

ORDINANCE NO. ____

AN ORDINANCE WAIVING CERTAIN SECTIONS OF ARTICLE 7 OF THE ZONING ORDINANCE (ORDINANCE NO. 9263) FOR CERTAIN REAL PROPERTY LOCATED AT 401 OLIVE STREET IN THE CITY OF NORTH LITTLE ROCK, ARKANSAS, TO WAIVE LANDSCAPING REQUIREMENTS; WAIVING CERTAIN SECTIONS OF CHAPTER 94 OF THE NORTH LITTLE ROCK MUNICIPAL CODE TO WAIVE DRIVEWAY REQUIREMENTS; DECLARING AN EMERGENCY; AND FOR OTHER PURPOSES.

WHEREAS, application was made by Travis Tolley of Crafton Tull, 10825 Financial Centre Parkway, Suite 300, Little Rock, Arkansas 72211, seeking a waiver of landscaping and driveway requirements for certain real property located at 401 Olive Street (see letter and maps attached hereto respectively as Exhibit A and B); and

WHEREAS, the North Little Rock Planning Commission duly considered and required the items (9 affirmative votes) at a regular meeting thereof held December 9, 2025.

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF NORTH LITTLE ROCK, ARKANSAS:

SECTION 1: That the following section of Article 7 of the Ordinance No. 9263 ("Zoning Ordinance") is hereby waived for certain real property located at 401 Olive Street, more particularly described as:

PART OF LOT "D" OF ADKINS-PHELPS COMPANY REPLAT OF PART OF BLOCK 28, ORIGINAL TOWN OF ARGENTA, AND A PART OF LOTS 11 AND 12, BLOCK 28, ORIGINAL TOWN OF ARGENTA, ALL NOW IN THE CITY OF NORTH LITTLE ROCK, PULASKI COUNTY, ARKANSAS, AND THAT PORTION OF 4TH STREET NOW CLOSED, ALL BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT THE SOUTHWEST CORNER OF SAID LOT "D"; THENCE N01°18'58"E A DISTANCE OF 315.00 FEET; THENCE S88°15'21"E A DISTANCE OF 149.88 FEET; THENCE S01°19'29"W A DISTANCE OF 300.00 FEET; THENCE ALONG A CURVE TO THE RIGHT WITH A RADIUS OF 15.00 FEET AND A CHORD BEARING AND DISTANCE OF S46°28'19"W, 21.11 FEET; THENCE N88°15'28"W A DISTANCE OF 134.87 FEET TO THE POINT OF BEGINNING, CONTAINING 1.08 ACRES MORE OR LESS.

7.2.2 – Landscaping Strips

A. Landscape strips shall be required along all front, side, and rear yards adjacent to parking areas, driveways, or vehicle maneuvering areas.

1. Front yard landscape strips shall be at least four (4) feet in width unless facing a street, in which case, the strip shall be at least six (6) feet in width.
2. Side and rear yard landscape strips shall be at least four (4) feet in width unless facing a street, in which case, the strip shall be at least six (6) feet in width.

SECTION 2: That the following section of Chapter 94 of the North Little Rock Municipal Code is hereby waived for the subject property:

Sec. 94-51. - Layout and design of driveways.

- a. For entrances to nonresidential driveways, all radii shall not be less than five feet measured from back of curb and a point of tangency to the curbline of the street, and all curb radii shall be tapered to meet the grade of the outer edge of the sidewalk as determined by the director of public works. Radii for curbs at street intersections shall be as specified in the subdivision regulations. The width of the entrances to driveways for residences at the intersection of the driveway and curb at the street shall not have a width less than the width of the driveway plus four feet.
- b. No driveway shall be constructed closer than ten feet of a property line or as specified by the director of public works, except in residential areas, where the driveway shall not be closer than one foot of the property line. Where property abuts an alley, the minimum distance shall be ten feet; where property abuts a street, the minimum distance shall be 35 feet. All multiple driveways on the same property shall be separated by a minimum 20-foot safety island, and the maximum driveway opening shall not exceed 40 feet. All above measurements for multiple openings shall be along the outer edge of the sidewalk, or if a sidewalk is not provided then along the edge of the right-of-way.
- c. No driveway shall be constructed at an angle of less than 45 degrees to the centerline of the street.
- d. No pump island shall be constructed closer than 18 feet to the front property line or 15 feet to the side property line, as specified in the comprehensive zoning ordinance.
- e. There shall be an expansion joint installed at a suitable location between the back of curb of rigid pavement and the property line for driveways, which shall be constructed in accordance with accepted engineering practices as approved by the director of public works. Such expansion joints shall be no more than 50 feet apart.

SECTION 3: That the driveways for the subject property are subject to the following conditions:

1. Driveway radii shall be labeled and shall have 25' minimum radii and be built according to CNLR standard details (available at NLR Engineering Department).

2. Driveways shall not be closer than 40' to adjoining streets or 10' from adjoining property lines.
3. Spacing between proposed commercial/industrial driveways shall not be closer than 40'.
4. Driveway widths shall be labeled and shall be 10' minimum to 40' maximum.

SECTION 4: All ordinances or parts of ordinances in conflict herewith are hereby repealed to the extent of the conflict.

SECTION 5: That the provisions of this ordinance are hereby declared to be severable and if any section, phrase or provision shall be declared or held invalid, such invalidity shall not affect the remainder of the sections, phrases or provisions.

SECTION 6: That it is hereby found and determined that the waiver of the above-described sections as provided for herein is to be in the best interests of the City, and is immediately necessary in order to insure the proper and orderly growth of this land and of the City of North Little Rock, Arkansas, and being necessary for the immediate preservation of the public health, safety and welfare; THEREFORE, an emergency is hereby declared to exist, and this Ordinance shall be in full force and effect from and after its passage and approval.

PASSED:

APPROVED:

Mayor Terry C. Hartwick

SPONSOR:

ATTEST:

Linda Robinson
Council Member Linda Robinson

Diane Whitbey, City Clerk

APPROVED AS TO FORM:

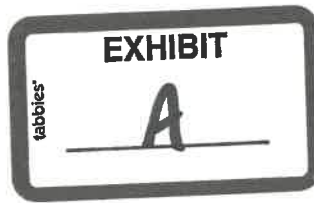
Amy Beckman Fields
Amy Beckman Fields, City Attorney

PREPARED BY THE OFFICE OF THE CITY ATTORNEY/kt

FILED	<u>11:02</u>	A.M.	_____	P.M.
By	<u>Amy Fields CA</u>			
DATE	<u>12-10-25</u>			
Diane Whitbey, City Clerk and Collector North Little Rock, Arkansas				
RECEIVED BY	<u>[Signature]</u>			



Crafton Tull
architecture | engineering | surveying



10825 Financial Centre Parkway, Suite 300
Little Rock, Arkansas 72211

501.664.3245 (ph)
501.664.6704 (fax)

December 11, 2025

City of North Little Rock
Mayor Hartwick and City Council Members
300 Main Street
North Little Rock, AR 72114

RE: PC Hardware Replat and SPR @ 401 N Olive St
SD2025-59
CTA Job No. 25802900

Dear Mayor and City Council Members:

We are working on an exciting warehouse and parking addition for PC Hardware at 401 N Olive Street. This steadfast company has been serving central Arkansas residential and commercial clients for over 76 years with the highest quality finish hardware, metal frames, specialties, and wood doors. This project has been submitted and conditionally approved for Site Plan Review by City Staff, the Design Review Committee, and the Planning Commission.

We are writing to request waivers for the following:

- Waive required driveway spacing and width for the proposed drives along E 5th Street.
- Allow landscaping and irrigation within the public right-of-way adjacent to our site.

We appreciate the City's consideration of these waivers and request that it be placed on the agenda for December 22nd, 2025 City Council meeting.

Should you have any questions, or require any additional information, please contact us at your convenience.

Sincerely,

Travis Tolley, P.E.
Civil Engineer | Infrastructure

Public Hearing Case # 2025-30

EXHIBIT

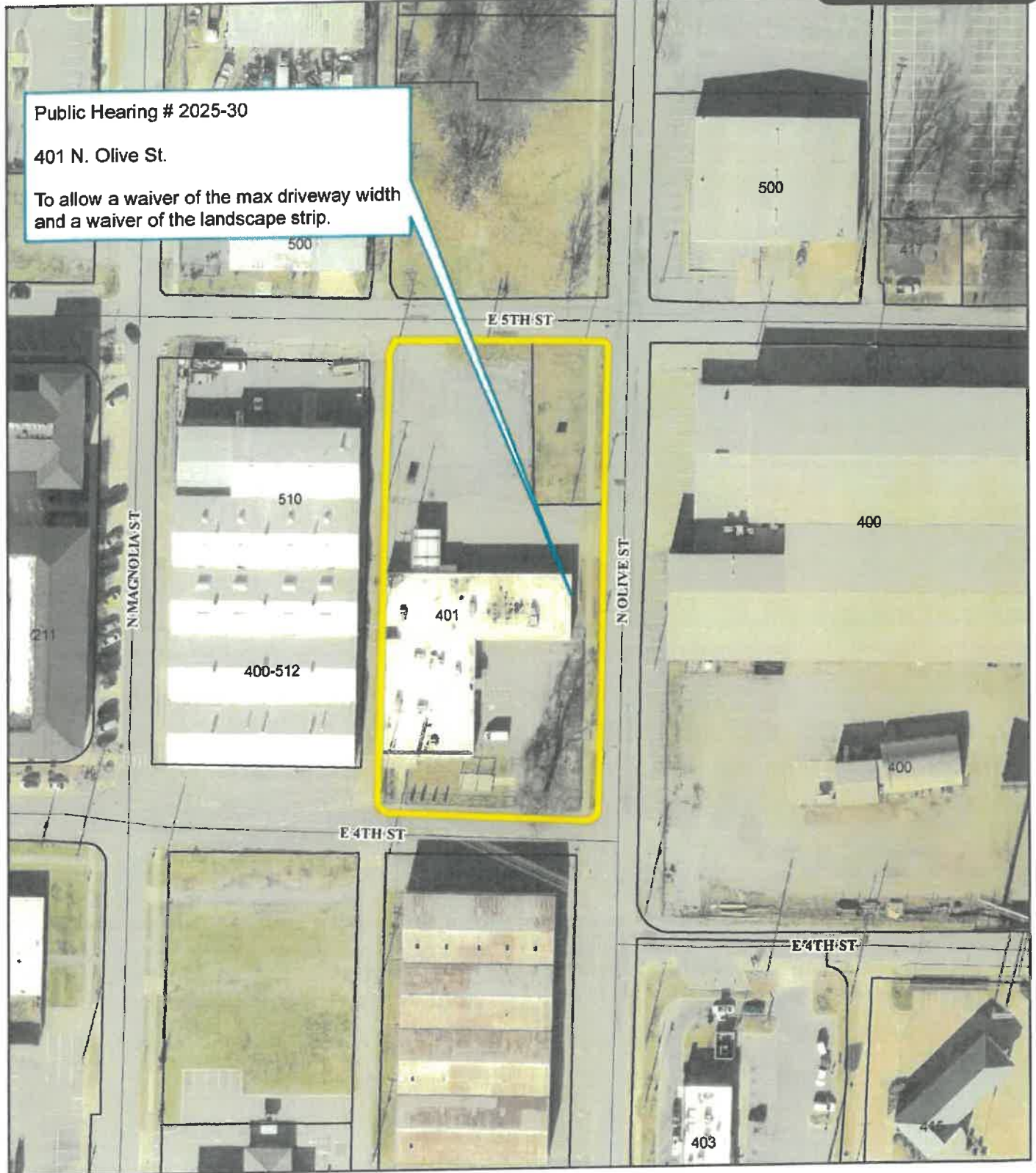
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Public Hearing # 2025-30

401 N. Olive St.

To allow a waiver of the max driveway width
and a waiver of the landscape strip.

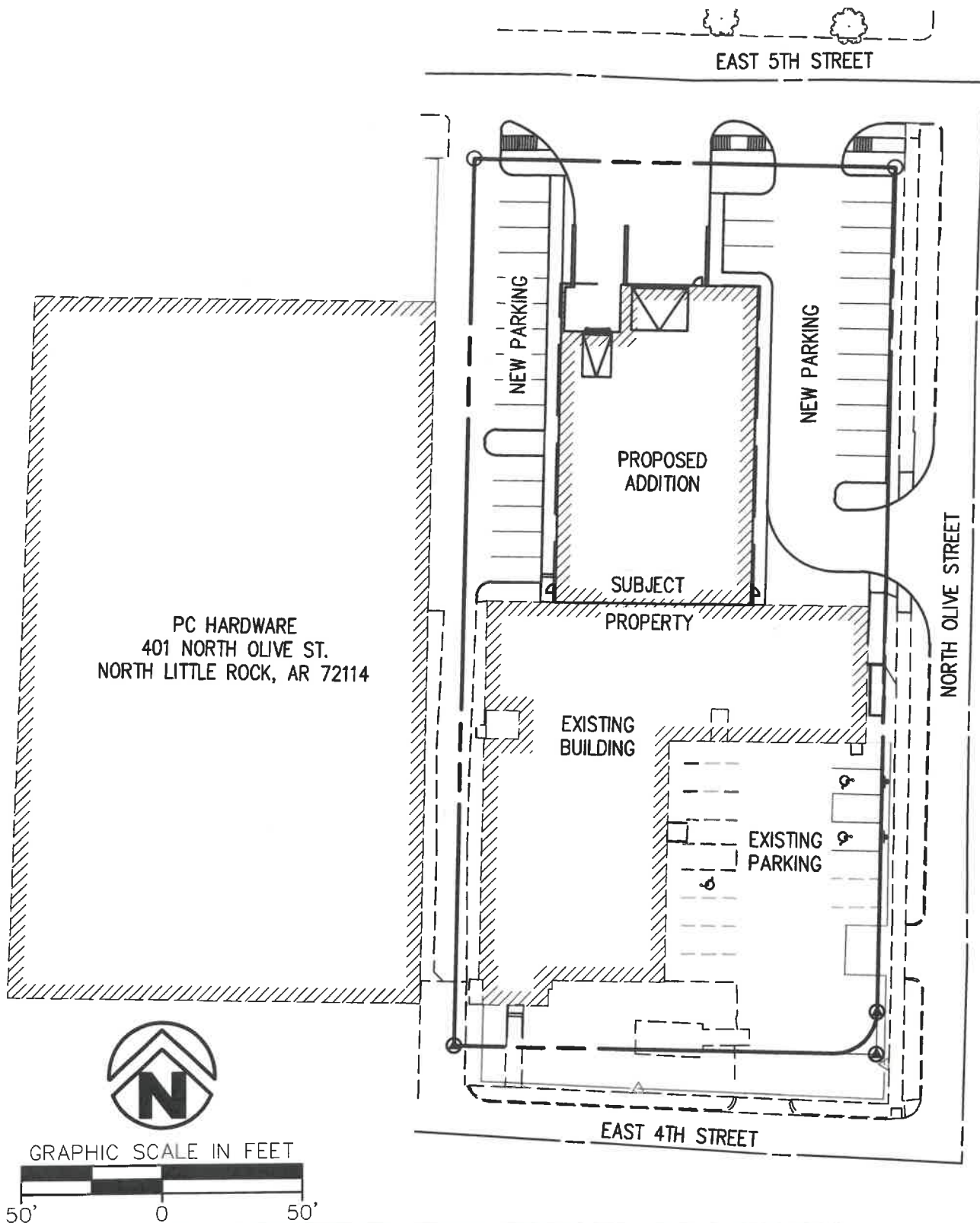


Ortho Map

1 inch = 100 feet



Date: 12/11/2025



Project No: 25802900

Issue Date: 12/11/25

Contact: T. TOLLEY

QC by:

QC Date:

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10825 Financial Centre Parkway, Suite 300
Little Rock, Arkansas 72211



Crafton Tull

501.664.3245 | 501.664.6704 |
www.craftontull.com

CERTIFICATE OF AUTHORIZATION



This document, and the ideas and designs incorporated herein, as an instrument of professional service, is the property of Crafton, Tull & Associates, Inc., and is not to be used, in whole or in part, for any other project, without the written authorization of Crafton, Tull & Associates, Inc.



CITY OF NORTH LITTLE ROCK
Public Works Department

NORTH LITTLE ROCK, AR 72114

500 WEST 13TH STREET

CITY OF NORTH LITTLE ROCK
STANDARD DETAILS

COMMERCIAL/
INDUSTRIAL
DRIVEWAYS
w/SIDEWALKS

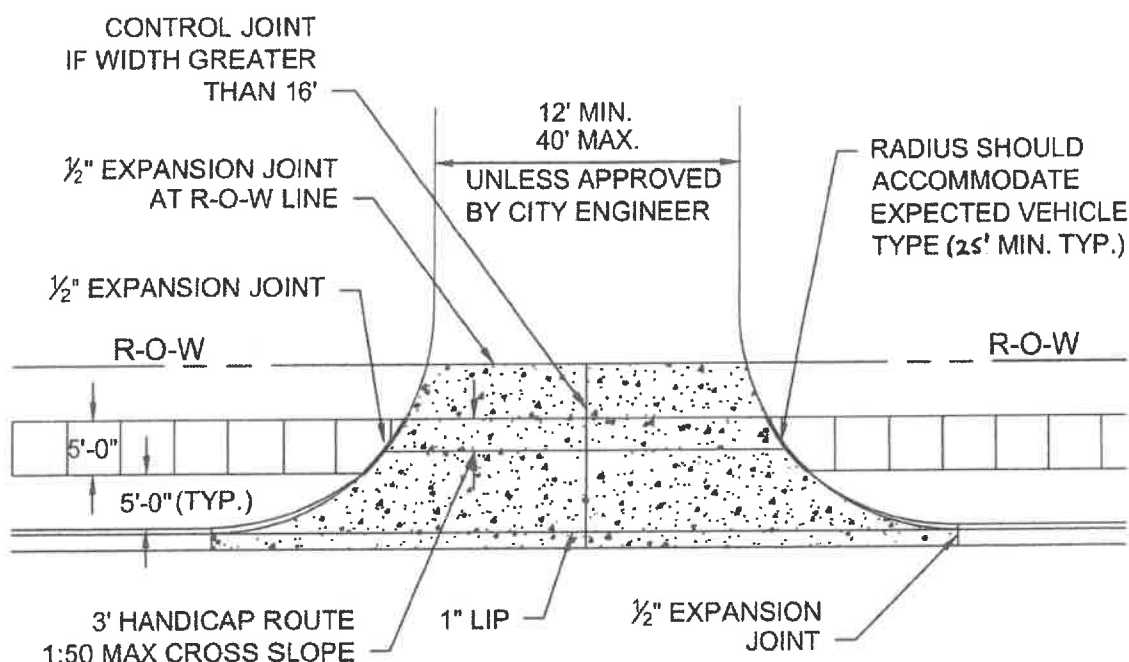
DATE: OCT., 2013

DESIGNED BY: DCW

DRAWN BY: CMC

SHEET NUMBER

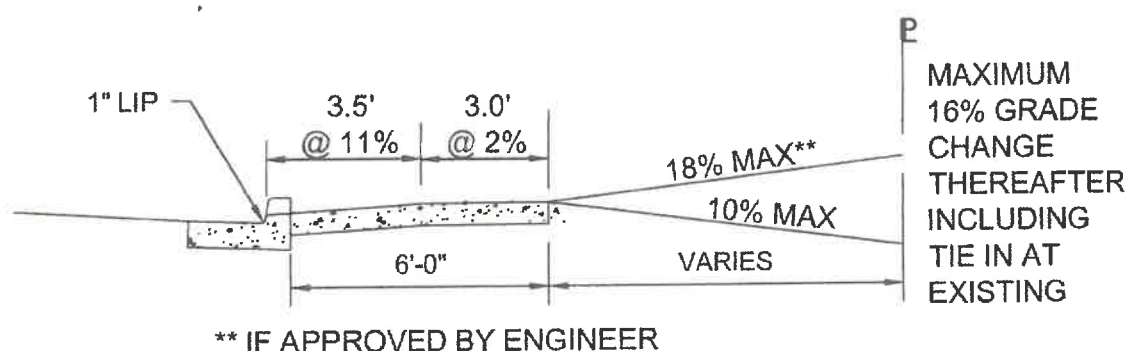
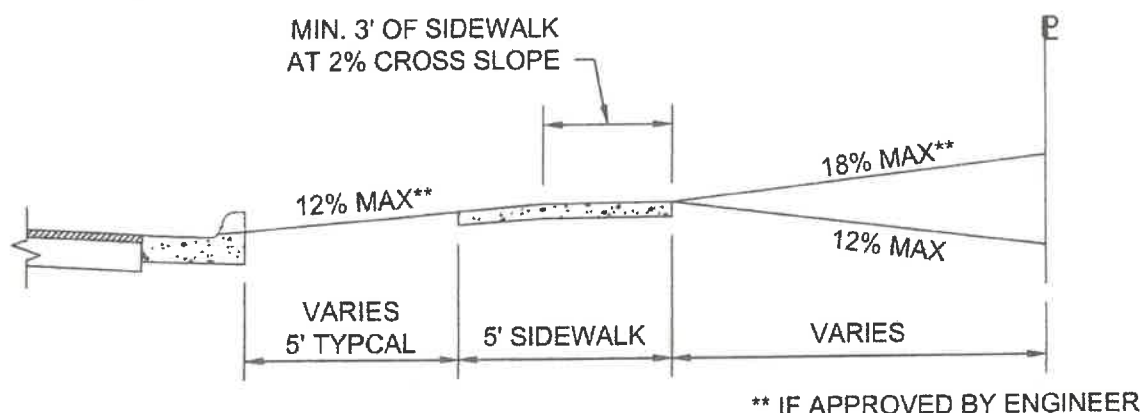
DR - 3A



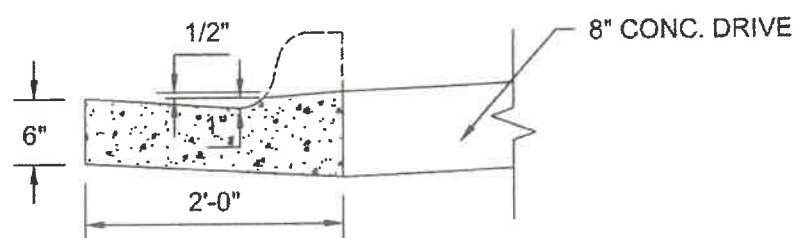
COMMERCIAL / INDUSTRIAL DRIVEWAYS

WITH SIDEWALKS

1. DRIVEWAY GRADES SHALL BE DESIGNED BY THE ENGINEER TO KEEP STORM WATER IN STREETS.
2. 2% MAXIMUM CROSS SLOPE AT SIDEWALKS.
3. MAXIMUM % OF GRADE CHANGE IS 16%.
4. CONCRETE THICKNESS AND REINFORCEMENT ARE REQUIRED FOR ANTICIPATED CONDITIONS & EXPECTED WHEEL LOADINGS.
5. AS A MINIMUM, DRIVEWAYS SHALL BE 8" THICK CONCRETE REINFORCED W/ 6x6xW4xW4 WELDED WIRE FABRIC (WWF) FLAT SHEETS PLACED 2 1/2" BELOW TOP OF CONCRETE FINISHED SURFACE.
6. CONTROL JOINTS REQUIRED ON ALL DRIVEWAYS AT 16' O.C. MAX. EACH WAY OR AS DIRECTED BY THE CITY ENGINEER. SUBMIT JOINT SEALING DETAIL TO THE CITY ENGINEER FOR APPROVAL.
7. CONCRETE SHALL HAVE A MINIMUM 4000 PSI COMPRESSIVE STRENGTH.
8. ALTERNATIVE DESIGNS SHALL BE SUBMITTED TO THE CITY ENGINEER FOR APPROVAL.



MAXIMUM GRADES FOR DRIVEWAYS WITH SIDEWALK



CURB AND GUTTER DETAIL

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MAXIMUM
DRIVEWAY
GRADES
w/SIDEWALKS

DATE: OCT., 2013

DESIGNED BY: DCW

DRAWN BY: CMC

SHEET NUMBER

DR-4A



CITY OF NORTH LITTLE ROCK
Public Works Department

NORTH LITTLE ROCK, AR 72114

500 WEST 13TH STREET

CITY OF NORTH LITTLE ROCK
STANDARD DETAILS

DRIVEWAY
DETAILS
WITHOUT
SIDEWALKS

DATE: OCT., 2013

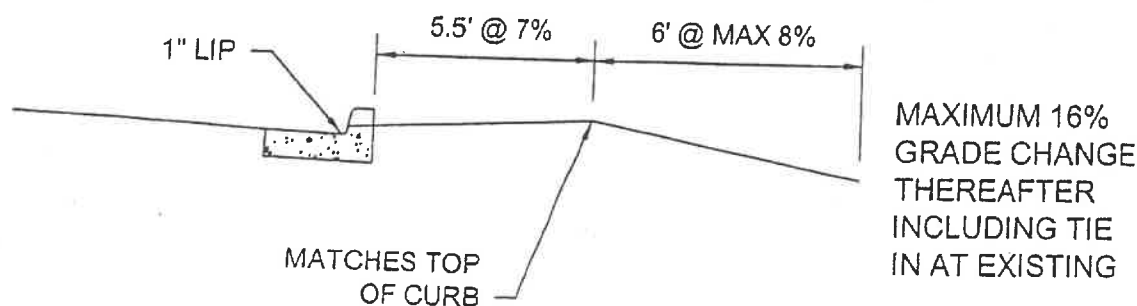
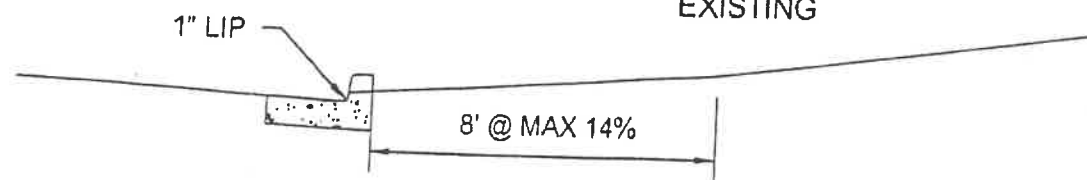
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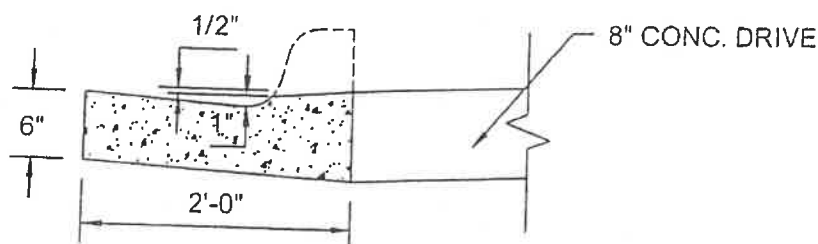
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DR-4B

MAXIMUM 16% GRADE
CHANGE THEREAFTER
INCLUDING TIE IN AT
EXISTING



MAXIMUM GRADES FOR DRIVEWAYS



CURB AND GUTTER DETAIL

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