' FROM 18TH STREET (RIGHT OF WAY)
REAR YARD - 25'
SIDE YARD - 10'
4. PARKING SPACES
REQUIRED TWO (2) PER DWELLING - 6
PROVIDED REGULAR SPACES - 5
PROVIDED HANDICAP ACCESSIBLE - 1
TOTAL SPACES - 6
5. TREE REQUIREMENTS - ONE (1) TREE PER 30' OF FRONTAGE, 2 TREES ARE REQUIRED, FIVE (5) TREES PROVIDED PER REQUIREMENTS.
6. LANDSCAPE SHIP REQUIREMENTS - 3 SHRUBS PER 10' LINEAR FEET OF FRONTAGE, 3 SHRUBS PROVIDED PER REQUIREMENTS.
7. ALL TREES SHALL BE MAINTAINED BY AN AUTOMATIC UNDERGROUND IRRIGATION SYSTEM.

LEGAL DESCRIPTION:

EAST 75' OF LOTS 7 & 8 BLOCK 15 OF MISSOURI PACIFIC ADDITION TO THE CITY OF NORTH LITTLE ROCK, ARKANSAS AS SHOWN ON PLAT OF RECORD IN THE CIRCUIT CLERK'S OFFICE, PULASKI COUNTY, ARKANSAS.

OWNER:

MASH DEVELOPMENT, LLC
1213 W. 18TH STREET
NORTH LITTLE ROCK AR 72114

FLOODPLAIN NOTE:

ACCORDING TO THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) FLOOD INSURANCE RATE MAP (FIRM) FOR THE CITY OF LITTLE ROCK, ARKANSAS, THE PROJECT SITE IS NOT IN A FLOOD HAZARD ZONE. THE PROJECT SITE IS NOT IN A FLOOD HAZARD ZONE. THE PROJECT SITE IS NOT IN A FLOOD HAZARD ZONE.

GENERAL NOTES

1. CAUTION: UNDERGROUND UTILITIES ARE WITHIN AND ADJACENT TO THE LIMITS OF CONSTRUCTION. AN ATTEMPT SHALL BE MADE TO LOCATE ALL UTILITIES PRIOR TO BEGINNING ANY TYPE OF EXCAVATION. THE CONTRACTOR SHALL MARK THE VISIBLE UTILITIES & THE UTILITIES SHOWN ON THE PLANS IN THE FIELD. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL UTILITIES. IF ANY UTILITIES ARE DAMAGED, THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REPAIR AND RELOCATION OF THE UTILITIES. USE EXTREME CAUTION WHEN EXCAVATING.
2. CONTRACTOR SHALL KEEP VEHICLE TRAILING OF SEWER TO A MINIMUM AND SHALL BE RESPONSIBLE FOR THE PROTECTION OF THE SEWER LINE AS DETERMINED BY THE LOCAL GOVERNMENT OR PROJECT REPRESENTATIVE.
3. THE CONTRACTOR IS RESPONSIBLE FOR THE SAFETY PRECAUTIONS IN ALL EXCAVATIONS. ALL EXCAVATIONS SHALL BE PROPERLY SHORED AND COVERED BY THE CONTRACTOR BEFORE LEAVING THE JOBSITE EACH DAY.
4. CONTRACTOR IS RESPONSIBLE FOR DAMAGE TO EXISTING STRUCTURES, PAVEMENTS, AND UTILITIES.
5. CONTRACTOR SHALL PROVIDE TEMPORARY ACCESS TO THE SITE DURING CONSTRUCTION.
6. THE CONTRACTOR SHALL MAINTAIN THE SITE IN AN ORDERLY AND CLEAN FASHION.
7. ALL WASTE MATERIALS GENERATED FROM CONSTRUCTION BECOME THE PROPERTY OF THE CONTRACTOR. THE CONTRACTOR SHALL REMOVE THE WASTE MATERIALS FROM THE SITE AND DISPOSE OF IN A LEGAL MANNER.



Know what's Below.
Call before you dig.



DATE	02/28/2028
PROJECT	1213 W. 18TH STREET NORTH LITTLE ROCK, AR. 72114
DESIGNER	DOUGLAS A. PLUS ENGINEER
DATE	2028-06-10

SITE PLAN



DOUBLE A PLUS ENGINEERING
P.O. BOX 15608 - LITTLE ROCK, AR 72231 • (501) 541-9182



Item #8**SD2026-43 McCain Mall Addition Replat and SPR @ 3929 McCain Blvd for the creation of 4 lots and site plan review for 3 new buildings**

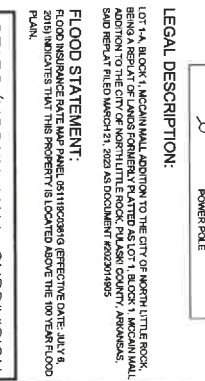
1. Engineering requirements on detention:
 - a. Pay the drainage in-lieu fee of \$5000/acre for the increase of impervious surfaces. (roof tops/parking)
2. Permit requirements/approvals submitted before a building permit will be issued:
 - a. A signed and recorded plat must be on file with the Planning Department.
 - b. If applicable, prior to construction, Owner's Engineer shall submit stormwater design report for review and approval by the City Engineer. Stormwater plans and detention calculations are to be approved by City Engineer and a written approval provided to Planning Department. Drainage submittal shall include, as a minimum, the following:
 - i. Proposed pipe material specifications.
 - ii. Proposed trench and bedding details, materials and specifications.
 - c. Provide CNLR Stormwater Permit application to City Engineer with half size erosion control plan showing silt fence, storm inlet protection, and drainage details.
 - d. Provide CNLR Floodplain Development Permit application to City Engineer.
 - e. Provide copy of Arkansas Department of Environmental Quality (ADEQ) Stormwater Permit to City Engineer.
 - f. Provide copy of Arkansas Department of Health approval for water and sewer facilities to NLR Planning Department if an extension of a main is required.
 - g. Prior to construction, Owner's Architect/Engineer shall submit signed construction plans and specifications (PDF format) to NLR Planning Department.
 - h. If applicable, prior to construction, Owner's Architect/Engineer shall submit digital maps for all stormwater drainage features in an ArcGIS or AutoCAD file to the City Engineer. The digital maps shall be natively in State Plane coordinate system, Arkansas North Zone, North American Datum 1983, units as feet; or the map must have sufficient points for georeferencing. The associated attribute data table from the submitted file shall match the fields contained within the "SW Attribute Data Entry Template.xlsx" as provided by City Engineering Department. All Control, Linear, and Junction map features will be annotated by a unique identifier that will correspond to the same unique identifier in the "SW Attribute Data Entry Template.xlsx" or GIS attribute table. Data for each attribute column in the "SW Attributed Data Entry Template.xlsx" file shall be chosen from the drop-down options of each cell, or chosen as "Other" (if not listed) and described in the comments field. At the completion of the project, As-Builts of these shapefiles in ArcGIS or AutoCAD format, along with associated attribute data table, shall be submitted to the City Engineer.
3. Meet the requirements of the City Engineer, including:
 - a. Prior to any excavation/street cuts within street ROW, provide CNLR Excavation Permit to City Engineer and Barricade Plan Permit to NLR Traffic Services.
 - b. Repair or replace existing sidewalk and curb to City Engineer's standards.
 - c. Contractor shall notify City Engineer at least 1 day prior to the construction of all stormwater pipes and inlet structures within City ROW.

- d. At the end of construction, Owner/Developer shall have a Professional Engineer, licensed in the State of Arkansas, certify that all street and stormwater improvements in conjunction with this subdivision and/or the proposed development have been inspected and constructed in accordance with the approved plans and meet all City of North Little Rocks Standard Specifications.
4. Planning requirements before the plat will be signed:
 - a. Plat will be submitted to NLR Planning Department in CAD compatible DXF and/or DWG format, tied to Arkansas State Plane Coordinates.
5. Meet the requirements of Community Planning, including:
 - a. Provide the standard requirements of Zoning and Development Regulations.
 - b. Provide dumpster location. Dumpster to have masonry screening on 3 sides along with an opaque gate enclosure.
 - c. All exterior lighting shall be shielded and not encroach onto neighboring properties.
6. Meet the requirements of the Master Street Plan.
7. Meet the requirements of the Screening and Landscaping ordinance, including:
 - a. All disturbed areas are to be sodded, fertilized, watered and mulched.
 - b. Any new site development must comply with the City's minimal landscape and buffer ordinance requirements.
 - c. Provide a scaled landscape plan, graphically indicating the plant material and locations, plant material legend graphically indicating the different plant materials, plant material list and specifications noting the minimum plant material size at installation.
 - i. All turf and plant material shall be irrigated by an automatic underground irrigation system.
 - d. Lot 4 requires a buffer/screening adjacent to the dissimilar land use to the east and south as defined by Section 7.2.4: Buffers between Dissimilar Uses.
 - i. The development of a C3 zoned property adjacent to the R4 zoned property to the north will require a full screen as defined by Section 7.3.1. Class Full Screens.
 - ii. Each side and rear yard buffer areas shall be five (5) percent of the lot width and depth. Buffer areas shall not be less than six (6) feet or greater than forty (40) feet.
 - iii. Trees from Section 7.5, Table B or C shall be spaced every twenty (20) feet; or trees from Table D shall be used if beneath overhead power lines and spaced every twenty (20) feet.
 - iv. An eight (8) foot tall, continuous opaque screen shall be provided. An opaque screen may include one (1) of the following: wall, fence, site grading, or plantings. No fence, wall and/or site grading is required with evergreen trees from Table E. The opaque screen must be opaque within 4 seasons.
 - e. Trees shall be planted at the rate of one (1) tree per six (6) parking spaces.
 - i. Trees ten (10) feet from the edge of parking area may serve for the parking lot shading requirements, but may not satisfy more than fifty (50) percent of the overall requirement for the parking lot or area.
 - ii. Parking lot trees are to be chosen from Table B or C, Section 7.5 of the North Little Rock zoning code, Table D shall be used if beneath overhead power lines.
 - f. A continuous screen of shrubs shall be required for any landscape strip adjacent to any parking area.

- i. Only shrubs from the approved planting list will count toward this requirement, unless approved by the Planning Commission. Shrubs shall be eighteen (18) inches in height at planting and be planted a maximum three (3) feet apart.
 - g. Wheel stops shall be required when parking areas abut sidewalks, landscaped areas or pedestrian areas. No portion of a vehicle shall encroach onto a sidewalk, landscaped area or pedestrian area.
 - h. Landscape plans to be revised prior to the July 2026 Planning Commission Hearing
 8. Meet the following requirements concerning signage:
 - a. All signs require a permit and separate review.
 9. Meet the requirements of the Fire Marshal, including:
 - a. Meet the requirements of the 2021 Arkansas Fire Prevention Code including:
 - i. An A-2 assembly occupancy with an occupant load of 100 or more shall be equipped with an automatic fire sprinkler system. (Volume 1 & 2 Section 903.2.1.2)
 - ii. There shall be a fire hydrant within 400' of any portion of each unsprinklered building and within 600' of any portion of each sprinklered building. (Volume 1 Section 507.5.1)
 - iii. Fire Apparatus access roads shall have an unobstructed width of not less than 20 feet. (Volume 1 Section 503.2.1)
 - iv. Fire Apparatus access roads shall extend to within 150 feet of all portions of the exterior walls of the first story of the building. (Volume 1 Section 503.1.1)
 - b. Fire Apparatus access roads will support 85,000 lbs. (Municipal Code Chapter 12, Article 3.2.4 D)
 10. Meet the requirements of CAW, including:
 - a. All Central Arkansas Water requirements in effect at the time of request for water service must be met.
 - b. The North Little Rock Fire Department needs to evaluate this site to determine whether additional public and/or private fire hydrant(s) will be required. If additional fire hydrant(s) are required, they will be installed at the Developer's expense
 - c. Please submit plans for water facilities and/or fire protection system to Central Arkansas Water for review. Plan revisions may be required after additional review. Contact Central Arkansas Water regarding procedures for installation of water facilities and/or fire service. Approval of plans by the Arkansas Department of Health Engineering Division and North Little Rock Fire Department is required.
 - d. If there are facilities that need to be adjusted and/or relocated, contact Central Arkansas Water. That work would be done at the expense of the developer.
 - e. Contact Central Arkansas Water regarding the size and location of the water meter.
 - f. The facilities on-site will be private. When meters are planned off private lines, private facilities shall be installed to Central Arkansas Water's material and construction specifications and installation will be inspected by an engineer, licensed to practice in the State of Arkansas. Execution of Customer Owned Line Agreement is required.
 - g. Due to the nature of this facility, installation of an approved reduced pressure zone backflow preventer assembly (RPZ) is required on the domestic water service. This assembly must be installed prior to the first point of use. Central Arkansas Water (CAW) requires that upon installation of the RPZA, successful tests of the assembly must be completed by a Certified Assembly Tester licensed by the State of Arkansas and approved by CAW. The test results

must be sent to CAW's Cross Connection Section within ten days of installation and annually thereafter. Contact the Cross Connection Section at 377-1226 if you would like to discuss backflow prevention requirements for this project.

- h. Fire sprinkler systems which do not contain additives such as antifreeze shall be isolated with a double detector check valve assembly. If additives are used, a reduced pressure zone backflow preventer shall be required.
11. Meet the requirements of NLR Wastewater, including:
- a. Proposed Lots 2 and 3 will not have access to public sewer. A public main extension will be required for these lots.
 - b. Proposed building on Lot 4 is within the sewer easement. Revise plans for building to sit at least 10 feet away from the public main or relocate the public sewer main.
 - c. Please provide flow projections for the proposed development. NLRW will analyze projected flow and determine the sewer improvements for the receiving system, if any are required.
 - d. Submit a full set of plans to kunderwood@nlrwu.com for review and approval before construction begins. Construction shall not commence until approval is granted.



SITE INFORMATION

ADDRESS: 134 ADAMS
A LOT 14-1 CONTAINS 3,600 ACRES
B LOT 15-2 CONTAINS 3,600 ACRES
ZONES: L-1, C-1
FRONT SETBACK: 40 FEET
REAR YARD SETBACK: 40 FEET
SIDE YARD SETBACK: 40 FEET
MINIMUM FRONT LOT: 20 FEET
DOUBLE FRONTED LOT: 20 FEET
SAC WAD STIMULUS RESIDENTIAL: 25 FEET
WAD STIMULUS RESIDENTIAL: 25 FEET
BUILDING MAX HEIGHT: 40 FEET
MAXIMUM NUMBER OF STORES:
OWNER: MARCH REALTY

LAND DESCRIPTION - LOT 1A (PARENT TRACT) 2
LIES LYING IN PART OF THE EAST 1/3 OF THE NW 1/4 OF SECTION 19, TOWNSHIP 2 NORTH, RANGE 11 WEST, NORTH LITTLE ROCK, POLK COUNTY, ARKANSAS, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT A CORNER POINT ON THE NORTHEASTERN CORNER LINE OF MOGAN BLVD AND ACROSS THE LINE OF THE EAST 1/3 OF THE NW 1/4 OF SECTION 19, TOWNSHIP 2 NORTH, RANGE 11 WEST, THENCE NW 1/4 OF SE 1/4 ALONG SAID CORNER LINE OF THE EAST 1/3 OF THE NW 1/4 OF SECTION 19, TOWNSHIP 2 NORTH, RANGE 11 WEST 1/4 DISTANCE OF 106.4 FEET THENCE S87° 07' 01" E A DISTANCE OF 261.87 FEET ALONG THE SOUTHERLY BOUNDARY OF MOGAN PARK DRIVE, THENCE S 27° 18' 00" W A DISTANCE OF 106.4 FEET THENCE S87° 07' 01" E A DISTANCE OF 106.4 FEET THENCE N67° 07' 01" W A DISTANCE OF 261.87 FEET TO A POINT ALONG THE NORTH RIGHT-OF-WAY OF MOGAN BOULEVARD, THENCE N67° 07' 01" W A DISTANCE OF 11.662 FEET TO A POINT OF BEGINNING, CONTAINING 12.84 ACRES, MORE OR LESS.



SHEET NO. SPR	PROJECT NO. 26-019	PROJECT TITLE SLICK CITY - McCain NORTH LITTLE ROCK, AR					PROJECT 25A SCALE 1"=60' DRAWN BY MER CHECKED BY EMM DESIGNED BY EMM DATE 06/03/2026	 Robert M. Edwards Engineering, Inc. 1010 Bank Street, Suite 200 Little Rock, AR 72201 (501) 399-8900
		SHEET TITLE SITE PLAN REVIEW						

Item #9**Conditional Use # CU2026-06**

Request: a Conditional Use to revise the previously approved hours of operation for a daycare center in a C3 zoning district

Location of the Request: @ 2501 N Poplar St, NLR, AR

Applicant: Twin City Development Center, Sabrina Rodgers and Andrew Rodgers

Owner: Pabani Brothers LLC

Background: Ordinance #7310 adopted by the NLR City Council on November 1, 2000, approved a Special Use to allow Rodgers Daycare Center to operate at this location. The proposal included construction of a new building, playground and parking. (Special Use approvals are non-transferable to any future user/applicant.)

Ordinance #9771 adopted by NLR City Council on May 27, 2025, approved a Conditional Use to allow a daycare center at this location. Of the various conditions of approval, the approval limited the days and hours of operation to 7 am to 7 pm Monday through Friday.

Site Characteristics: The site was developed as a daycare center with the building being built in 2000. The building contains 5,580 square feet and was previously Mama Myrtles Head start. Mama Myrtles maintained a business license for this address from 2015-2024 and did not renew the license for 2025. The Wright Childcare Academy LLC requested the property be allowed a Conditional Use which was approved in mid-2025 and later received a business license in July 2025. The Wright Childcare Academy did not renew the license for 2026. Twin City Development Center received a business license in May 2026 and is currently operating a childcare center under the conditions as approved by the Conditional Use in May 2025.

Land Use Plan: Community Shopping

Master Street Plan: N Poplar Street is indicated on the Master Street Plan as a local street. There are no dedicated bikeways located in the area.

Surrounding Zoning and Uses

<u>Direction</u>	<u>Surrounding Zoning</u>	<u>Surrounding Uses</u>
North	C3	Hotel
South	C3	Office Warehouse
East	C3 & PI	NLR Justice Center & NLR School District
West	C3	Hotel, Office, Pharmacy

General Information:

1. **Compatible with previous actions?** The site was previously approved as a Conditional Use

- to allow a daycare at this location.
2. **Neighborhood Position/Comment?** None at the time of printing.
 3. **Effect on public service and utilities?** There should be minimal to no impact on public services and utilities with the approval to extend the hours of operation from 7 pm to 11:59 pm.
 4. **Legal Consideration/Reasonableness?** The request is reasonable. The site has operated as a daycare center for a number of years. Within the area there are uses which operate with late night hours or overnight hours. Also, there are no residential homes located in the immediate area which could potentially impact the quiet hours of a resident.
 5. **Will the approval have a stabilizing effect on surrounding properties?** There should be minimal to no impact on the surrounding properties with the extended hours. The area is a non-residential area.
 6. **Is the site of adequate size for the development?** The site is developed.
 7. **Will this set a precedent for future rezoning?** The zoning and the Conditional Use will remain unchanged. The only modification will be to the closing hour of the operation.
 8. **Should a different zoning classification be requested?** A revision to the previously approved Conditional Use is an appropriate request to allow the site to extend the hours of operation for the existing daycare center.

Staff Summary:

The applicant is seeking to revise the previously approved Conditional Use to extend the closing hours from 7 pm to 11:59 pm. The applicant states they are currently operating with the hours of the May 2025 approval, however, due to the increasing demand for childcare services among healthcare professionals, first responders, shift workers, manufacturing employees and other families who work nontraditional hours there is a need for childcare services later in the evenings. The applicant states their goal is to provide high-quality childcare services that meet the needs of working families throughout the community. The applicant states many parents have expressed the need for extended care options, particularly during evening hours, and they believe expanding the hours will help fill a critical gap in childcare availability within North Little Rock.

Staff is supportive of the applicant's request to extend the hours beyond the 7 pm closing previously approved. The area is primarily non-residential with two hotels and the NLR Justice Center, which generally operate with nontraditional hours of operation.

Conditions to Consider:

1. Hours of operation 7 am to ~~7 pm~~ to **11:59 pm** Monday through Friday.
2. Meet the minimum requirements of DRS for the number of children to be served and provide the required child to staff ratio as required by DHS.
3. Meet DHS requirement for recreational activities.
4. Playground area shall have direct accessed from the building to the fenced playground area.
5. Playground areas shall have emergency exit away from the building and must meet all applicable building and fire regulations.
6. Playground fence shall be an opaque 6' solid wood fence around the playground area.
7. Applicant shall meet all applicable Federal, State, County, and City requirements.
8. Playground shall meet DHS and City of NLR requirements for playground surfaces and equipment.

9. All daycare centers/ home daycares shall perform a sex offender residence check through the NLR Police Department according to their rules and procedures, to determine if a Level 3 or Level 4 registered sex offender resides within 2,000 feet of the proposed site for the daycare center/ home daycare facility.
10. All daycare centers shall conform to applicable building and fire regulations
11. All structures located on the lot shall meet all applicable Federal, State, County and City requirements and codes.
12. Business license to be issued after Planning Staff confirmation of requirements.
13. Applicant/owner understands that failure to comply with these conditions may result in loss of the Conditional Use and/or loss of Business License and/or removal of Electric Power Meter.

Conditional Use # 2026-06



Ortho Map

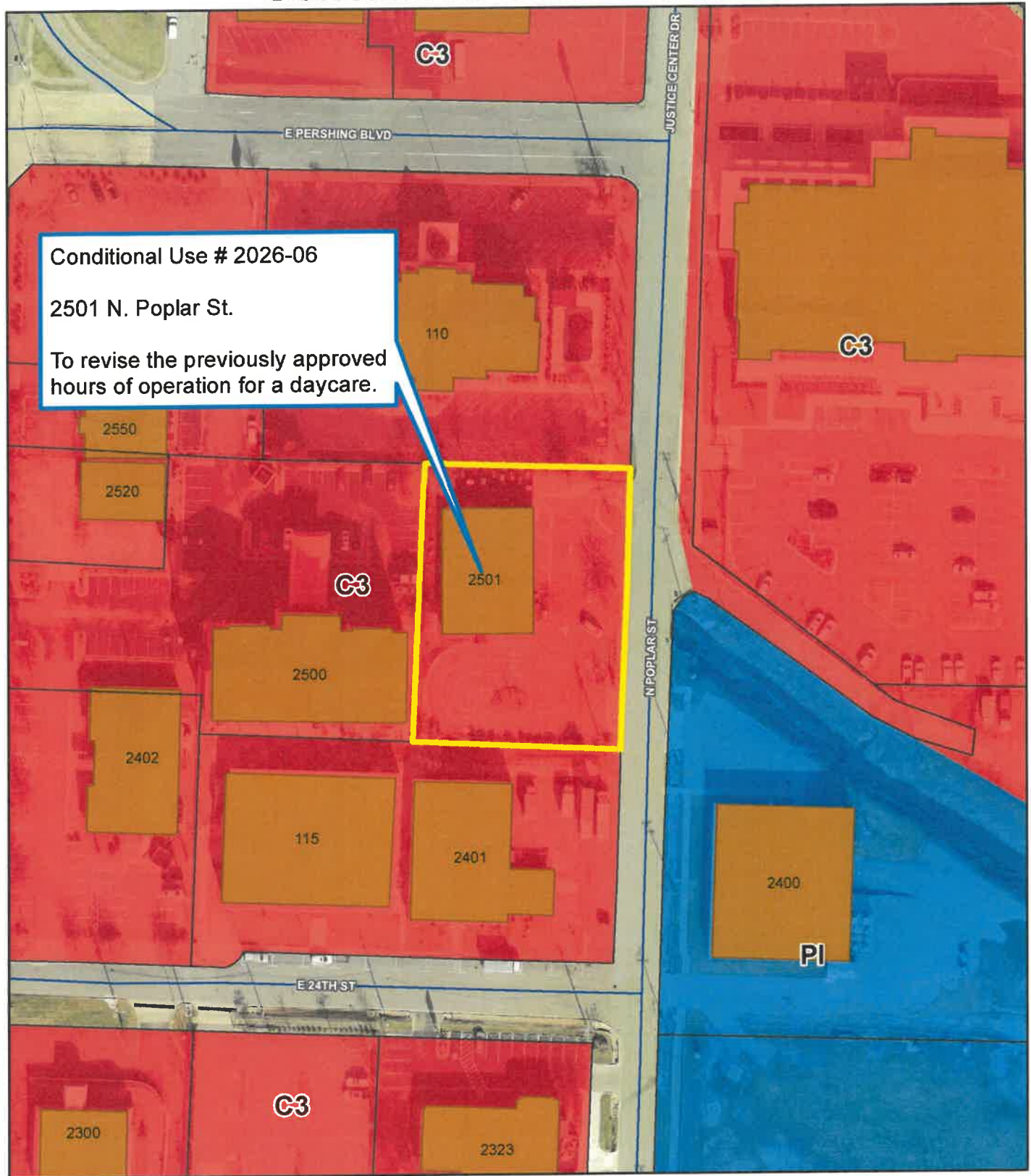
1 inch = 40 feet
0 20 40 80 Feet



Date: 6/16/2026

Map is not to survey accuracy

Conditional Use # 2026-06



Zoning Map

1 inch = 100 feet

0 50 100 200 Feet



Date: 6/16/2026

Map is not to survey accuracy

James, Donna

From: Sabrina Rodgers <admin@twincitydevelopmentcenter.com>
Sent: Wednesday, June 3, 2026 4:24 PM
To: James, Donna
Subject: Twin City Development Center (hours of operation)

Date: June 3, 2026

City of North Little Rock
Business Licensing and Planning Department
North Little Rock, Arkansas

To Whom It May Concern,

I am writing on behalf of Twin City Development Center, located at 2501 North Poplar Street, North Little Rock, Arkansas 72114, regarding our hours of operation.

Currently, Twin City Development Center operates from **6:30 AM to 6:00 PM**. However, due to the increasing demand for childcare services among healthcare professionals, first responders, shift workers, manufacturing employees, and other families who work nontraditional hours, we would like to formally update our approved hours of operation to include evening childcare services.

We respectfully request that our hours of operation be updated to:

5:30 AM – 11:59 PM

Our goal is to provide high-quality childcare services that meet the needs of working families throughout our community. Many parents have expressed the need for extended care options, particularly during evening hours, and we believe expanding our hours will help fill a critical gap in childcare availability within North Little Rock.

Twin City Development Center remains committed to operating in compliance with all applicable city ordinances, state licensing requirements, health and safety regulations, and childcare standards. We are dedicated to providing a safe, nurturing, and educational environment for the children and families we serve.

We appreciate your consideration of this request and look forward to continuing to serve the families of North Little Rock through expanded childcare services.

If additional information or documentation is required, please contact our office at 501-549-4339.

Sincerely,

Andrew Rodgers

Twin City Development Center
2501 North Poplar Street

Item #10
Special Use # SU2026-15

Request: Special Use to allow the continued sale of topsoil in an R2 zoning district

Location of the Request: 12602 Faulkner Lake Rd, NLR, AR

Applicant/Owner: Rick Middleton, Middleton Brothers Trucking

Legal Description: A tract of land in the South 1/2 of Section 1 and in the NE1/4 of the NE1/4 of Section 12 of Township 1 North, Range 11 West; in the SE1/4 of Section 5; in the South 1/2 of Section 6; in the North 1/2 of the North 1/2 of Section 7; and in the North 1/2 of the NW1/4 of Section 8 in Township 1 North, Range 10 West, Pulaski County, Arkansas, more particularly described as: Parcels: 14N0070100100, 14N0060100300 and 14N0080000400; located at 12602 Faulkner Lake Road

Site Characteristics: The site is a 200+ acre site with several unplatted parcel. A wire fence borders the frontage along Faulkner Lake Road. The area of excavation is accessible from Faulkner Lake Road via a gated gravel drive. There is a stand of trees providing limited screening of the area being excavated for the sale of topsoil.

Land Use: Single Family

Master Street Plan: Faulkner Lake Road is classified as a collector on the Maste Street Plan. There is a Class III bikeway route located to the west along HWY 391 and also a 2nd Class III bikeway route located to the north along Faulkner Lake Road. Typically bike routes are in more urban areas where formal bike lanes cannot adequately be striped or located along rural roadways lane widths in excess of 14 feet. Generally, these routes are unimproved, meaning the roadway has not been widened or altered.

Surrounding Zoning and Uses

<u>Direction</u>	<u>Surrounding Zoning</u>	<u>Surrounding Uses</u>
North	R2	Undeveloped
South	R5	Undeveloped
East	RT1	Manufactured Home Subdivision located in the County
West	R2	Faulkner Crossing Subdivision – Single Family

Background: Ordinance #8888 approved a Special Use adopted by City Council on February 13, 2017, to allow the sale of topsoil from this property. The approval was limited to one year from the date of approval of the ordinance. Ordinance #8982 was adopted by the City Council on February 12, 2018, to revise the previously approved Special Use to allow a time extension which allowed the continued sale of topsoil from February 13, 2018, to May 31, 2019.

On February 13, 2017, the City Council denied a request for a Special Use to allow the storage, recycling and sale of concrete rubble on the property.

Ordinance #9489 adopted by City Council on July 25, 2022, approved a Special Use to allow Middleton Brothers LLC to continue the sale of topsoil from the property for three (3) years. The conditions of approval were:

1. Applicant to provide a detailed drainage plan to the City Engineer to properly handle stormwater run-off.
2. City Engineer to approve the Drainage Plan and Land Alteration Permit.
3. Topsoil removal to meet all Department of Energy and Environmental (DEQ) requirements.
4. Drainage easements are not to be maintained by the city.
5. Topsoil sales are limited to 3 years from date of approval by City Council.
6. Hours of operation of any excavating on the property to be Monday -Saturday, 8am-6pm.
7. Applicants must meet all applicable Federal, State, County, and City requirements.
8. Business license to be issued after Planning Staff confirmation of requirements.
9. Applicant/owner understands that failure to comply with these conditions may result in loss of the Special Use and/or loss of Business License.

General Information:

1. **Compatible with previous actions?** The property was previously approved for the sale of topsoil. The applicant is requesting to continue this operation.
2. **Neighborhood Position/Comment?** No comment at the time of printing.
3. **Effect on public service and utilities?** The sale of topsoil will have limited impact on the public service and/or public utilities.
4. **Legal Consideration/Reasonableness?** The request is reasonable with approval of a Special Use with conditions placed on the approval.
5. **Will the approval have a stabilizing effect on surrounding properties?** The applicant must continue to provide a proper drainage plan and implementation of the plan.
6. **Is the site adequate size for the development?** The site is 200+ acres, and the request is to allow the continued sale of topsoil from the site. The sale of topsoil is limited to a small portion of the total acreage.
7. **Will this set a precedent for future rezoning?** The request is Special Use to allow the continued sale of topsoil, which is the appropriate request but does not set precedent for future request of a similar nature.
8. **Should a different zoning classification be requested?** There is not a zoning designation which allows for the sale of topsoil. Special Use approval is the appropriate request.

Staff Summary:

The applicant purchased the property and began cleaning the area by removing debris left from the former owner. The applicant has removed the concrete and rubbish left by the former owner. The applicant is now working to restore the "pit area" which was also left unsightly by the previous

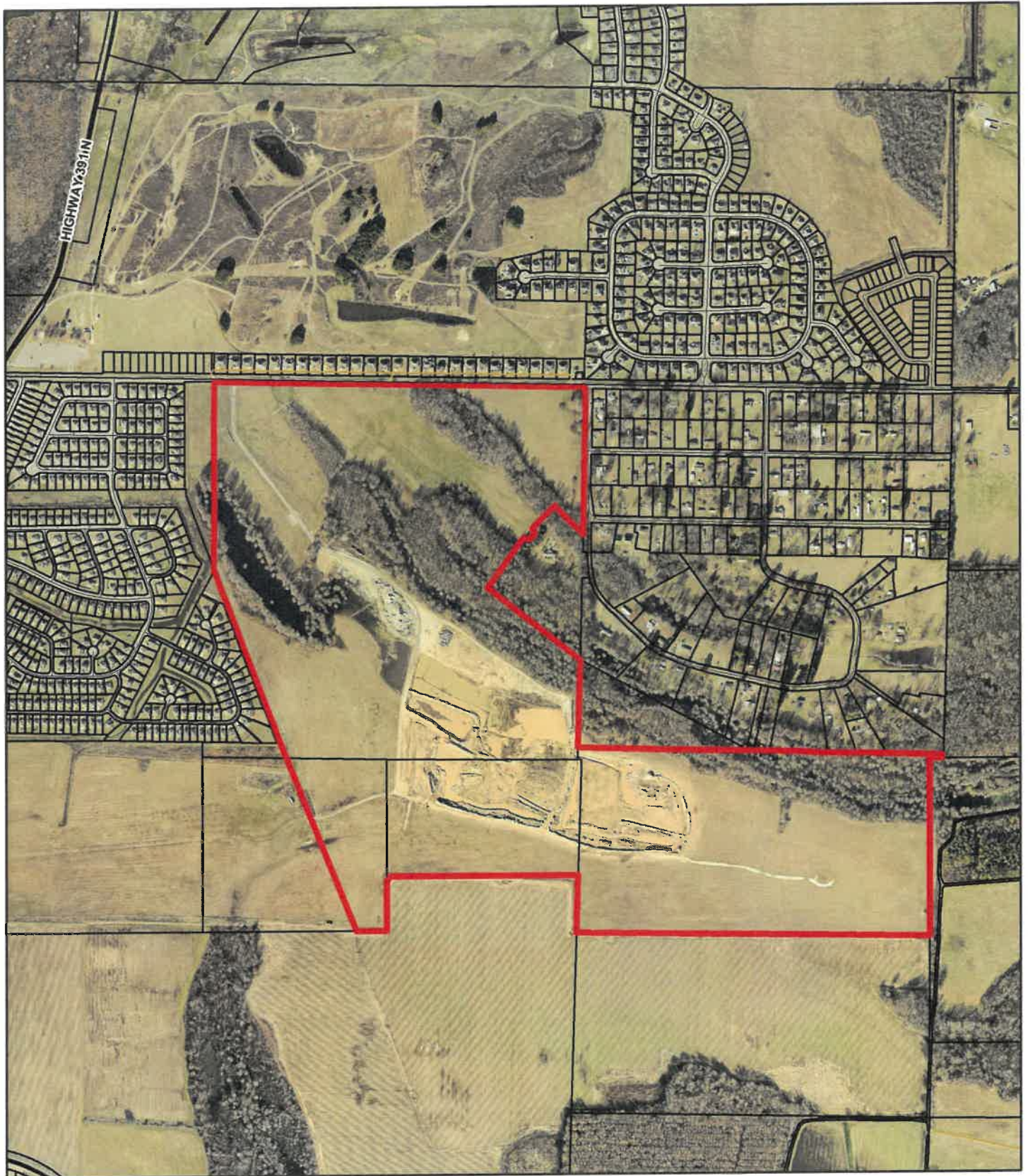
owner. The applicant indicates that the continued sale of topsoil is necessary to continue to “clean up areas”. The applicant’s request is to continue the sale of topsoil for four (4) years.

With the continuation of the previously provided conditions of approval staff is supportive of the applicant’s request.

Conditions to Consider:

1. Applicant is to continue working with the City Engineer and continue to maintain the previously approved drainage plan with regard to stormwater run-off.
2. The applicant is to maintain a grading permit, land alteration and a stormwater permit with the city obtained from the City Engineer.
3. Topsoil removal is to meet all Arkansas Entergy and Environmental (AEE) requirements.
4. Drainage easements shall not be maintained by the city.
5. Topsoil sales are limited to 4 years from date of approval of the Special Use by City Council.
6. Hours of operation of any excavation on the property shall be limited to Monday - Saturday, 8am-6pm.
7. Applicants must meet all applicable Federal, State, County, and City requirements.
8. Applicant is to maintain a City of North Little Rock Business license.
9. Applicant/owner understands that failure to comply with these conditions may result in loss of the Special Use and/or loss of Business License.

Special Use #2026-15



Ortho Map

1 inch = 1,000 feet

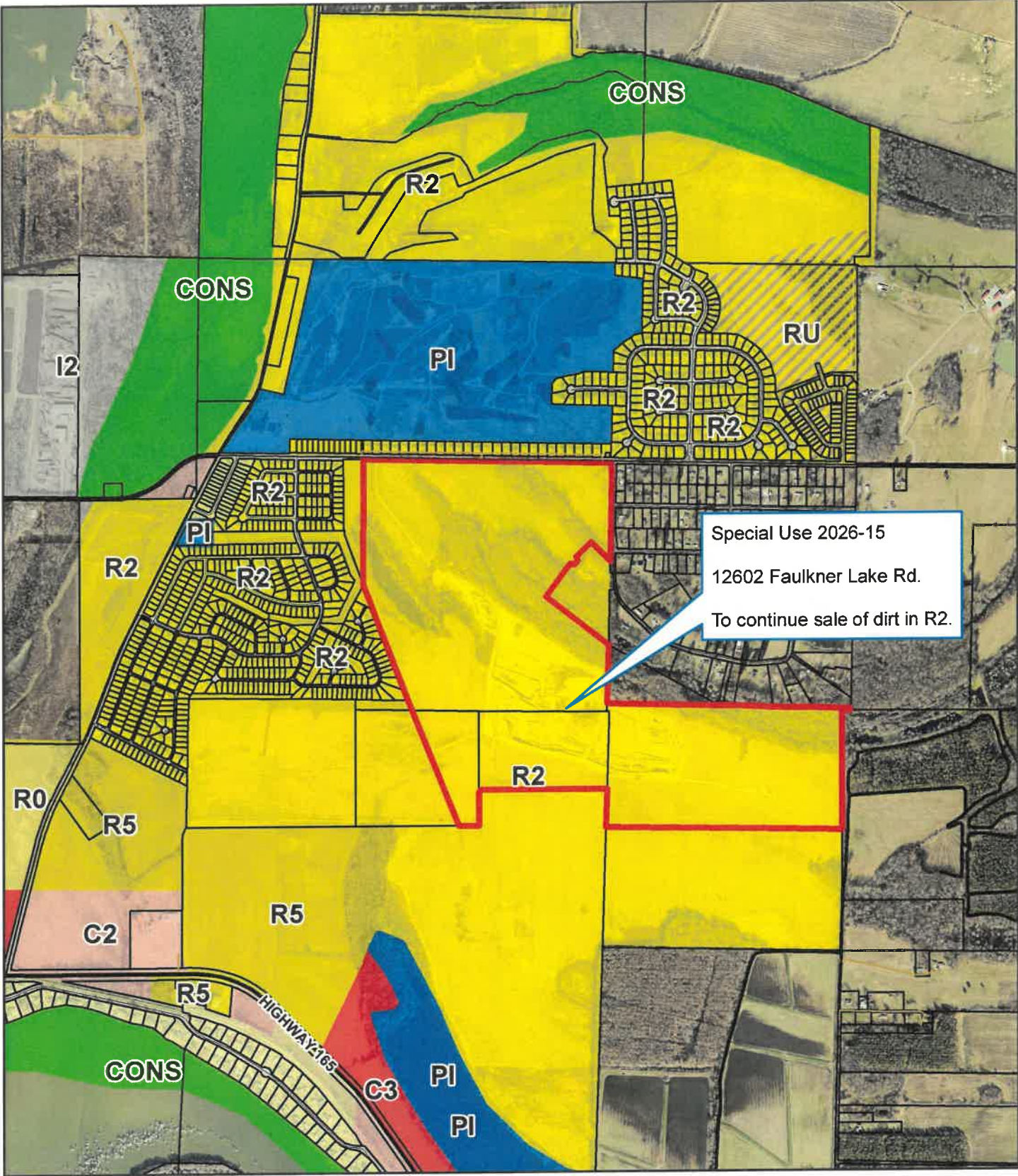
0 500 1,000 2,000 Feet



Date: 6/17/2026

Not an actual survey

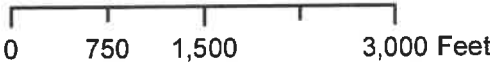
Special Use #2026-15



Zoning Map

Date: 6/17/2026

1 inch = 1,500 feet



Not an actual survey

June 2, 2026

The City of North Little Rock Planning
Attn: Donna James
700 W 29th St
North Little Rock, AR 72114-2135

Re: 12602 Faulkner Lake Rd, Special Use for selling dirt

To whom it may concern,

Middleton Brothers Trucking needs to renew our special use permit for selling dirt for the next four years. Please send instructions so we can comply with the City of North Little Rock's planning commission.

Thank you,

A handwritten signature in black ink, appearing to read "Karla Middleton", with a stylized flourish at the end.

Karla Middleton

Owners of Middleton Brothers Trucking Inc

501-607-2005/rickkar@att.net

