

ORDINANCE NO. _____

AN ORDINANCE GRANTING A CONDITIONAL USE TO ALLOW AN ACCESSORY DWELLING UNIT IN AN R2 ZONE FOR CERTAIN REAL PROPERTY LOCATED AT 406 WEST 5TH STREET IN THE CITY OF NORTH LITTLE ROCK, ARKANSAS; DECLARING AN EMERGENCY; AND FOR OTHER PURPOSES.

WHEREAS, application was duly made by Woodgate Properties LLC, 406 West 5th Street, North Little Rock, Arkansas 72114, seeking a conditional use for property located at 406 West 5th Street to allow an accessory dwelling unit in an R2 zone, which application was duly considered and approved (8 affirmative votes; 1 absent) by the North Little Rock Planning Commission at a regularly scheduled meeting held on October 14, 2025 (see letter from applicant attached hereto as Exhibit A).

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF NORTH LITTLE ROCK, ARKANSAS:

SECTION 1: That a Conditional Use is approved for an accessory dwelling unit in an R2 zone for the subject real property located at 406 West 5th Street in the City of North Little Rock, Pulaski County, Arkansas, being more particularly described as Lot 3, Block 4 of Faucette's Addition to the City of North Little Rock, Pulaski County, Arkansas (See maps attached collectively hereto as Exhibit B).

SECTION 2: That this Conditional Use shall be subject to the following:

1. The proposed unit must meet all residential building codes listed in Chapter 4, Section 1.1.1 of the North Little Rock Municipal Code.
2. The units is proposed within an R2 Zoning District.
3. The unit is only permitted on the platted lot with the one existing owner occupied single-family dwelling unit.
4. The unit will be permitted on platted lot with less than 9,000 square feet.
5. The unit is to be located in the rear yard of the platted lot.
6. The unit will be located ten feet from any other structure or property line.
7. The lot coverage with the ADU and the pool is permitted to exceed 50 percent of the rear yard buildable area.
8. The ADU is permitted as a two-story structure designed and constructed for the intended use as an accessory dwelling unit and must contain kitchen and bath facilities to facilitate habitation independent from the principal building.
9. The units is limited to an occupancy of one family.
10. There is to be only one accessory dwelling unit per platted lot.
11. Utilities are to be provided, natural gas, water, wastewater and electric, metered with the owner occupied single-family dwelling unit.

SECTION 3: That all ordinances or parts of ordinance in conflict herewith are hereby repealed to the extent of the conflict.

SECTION 4: That the provisions of this Ordinance are hereby declared to be severable and if any section, phrase or provision shall be declared or held invalid, such invalidity shall not affect the remainder of the sections, phrases or provisions.

SECTION 5: It is hereby found and determined that the conditional use as described herein is compatible with other businesses in the area and is immediately necessary in order to insure the proper and orderly growth and development of this land and of the City of North Little Rock, Arkansas, and being necessary for the immediate preservation of the public health, safety and welfare, THEREFORE, an emergency is hereby declared to exist and this Ordinance shall be in full force and effect from and after its passage and approval.

PASSED:

APPROVED:

Mayor Terry C. Hartwick

SPONSOR:

ATTEST:

Linda Robinson

Council Member Linda Robinson

Diane Whitbey, City Clerk

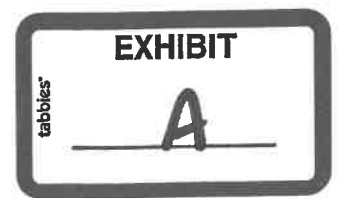
APPROVED AS TO FORM:

Amy Beckman Fields

Amy Beckman Fields, City Attorney

PREPARED BY THE OFFICE OF THE CITY ATTORNEY/kt

FILED	<u>11:18</u>	A.M.	_____	P.M.
By	<u>Mary Miller</u> <u>140</u>			
DATE	<u>11-21-25</u>			
Diane Whitbey, City Clerk and Collector North Little Rock, Arkansas				
RECEIVED BY	<u><i>[Signature]</i></u>			



Woodgate Properties LLC
406 W 5th Street
North Little Rock, AR 72114

Please accept this application request for a Conditional Use to allow the placement of an accessory dwelling unit on our property. The attached elevations and site plan indicate the details of the request.

Respectfully submitted,

Kerry Welch

Kerry Welch

**LOT 3, BLOCK 4
FAUCETTE'S ADDITION**

PROJECT ADDRESS
408 WEST 5TH ST.
NORTH LITTLE ROCK, AR 72114

spaces
above

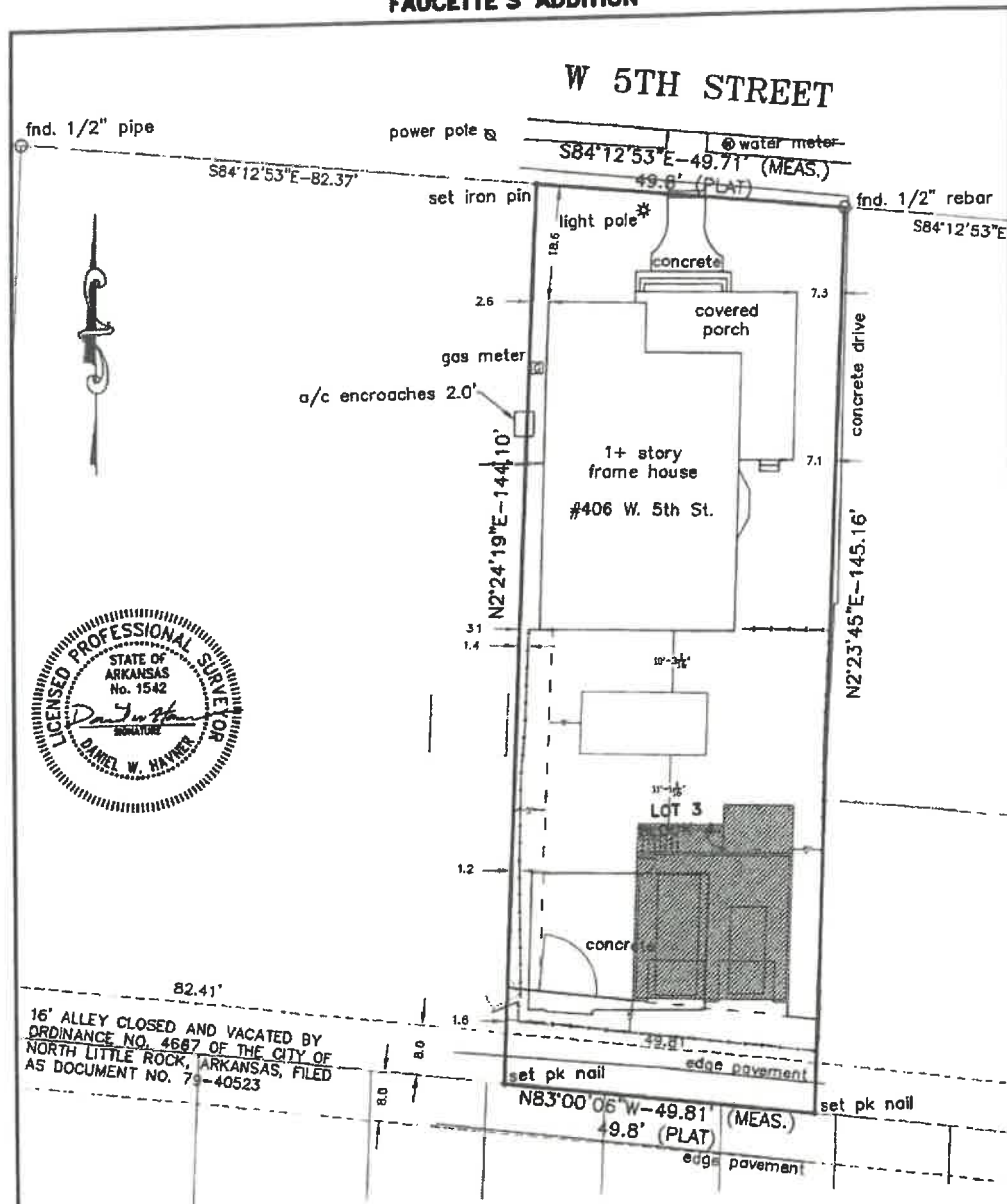
PROJECT DESCRIPTION:
KERRY WELCH

SHEET TITLE:
FIRST FLOOR PLAN

SCALE:
1/4" = 1'-0"

DATE:
08/28/2025

A1



LEGAL DESCRIPTION

LOT 3, BLOCK 4, FAUCETTE'S ADDITION TO THE CITY OF NORTH LITTLE ROCK, PULASKI COUNTY, ARKANSAS.
AND
THE N1/2 OF A STRIP OF LAND FORMERLY AN ALLEY THAT IS ABUTTING AND CONTIGUOUS OF LOT 3, BLOCK 4, FAUCETTE'S ADDITION TO THE CITY OF NORTH LITTLE ROCK, PULASKI COUNTY, ARKANSAS AND WAS CLOSED AND VACATED BY ORDINANCE NO. 4667 OF THE CITY OF NORTH LITTLE ROCK, ARKANSAS FILED AS DOCUMENT NUMBER 79-40523, RECORDS OF PULASKI COUNTY, ARKANSAS.

I HEREBY CERTIFY THAT I HAVE SURVEYED THE ABOVE DESCRIBED PROPERTY IN THE CITY OF NORTH LITTLE ROCK, PULASKI COUNTY, ARKANSAS. PROPERTY LINES ARE LOCATED IN ACCORDANCE WITH ESTABLISHED PROPERTY LINES. THERE ARE NO APPARENT ENCROACHMENTS EXCEPT AS SHOWN.

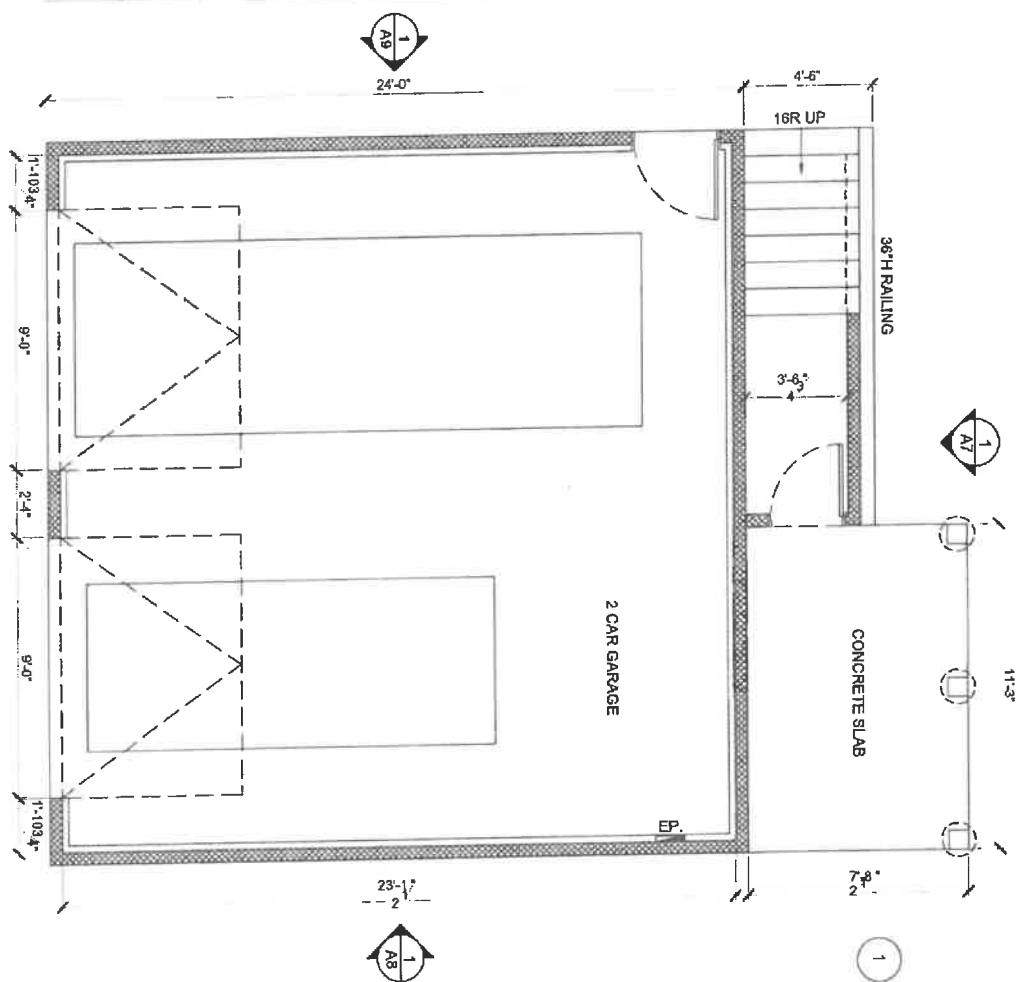
NO PORTION OF THIS PROPERTY IS WITHIN THE 100 YEAR FLOOD BOUNDARY AS SHOWN ON THE RECORDED PLAT.

FOR USE & BENEFIT OF: WOODSGATE PROPERTIES LLC

D:\DWG\2024\24-1400 - Lot 3 Block 4 Faucette Addition\survey.dwg

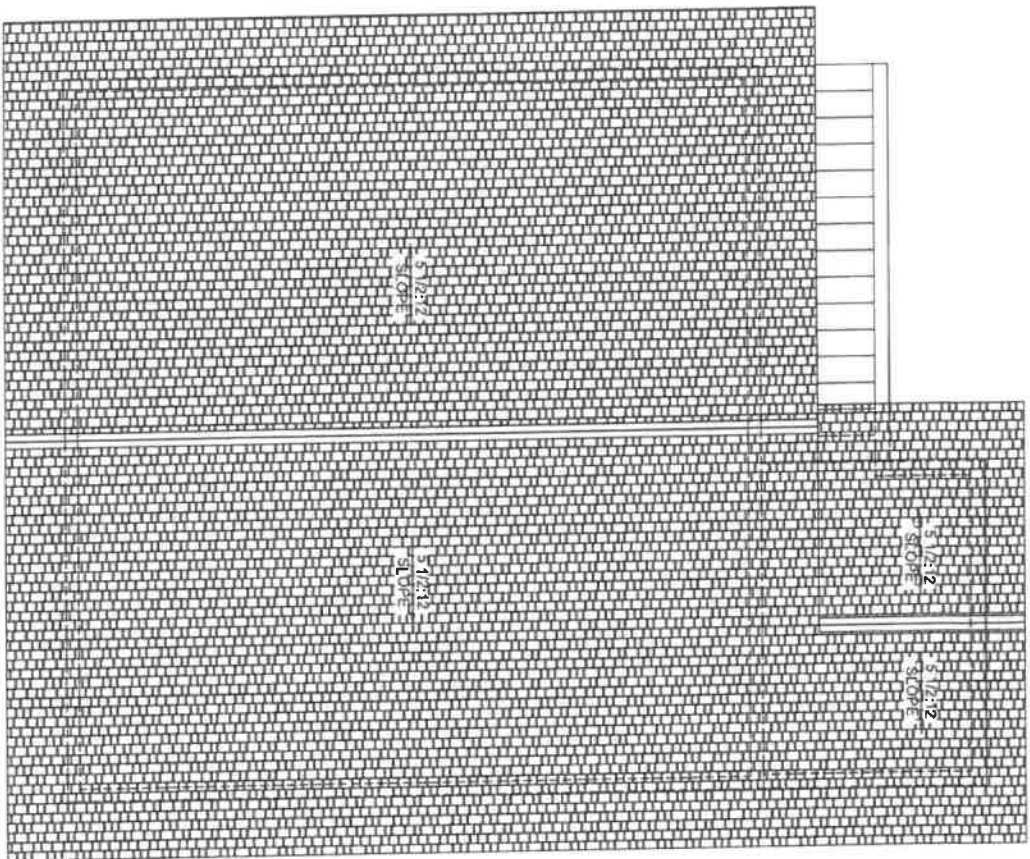
JOE WHITE & ASSOCIATES, INC. CIVIL ENGINEERING - CONSULTING SERVICES - LAND SURVEYING 25 RAHLING CIRCLE SUITE 201 - LITTLE ROCK, ARKANSAS 72203 PHONE: (501) 214-4141	
DATE:	3-29-24
SCALE:	1" = 20'
JOB NUMBER:	24-1400

	2x6 WOOD STUD EXTERIOR WALL. SEE DETAIL 3/A10
	2x4 WOOD STUD INTERIOR WALL. SEE DETAIL 2/A10
	CONCRETE WALL
	CONCRETE FLOOR
	HARDWOOD FLOORING
	TILE FLOORING
	COUNTERTOP



1 FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"

PROJECT ADDRESS 408WEST15TH ST. NORTH LITTLE ROCK, AR 72114		 spaces 21ove		PROJECT DESCRIPTION: KERRY WELCH		SHEET TITLE: FIRST FLOOR PLAN		SCALE: AS NOTED		DATE: 08.28.2025		A2



1 ROOF PLAN
SCALE: 1/4" = 1'-0"

PROJECT ADDRESS
486WEST15TH ST.
NORTH LITTLE ROCK, AR 72114

spaces
210ve

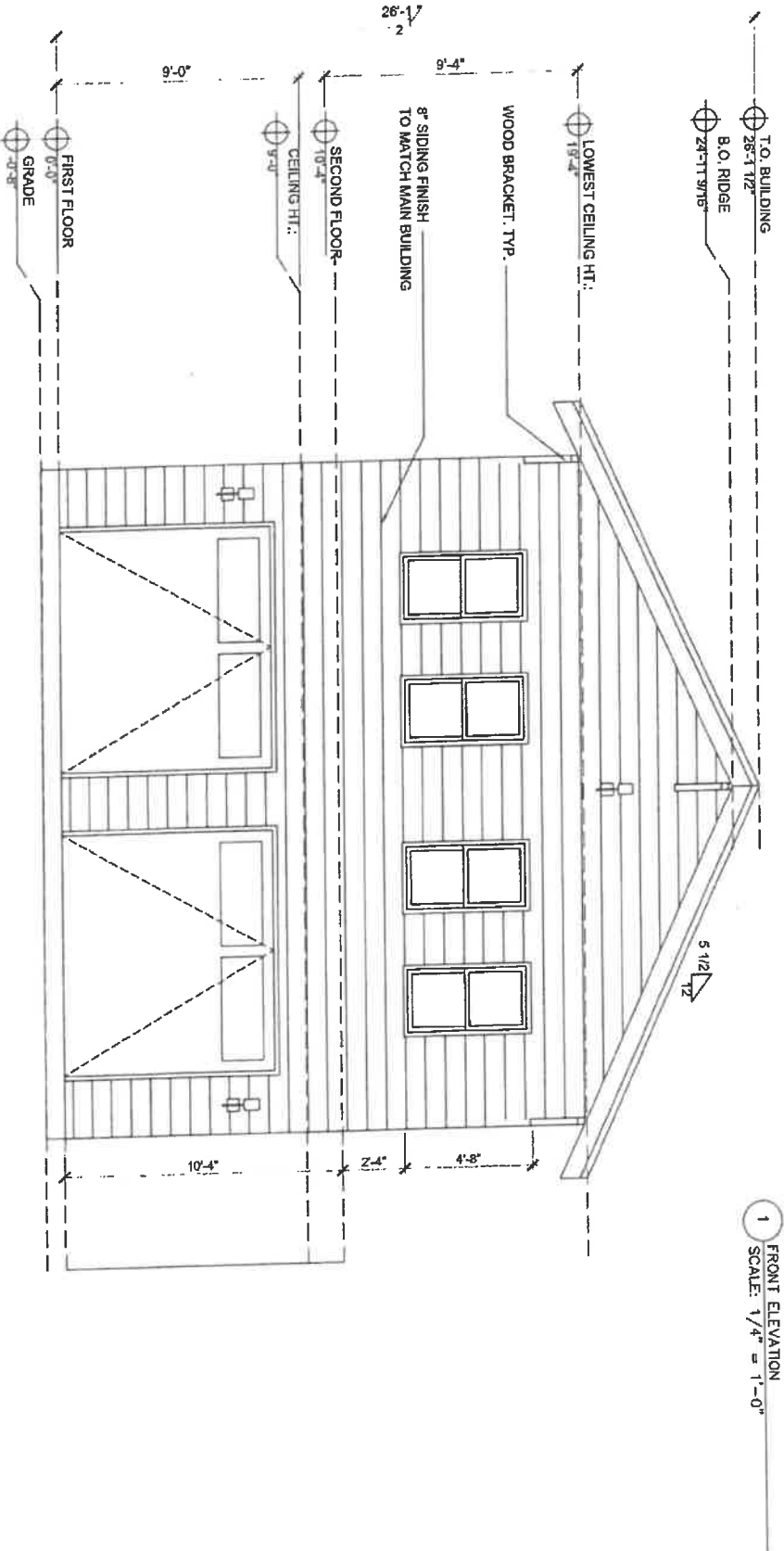
PROJECT DESCRIPTION:
KERRY WELCH

SHEET TITLE:
ROOF PLAN & WALL DETAILS

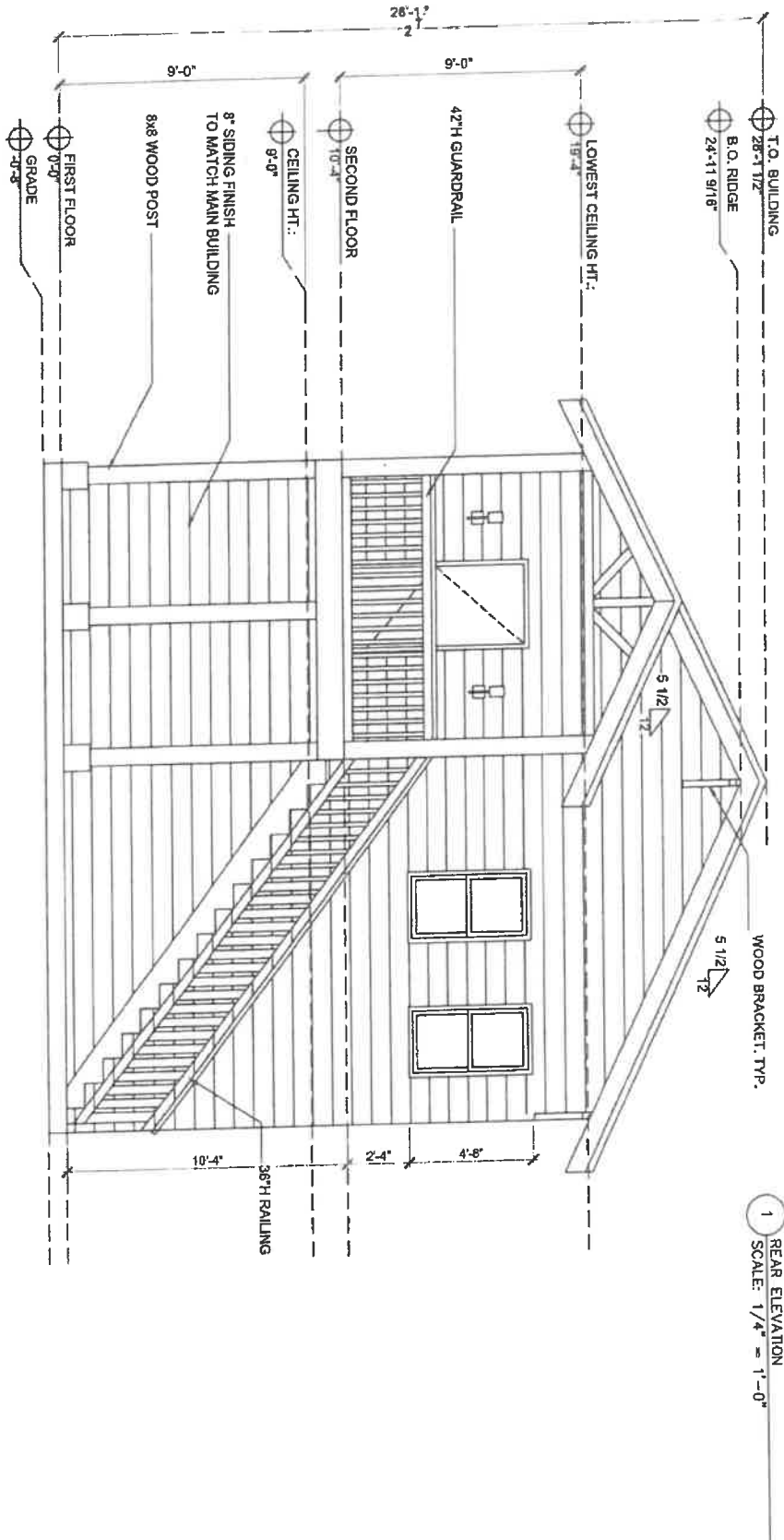
SCALE:
AS NOTED

DATE:
08.28.2025

A4

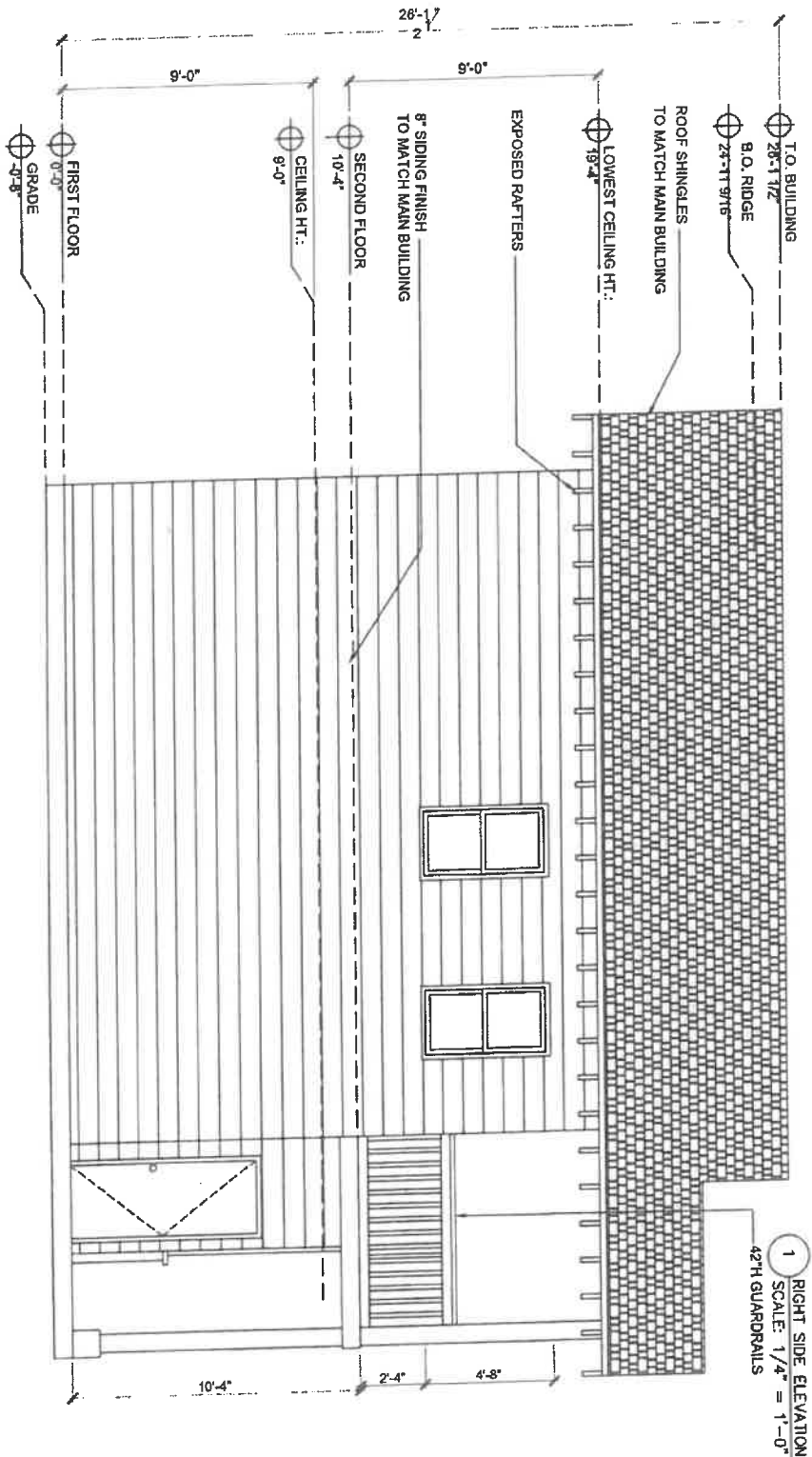


PROJECT ADDRESS 406WEST15TH ST NORTH LITTLE ROCK, AR 72114	spaces 210ve	PROJECT DESCRIPTION: KERRY WELCH	SHEET TITLE: FRONT ELEVATION	SCALE: AS NOTED	DATE: 08.28.2025	A5
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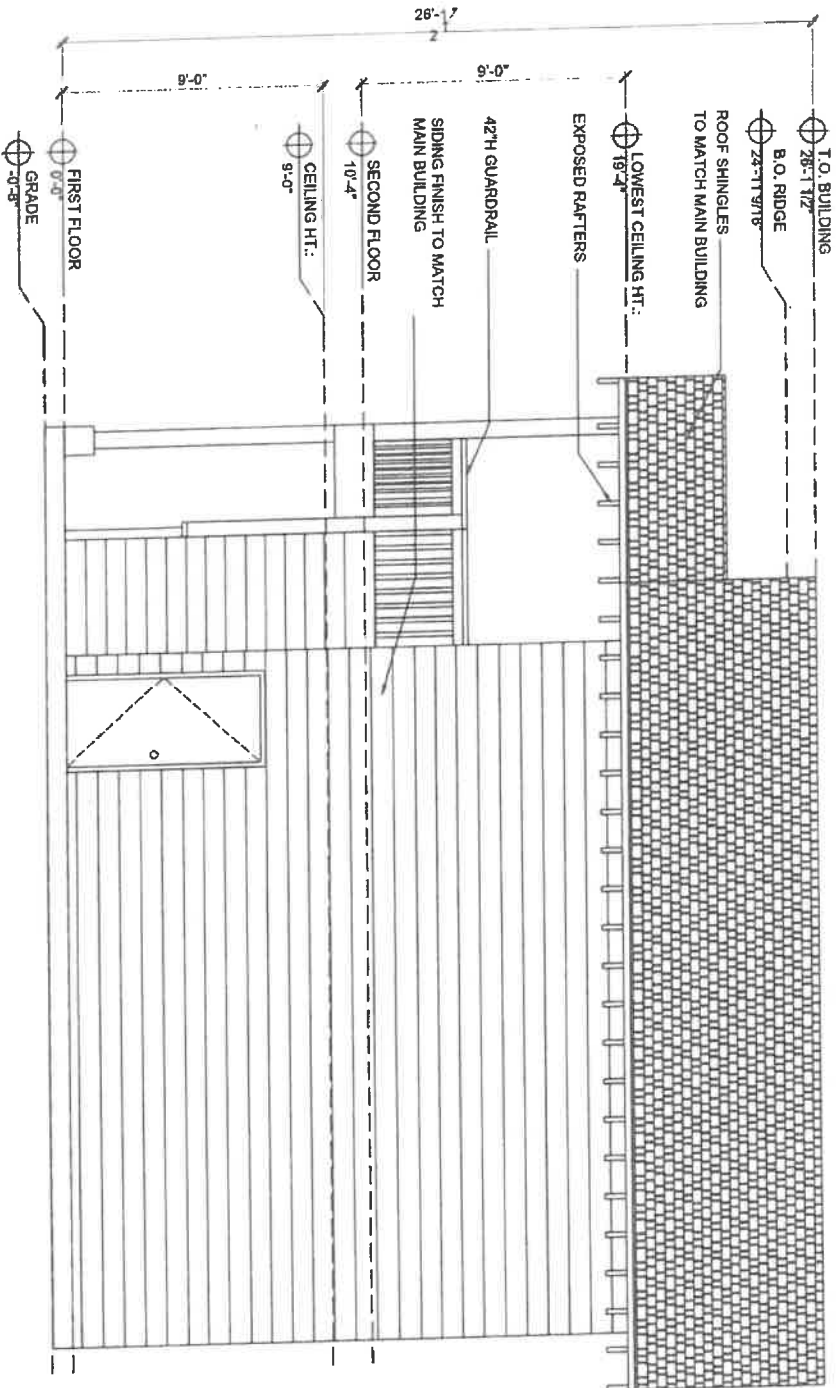


1 REAR ELEVATION
SCALE: 1/4" = 1'-0"

PROJECT ADDRESS 406 WEST 11TH ST. NORTH LITTLE ROCK, AR 72114	spoces 210ve	PROJECT DESCRIPTION: KERRY WELCH	SHEET TITLE: REAR ELEVATION	SCALE: AS NOTED	DATE: 08.28.2025	A6
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PROJECT ADDRESS 409 WEST 5TH ST NORTH LITTLE ROCK, AR 72114	 spooes 2love	PROJECT DESCRIPTION: KERRY WELCH	SHEET TITLE: RIGHT SIDE ELEVATION	SCALE: AS NOTED	DATE: 08.28.2025	A7
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1 LEFT SIDE ELEVATION
SCALE: 1/4" = 1'-0"

PROJECT ADDRESS
400 WEST 5TH ST,
NORTH LITTLE ROCK, AR 72114

spoces
210ve

PROJECT DESCRIPTION:
KERRY WELCH

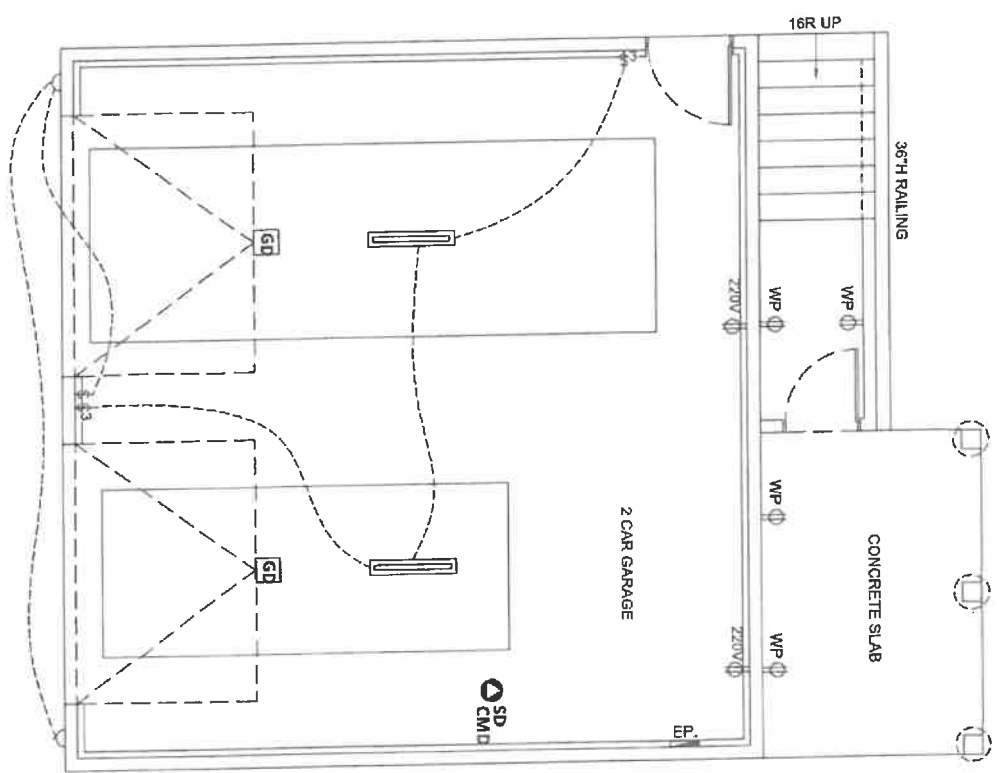
SHEET TITLE:
LEFT SIDE ELEVATION

SCALE:
AS NOTED

DATE:
08.28.2025

A8

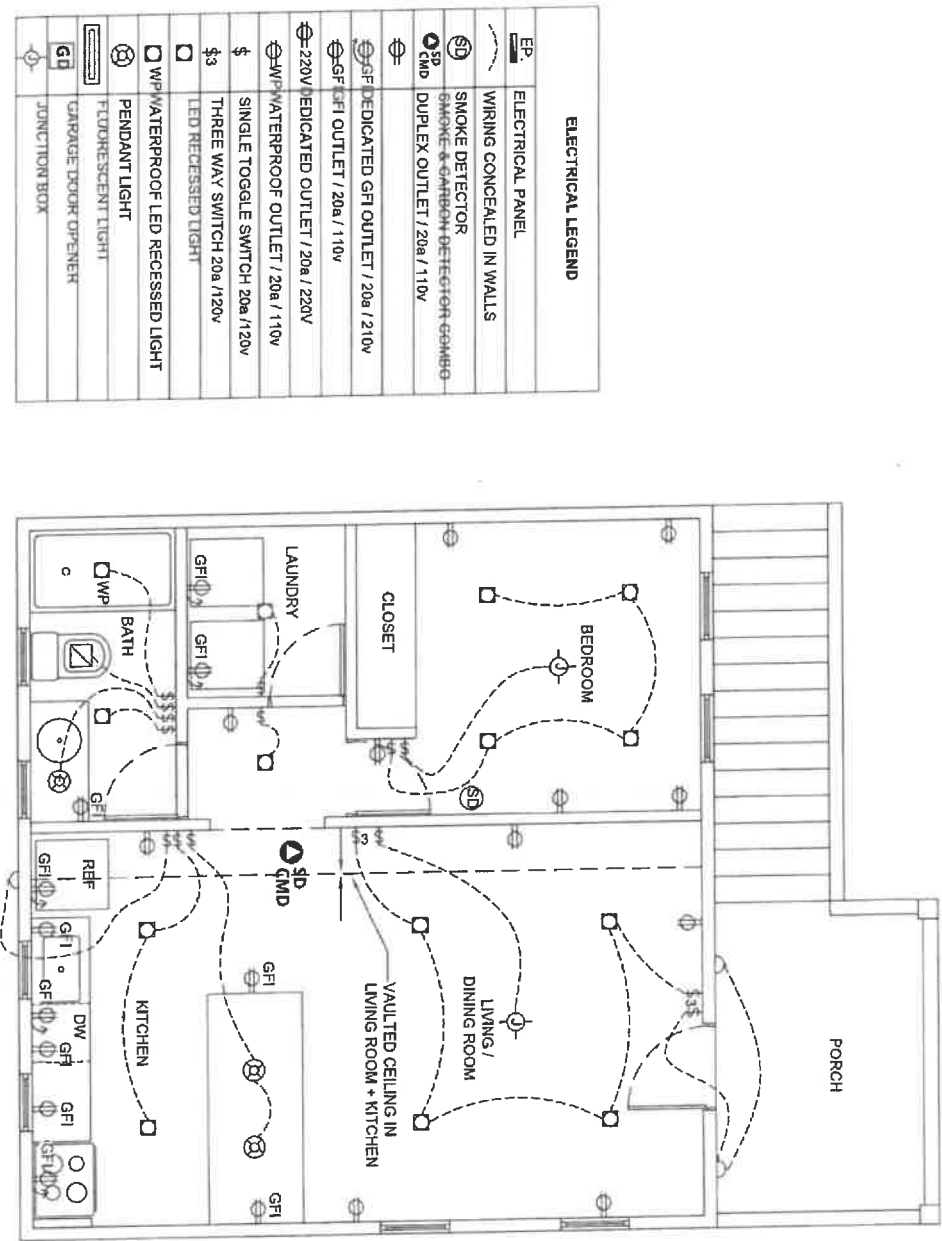
1 FIRST FLOOR PLAN -
SCALE: 1/4" = 1'-0"



ELECTRICAL LEGEND	
EP	ELECTRICAL PANEL
W	WIRING CONCEALED IN WALLS
SD	SMOKE DETECTOR
SD CMD	SMOKE & CARBON DETECTOR COMBO
GF	GROUND FAULT OUTLET / 20A / 110V
GF/AF	GROUND FAULT / ARC FAULT OUTLET / 20A / 110V
GF/AF	GROUND FAULT / ARC FAULT OUTLET / 20A / 220V
WP	WATERPROOF OUTLET / 20A / 110V
WP	WATERPROOF OUTLET / 20A / 220V
\$	SINGLE TOGGLE SWITCH 20A / 120V
\$3	THREE WAY SWITCH 20A / 120V
□	LED RECESSED LIGHT
□ WP	WATERPROOF LED RECESSED LIGHT
⊗	PENDANT LIGHT
⊗	FLOURESCENT LIGHT
GD	GARAGE DOOR OPENER
⊕	JUNCTION BOX

PROJECT ADDRESS 406 WEST 15TH ST, NORTH LITTLE ROCK, AR 72114		PROJECT DESCRIPTION: KERRY WELCH		SHEET TITLE: FIRST FLOOR ELECTRICAL PLAN		SCALE: AS NOTED	DATE: 08.26.2025	A9
spaces 210V								

1 SECOND FLOOR PLAN -
TOTAL AREA = 1'-0"



PROJECT ADDRESS		PROJECT DESCRIPTION:		SHEET TITLE:		SCALE:		DATE:		A10
406WEST5TH ST, NORTH LITTLE ROCK, AR 72114		KERRY WELCH		FIRST FLOOR ELECTRICAL PLAN		AS NOTED		08.28.2025		
spaces 2love										

Conditional Use # 2025-09

EXHIBIT

tabbies

B



Ortho Map

1 inch = 20 feet

0 10 20 40 Feet



Date: 9/22/2025

Map is not to survey accuracy

Conditional Use # 2025-09



Zoning Map

1 inch = 100 feet



Date: 9/22/2025

Map is not to survey accuracy

**LOT 3, BLOCK 4
FAUCETTE'S ADDITION**

PROJECT ADDRESS
408 WEST 5TH ST
NORTH LITTLE ROCK, AR 72114

spaces
2 above

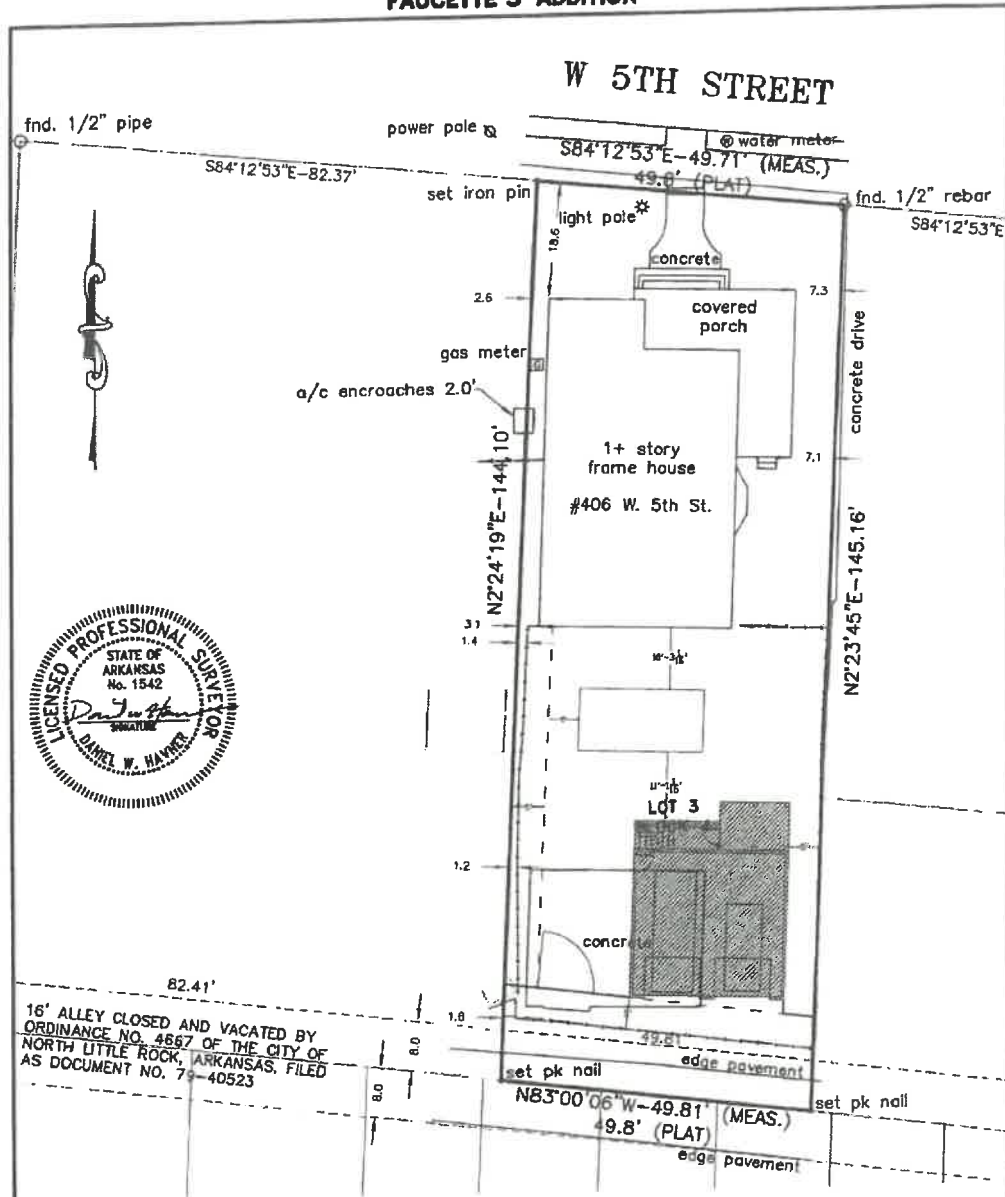
PROJECT DESCRIPTION:
KERRY WELCH

SHEET TITLE:
FIRST FLOOR PLAN

SCALE:
1/8" = 1'-0"

DATE:
08.28.2025

A1



LEGAL DESCRIPTION

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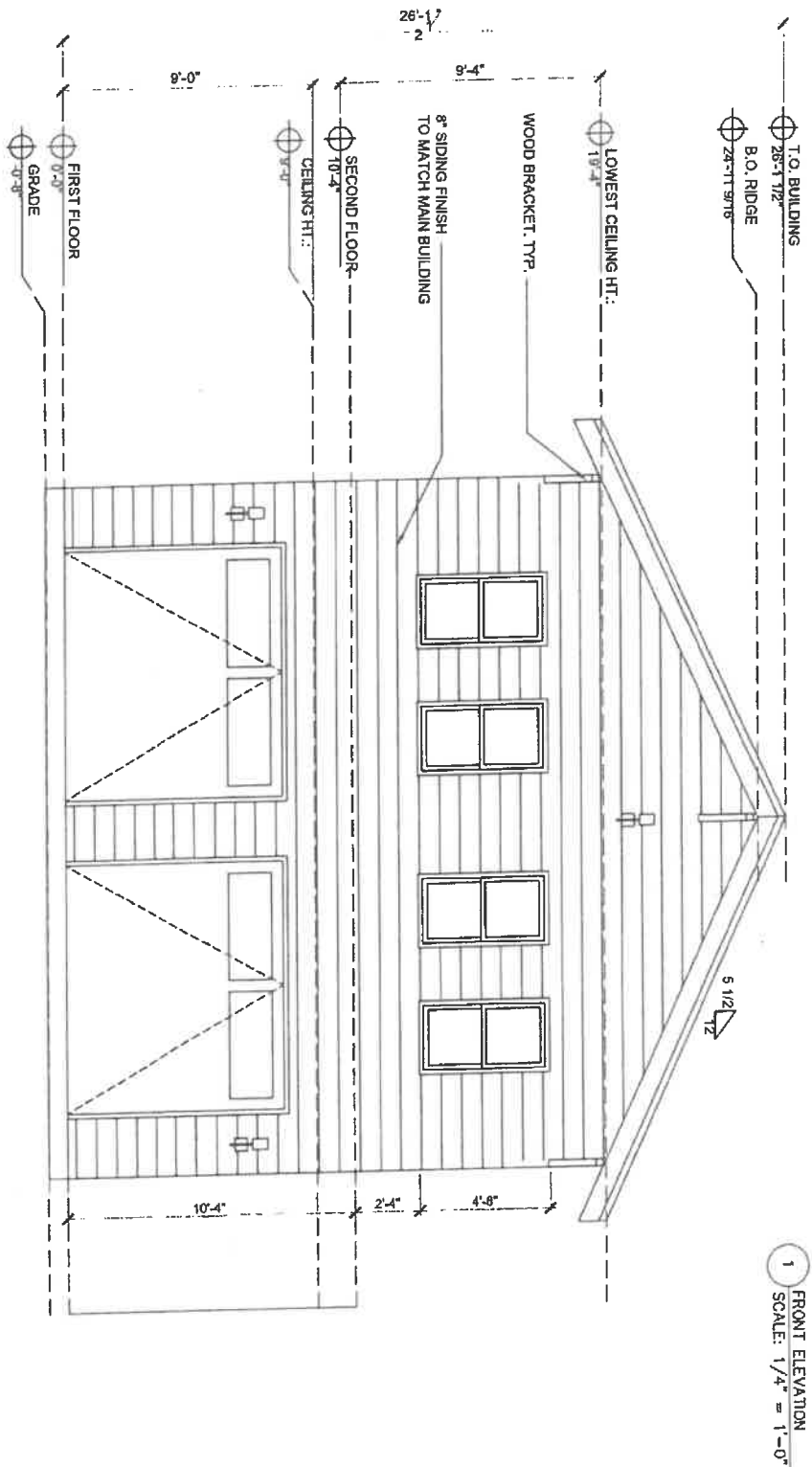
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FOR USE & BENEFIT OF: WOODSCAPE PROPERTIES LLC

G:\DWC\2024\24-1400 - Lot 3 Block 4 Faucette's Addition\survey.dwg

JOE WHITE & ASSOCIATES, INC. CIVIL ENGINEERING - CONSULTING SERVICES - LAND SURVEYING 23 EARLING CIRCLE, SUITE A23 LITTLE ROCK, ARKANSAS 72203 PHONE: (501) 214-4141	
DATE:	3-29-24
SCALE:	1" = 20'
JOB NUMBER:	24-140D



1 FRONT ELEVATION
SCALE: 1/4" = 1'-0"

PROJECT ADDRESS
406 WEST 15TH ST.
NORTH LITTLE ROCK, AR 72114

spaces
2love

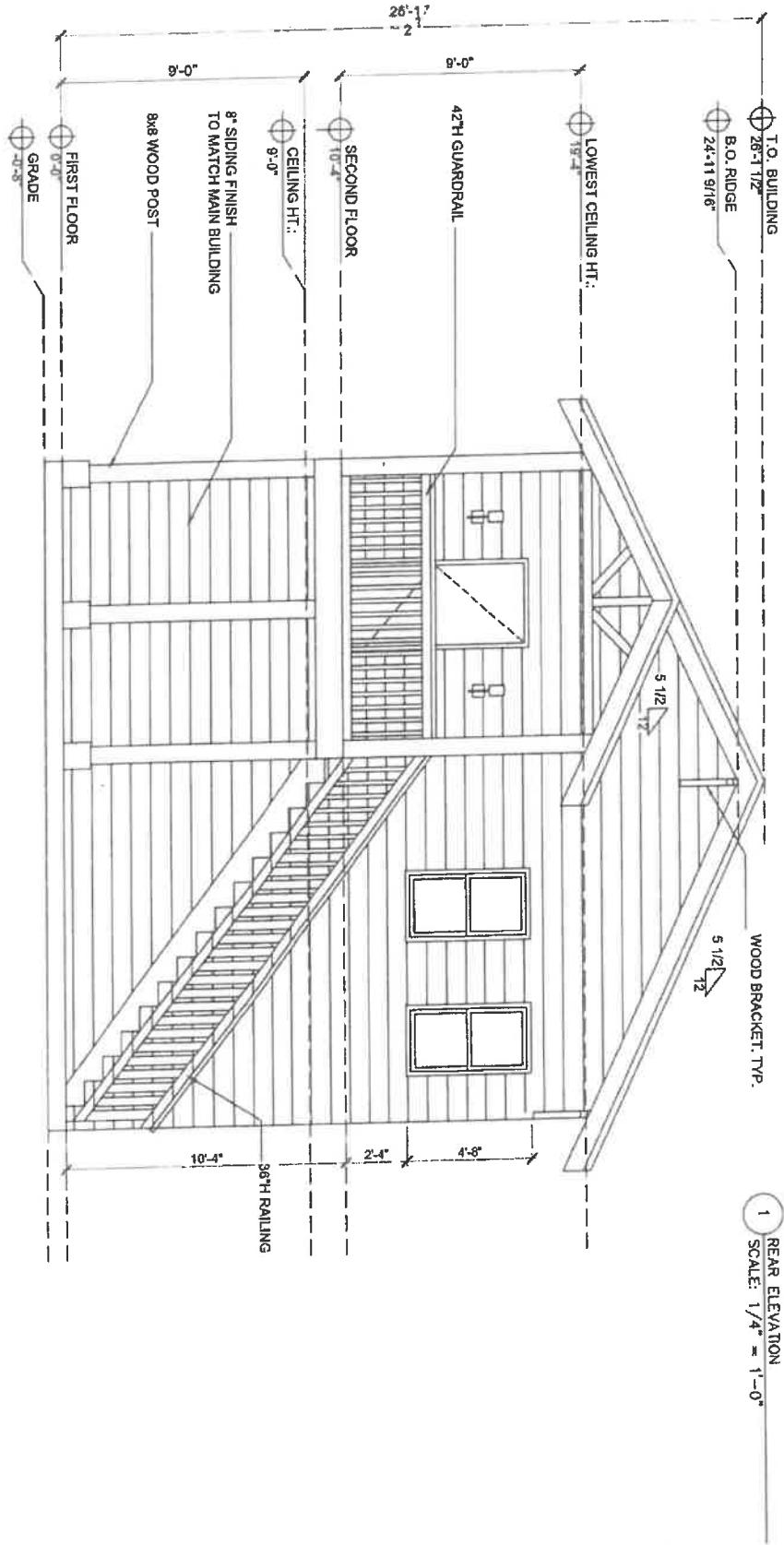
PROJECT DESCRIPTION:
KERRY WELCH

SHEET TITLE:
FRONT ELEVATION

SCALE:
AS NOTED

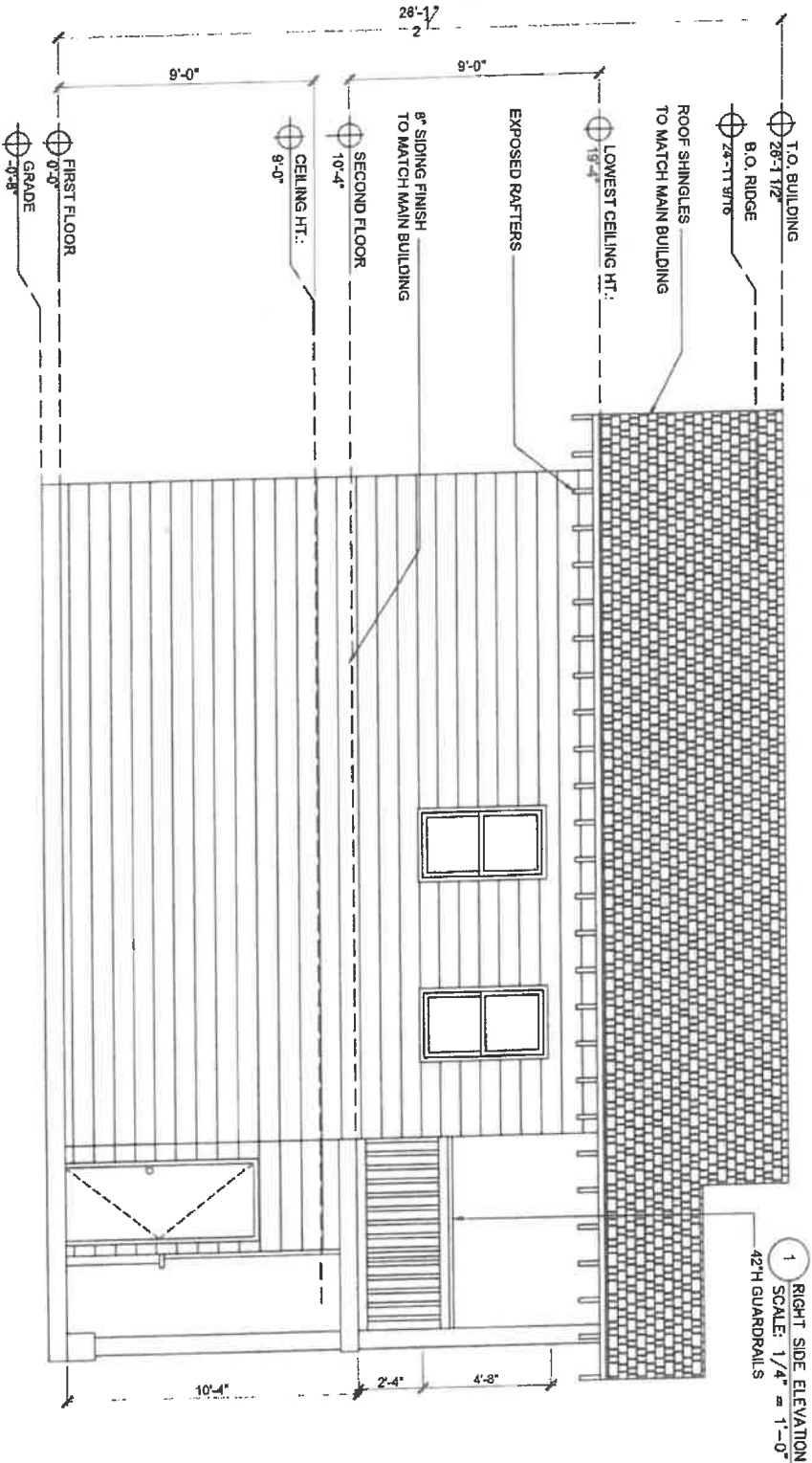
DATE:
08.28.2025

A5



1 REAR ELEVATION
SCALE: 1/4" = 1'-0"

PROJECT ADDRESS 46W157TH ST. NORTH LITTLE ROCK, AR 72114	spaces 2love	PROJECT DESCRIPTION: KERRY WELCH	SHEET TITLE: REAR ELEVATION	SCALE: AS NOTED	DATE: 08.28.2025
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PROJECT ADDRESS
408 WEST 17TH ST.
NORTH LITTLE ROCK, AR 72114

spoces
2love

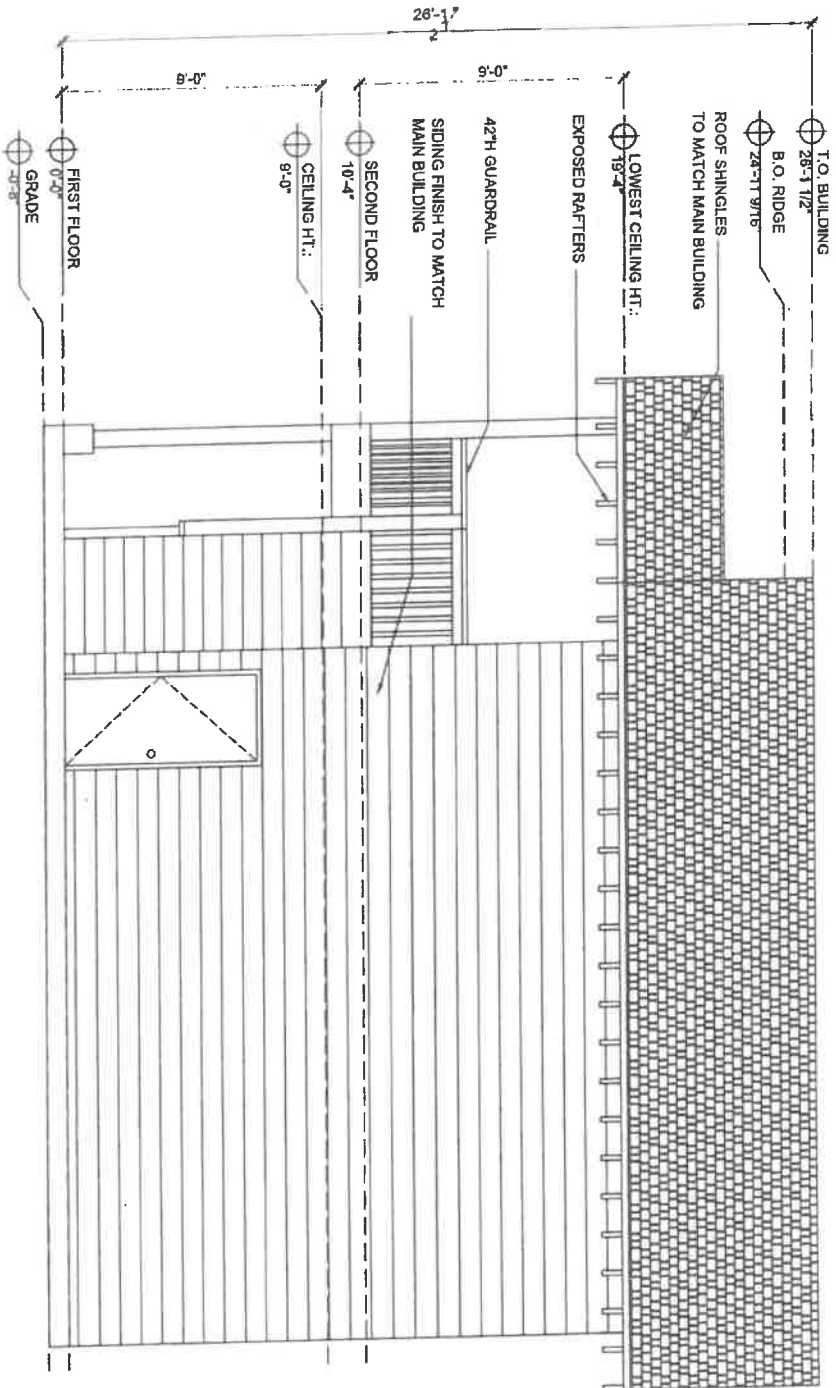
PROJECT DESCRIPTION:
KERRY WELCH

SHEET TITLE:
RIGHT SIDE ELEVATION

SCALE:
AS NOTED

DATE:
08.28.2025

A7



1 LEFT SIDE ELEVATION
SCALE: 1/4" = 1'-0"

PROJECT ADDRESS 406 WEST 13TH ST NORTH LITTLE ROCK, AR 72114	spoces 210ve	PROJECT DESCRIPTION: KERRY WELCH	SHEET TITLE: LEFT SIDE ELEVATION	SCALE: AS NOTED	DATE: 08.28.2025	A8
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