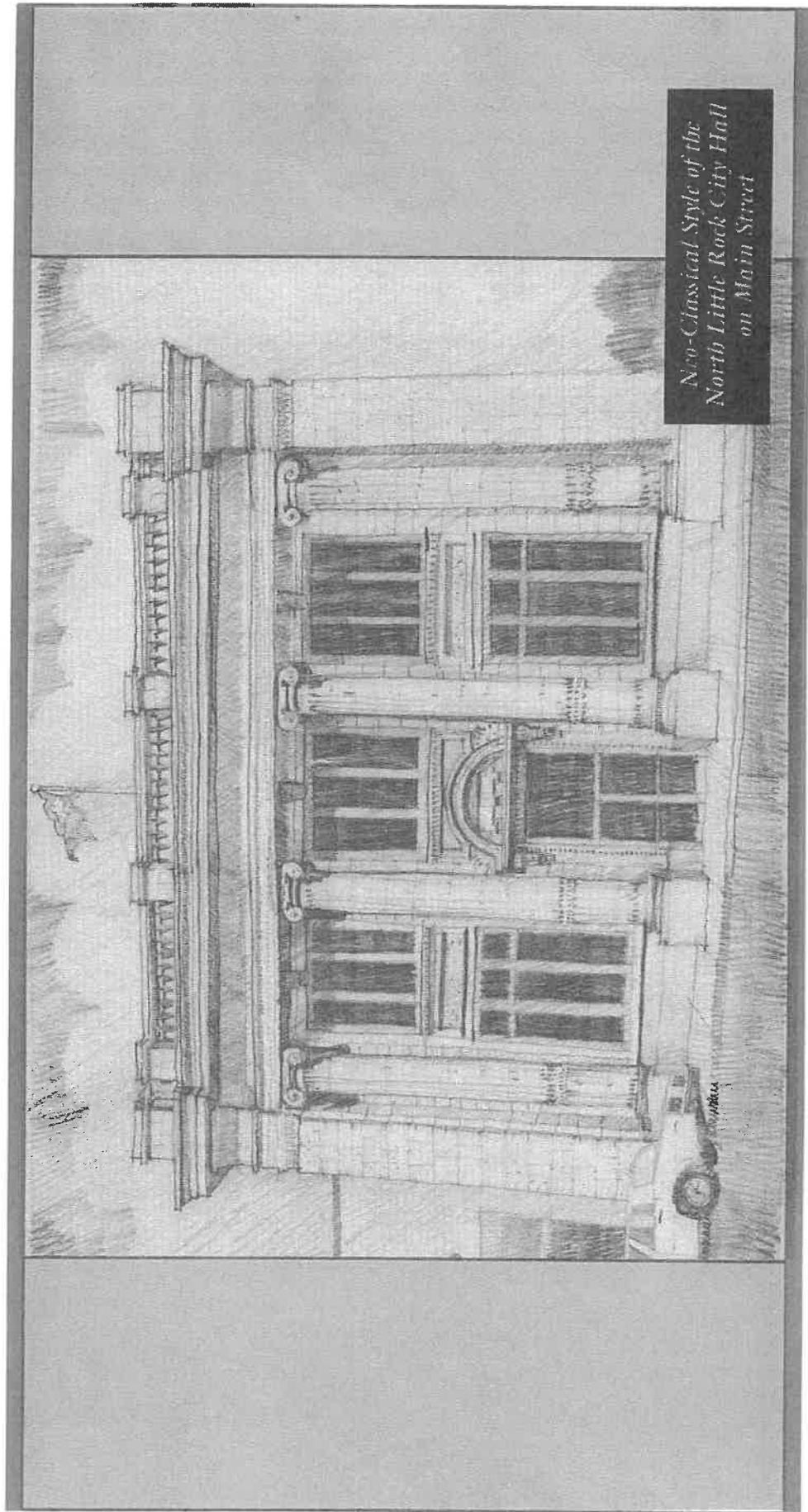


North Little Rock Historic District Commission

DESIGN GUIDELINES

*A Guide to Rehabilitation & New Construction
in the Argenta Historic District*



*Neo-Classical Style of the
North Little Rock City Hall
on Main Street*

*A Guide to Rehabilitation & New Construction
in the Argenta Historic District*



CREDITS

City of North Little Rock

Mayor Patrick Henry Hays

North Little Rock City Council

NORTH LITTLE ROCK
HISTORIC DISTRICT COMMISSION

Greg Yielding, Chairman

Mary Emma Hess, Vice-Chairman

Rosemary Hamel, Secretary

Curtis Sykes, Treasurer

Gary Clements

Fern Davidson

Val Henry

Margaret Tenner

WRITTEN & COMPILED BY

Sandra Taylor Smith

*Preservation Consultant
to the City of North Little Rock*

ILLUSTRATIONS

Vince Poellot

GRAPHIC PRODUCTION

N. Angela Norton/Artworks

PRINT PRODUCTION

A&P Printing



TABLE OF CONTENTS

Introduction	1	Guideline Chart	19	33. Retainer Walls	33
Application Process	2, 3	Design Guidelines	20-36	34. Roofs	33
Review Process	3	1. Additions	20	35. Satellite Dishes	33
Historical Overview of the Argenta Historic District	4-6	2. Ancillary Structures (existing & new)	20	36. Screens (doors, window & porch screens)	33
Map of the Argenta Historic District	7	3. Architectural Details & Features	20	37. Security Doors & Windows	33
Architecture of the Argenta Historic District	8-16	4. Awnings	21	38. Sidewalks	33
1. Italianate	8	5. Brick & Masonry	21	39. Siding	34
2. Queen Anne	9	6. Chimneys	22	40. Shutters	34
3. Colonial Revival	9	7. Codes	22	41. Signs	34, 35
4. Dutch Colonial Revival	10	8. Commercial Buildings	22-24	42. Skylights	35
5. Formal Colonial Revival	10	9. Carb Cuts	24	43. Solar Collectors	35
6. Classical Revivals	11	10. Decks	24	44. Staircases	35
7. Prairie	12	11. Demolition	24	45. Steps & Walks	35
8. Craftsman	12	12. Doors	25	46. Storm Windows & Doors	35
9. Craftsman Bungalow	13	13. Driveways	25	47. Swimming Pools	35
10. Spanish Revival	13	14. Fences & Walls	25, 26	48. Vacant Lots	35
11. English/Tudor Revival	14	15. Fire Escapes	26	49. Walls	35
12. Minimal Traditional	14	16. Foundations & Walls	26	50. Windows	36
13. International	15	17. Garbage Collectors	26	51. Wood	36
14. Vernacular	15	18. Gutters	26		
15. Nineteenth Century Commercial	16	19. Handicapped Access Ramps	26	APPENDIX A	
16. Twentieth Century Commercial	16	20. Landscaping	27	Sample Certificate of Appropriateness (COA) Application	37
Philosophy of Design Review	17	21. Lighting	28		
Secretary of the Interior's Standards for Rehabilitation	18	22. Maintenance	28, 29	APPENDIX B	
		23. Material Changes	30	Glossary of Terms	38-43
		24. Mechanical Systems	30		
		25. Moving Buildings	30	Additional Notes (Blank Page)	44
		26. New Construction	31		
		27. Non-Historic Buildings	31		
		28. Paint Colors	31		
		29. Parks & Playgrounds	32		
		30. Parking & Parking Lots	32		
		31. Paving	32		
		32. Porches	32		

INTRODUCTION

PURPOSE OF DESIGN GUIDELINES

The purpose of this manual is to provide information about the kinds of renovation work and new construction that may be approved by the North Little Rock Historic District Commission for the Argenta Historic District. As a communication tool between the North Little Rock Historic District Commission and the public, these design guidelines describe the context of North Little Rock's historic Argenta neighborhood in terms of its history and architectural styles. Also, the guidelines describe in some detail the building elements that are important to each architectural style in the district and suggest a variety of solutions for rehabilitation and new construction that might best preserve the historic character of the district. The philosophy of the North Little Rock Historic District Commission is defined by these design guidelines.

Design review guidelines help insure that changes in the Argenta Historic District will be in keeping with the original historic character of the neighborhood. They are based on design principles and preservation standards used by historic district commissions across the country and by state and federal government standards for rehabilitation of historic buildings.

The guidelines apply only to the exterior of properties and are intended to protect the historic character of an area as a whole as well as the individual buildings within. Guidelines are also provided for new construction within an historic district so that any new building will relate to the existing historic streetscapes.

Neighborhoods throughout the country which have adopted ordinance historic districts and design guidelines have generally seen stabilization or increases in property and resale values. These guidelines assist property owners, residents, contractors and others in understanding how best to maintain and preserve historic structures and guide new construction.

Preserving historic resources makes good economic sense. Vital and attractive inner city neighborhoods promotes a city's overall quality of life and illustrates its commitment to its heritage and identity. Design review maintains and enhances this character.

LOCAL ORDINANCE HISTORIC DISTRICT

The Argenta Historic District was listed on the National Register of Historic Places in May, 1993. As North Little Rock's first National Register district and because of its historic and visual impact on the city, a local historic district was established on December 27, 1993 to protect and rehabilitate the area.

This local historic district means that an additional approval, beyond the normal building permit, is required for most exterior changes to properties in the district. Approval for projects is granted by the North Little Rock Historic District Commission, a review board which administers the historic building regulations for the city. Approvals are granted by the Commission through issuance of a Certificate of Appropriateness (COA). A chart is included on page 19 which shows types of work requiring a COA from the North Little Rock Historic District Commission.

ASSISTANCE AVAILABLE

The staff of the North Little Rock Historic District Commission is available for assistance in helping applicants plan and design projects or improvements which will meet the design guidelines.

Contact the North Little Rock Historic District Commission (501) 371-0755 to make an appointment. Some work can be reviewed and approved upon receipt of a completed COA application; other work will require review by the Commission.

YOUR COOPERATION IS APPRECIATED

The City of North Little Rock and the North Little Rock Historic District Commission thanks you for your cooperation in following these guidelines and preserving the historic neighborhoods of our city.

THE APPLICATION PROCESS

The design review process is initiated when a property owner whose property lies within the Argenta Historic District (see map on page 7) applies for a building permit. A building permit is required for any type of construction, whether it is new or an alteration to an existing building. The building permit cannot be issued until a Certificate of Appropriateness (COA) has been approved by the North Little Rock Historic District Commission.

Design review is required for all work within an historic district except for routine or ordinary maintenance, landscape planting, or interior changes. The chart on page 19 lists some of the types of work requiring a COA.

Work undertaken in the Argenta Historic District must conform to all codes and requirements of the North Little Rock Planning Commission. Particular care will be taken to insure that the North Little Rock Historic District Commission's preservation guidelines and city building codes are not in conflict.

The Commission makes decisions on applications based on the set of design guidelines in this manual. The guidelines are standards for the Commission to use in determining the architectural compatibility of proposed changes. They also are a guide for rehabilitation, appropriate new construction, and other neighborhood projects. The guidelines are based on design principles and preservation standards used by historic district commissions across the country and by state and federal government programs.

The following procedure must be followed in undertaking work on buildings in the Argenta Historic District:

1. DETERMINE IF WORK REQUIRES APPROVAL

If you are planning to do work on a property located within the Argenta Historic District (see map on page 7), consult the chart located on page 19 to see which types of work require approval (COA) from the North Little Rock Historic District Commission and which types require a building permit from the North Little Rock Planning Commission. Call the North Little Rock Historic District Commission at (501) 371-0755 if there are questions.

As a general rule, a COA is required for any alteration of the exterior of any part of a structure; for new construction; for relocation; and for demolition. A COA is not required for routine maintenance, landscape planting, or interior changes.

2. OBTAIN A COA

Complete and submit an application form
THERE IS NO CHARGE FOR A COA.

Obtain Certificate of Appropriateness (COA) forms from the North Little Rock Historic District Commission office at 507 Main Street, (501) 371-0755.

To be included on the agenda for the next Historic District Commission

meeting. COA applications must be received by the HDC office a minimum of 15 days before the next regularly scheduled meeting (second Thursday of each month) in order for the HDC to comply with public notification as prescribe by state statutes.

The application requires:

FOR EXISTING BUILDINGS--

- A. An accurate sketch, photograph, or drawing of each elevation where changes are proposed, showing existing appearances and proposed changes; and
- B. A description of materials to be used and an overall scheme, including but not limited to, foundation, walls, trim, windows, doors, roof, chimneys, and any other exterior surface or detail.

FOR NEW CONSTRUCTION--

- A. An accurate drawing of all elevations showing proposed appearance and its relationship to adjacent and nearby buildings and;
 - B. A description of materials to be used including all exterior surfaces and details.
- The Commission staff will meet with you if you would like to discuss your project and will answer questions and advise you on whether or not your plans comply with the design guidelines. If there is a conflict between your plans and the guidelines, the staff can offer advice on how to modify them.

FOR DEMOLITION--

- A. Current photographs of each elevation.
- B. Current evaluation by professional architect, engineer.
- C. Demolition cost estimate.

FOR MOVING A BUILDING INTO OR OUT OF THE HISTORIC DISTRICT--

- A. Current photographs of building in original location.
- B. Current photograph of proposed site and adjacent buildings.
- C. Cost estimate of move.

3. PUBLIC HEARINGS

If the work requires review by the Commission, the application will be scheduled for the next regular meeting of the Commission. Regular meetings are on the second (2nd) Thursday of each month at 7:00 p.m. at 507 Main Street, North Little Rock or another location to be announced.

The Commission may approve, approve with conditions, or disapprove the COA application. In some cases, the Commission may approve the application contingent on certain conditions that must be met before the permit is issued.



THE APPLICATION PROCESS

Upon approval, the Commission staff will issue the COA, which will include an itemized list of the work approved.

No building permit from the North Little Rock **Planning Community** Department will be issued if the COA application has been denied. Appeals of North Little Rock Historic District Commission decisions may be made to the Commission itself, or to the Chancery Court of Pulaski County, Arkansas.

4. BUILDING PERMITS

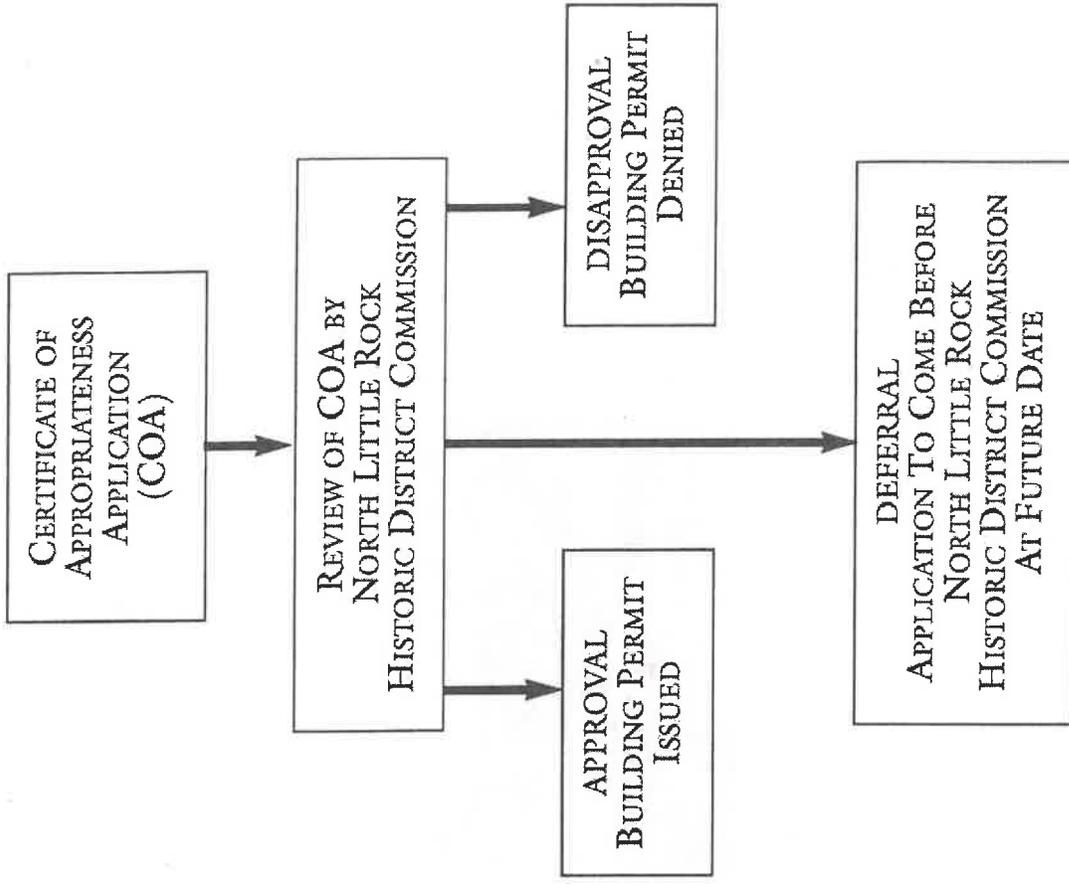
After obtaining a COA, apply for a building permit at the North Little Rock Community Planning office, 701 W. 29th St.

5. WORK TIME FRAME

For COAs and building permits to remain valid, work must begin within six months. If your plans change while work is in progress, contact the Commission staff **BEFORE** undertaking a change or deviation from the COA.

Without approval, the work will be considered a zoning violation (a misdemeanor with fines up to \$500, with each day the violation continues constituting a separate offense.)

THE REVIEW PROCESS



HISTORICAL OVERVIEW OF THE ARGENTA HISTORIC DISTRICT

The Argenta Historic District consists of two discontinuous groups of historic structures associated with the historic community of Argenta, the earliest settlement north of the Arkansas River at this location that later became what is now known as North Little Rock. The Argenta Historic District represents a continuum of the city's development. The era between 1890 and 1940 is the period when North Little Rock established itself as a city of the first class and emerged as an industrial center. At the crux of the development of North Little Rock was the strong role the railroad played in the city's economic base and its effect on the industrial nature of the city. The process by which North Little Rock grew from a small settlement to a city of the first class is an important part of the development of central Arkansas' urban center. The foresight and ingenuity of early leaders in North Little Rock is a significant example of community planning and development.

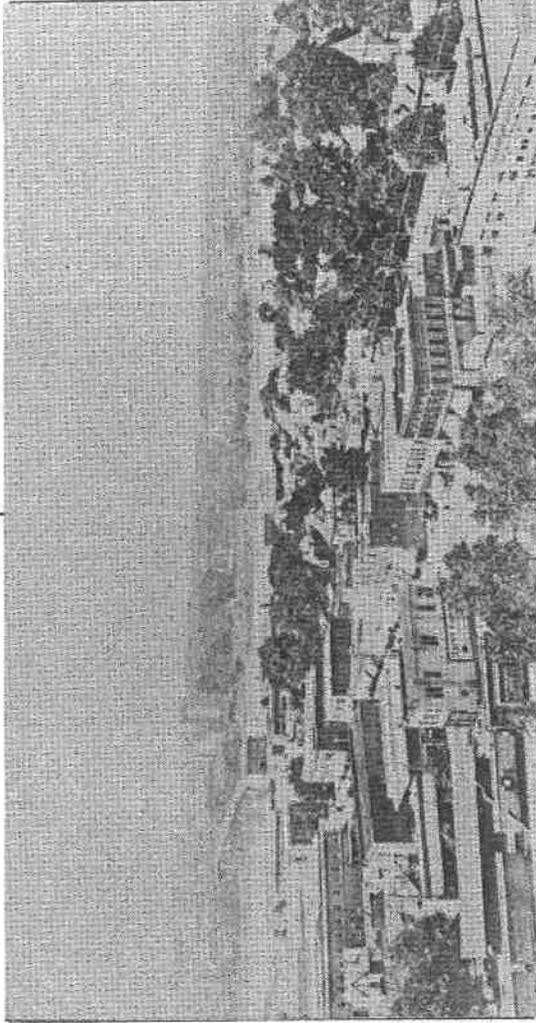
The area along the north bank of the Arkansas River did not parallel the development of Arkansas's capitol city across the river, Little Rock. It is thought that as early as 1810 there were white settlers across from "the little rock". The area was referred to as "Opposite Little Rock" on early maps. In 1845 an army officer named Richard DeCantillon Collins who surveyed roads and rivers in Arkansas for the government registered with the Pulaski County clerk's office eight square blocks for sale on the north bank of the Arkansas River. The first name given to the area was DeCantillon.

Another early settlement in the area called Huntersville is believed to have been named for Capt. R.L. Hunter who surveyed a route for the Little Rock-Fort Smith railroad. The first rail route built in Arkansas was the Memphis and Little Rock Railroad. Completed in 1862, the railroad ended at a depot on the north river bank "opposite Little Rock" from where passengers were ferried across the river to Little Rock. In 1871 the Arkansas Gazette published an editorial in an attempt to clear confusion about the name of the town "opposite

Little Rock". This editorial explained that during the Civil War the military superintendent of the north side depot was William Hunter and the location was known as the military post of Huntersville. By 1872 what was left of the Huntersville settlement had been destroyed by fire. Yet another development on the north side, though not as well known as DeCantillon, Huntersville or Argenta, was the town of Quapaw. In 1865 William E. Woodruff advertised riverfront lots adjacent to "Huntersville" but there is no evidence of any deeds recorded.

In 1866 the town of Argenta was surveyed and platted (Argentum is Latin for Silver). Folklore says that silver had been discovered about ten miles north of the town site (in actuality, "Kellogg's Diggins" was a lead mine which was intermittently mined through the 1920s and did indeed yield some silver). Another version of how Argenta was named centers around a Frenchman named A. J. Burnett who built a two story hotel called the "Argenta" before the Civil War. It is said that the area around the hotel and the town of DeCantillon were combined and named Argenta.

Although a post office was established in Argenta in 1871, the town had not incorporated. In 1873 the completion of the Baring Cross bridge across the Arkansas River just to the west of downtown Argenta, connecting it with Little Rock and the southwest, heralded the beginning of a long period of growth for the city of Argenta. By the late 1870s Argenta was a major railroad line crossing. As the railway related shops, warehouses, and workforce increased so did the town of Argenta. Additions to the west of the Original Town of Argenta were platted in the 1880s including DeCantillon Addition, Hudson's Addition and Clendenin's Addition. It was common for a large portion of railway labor to be migratory and large numbers of these "boomers" as they were called passed through Argenta. The railroad people who settled in one place were call "homeguards". With a rapidly growing population and little organized means of enforcing law



*North Little Rock and Little Rock, June 25, 1913.
Photograph taken from atop the MoPac Railroad grain elevator.*

the disorderliness of the town inspired an article in the *Arkansas Gazette* in December 1880 encouraging the town of Argenta to incorporate for the purpose of obtaining control of the "lawless conditions".

However, no steps were taken to establish Argenta as an incorporated city until 1890 when an incorporation petition was filed. The Little Rock city attorney advised the City Council that the boundaries of the cities of Little Rock and Argenta extended to the middle of the Arkansas River between them and therefore considered Argenta contiguous to Little Rock. In an election in April, 1890, Little Rock voters decided to annex lands contiguous to their city. Argenta was made the eighth ward of the city of Little Rock. Although C.L. Vogel (owner of Vogel's Grocery at 323 Main) challenged the legality of the election in the Supreme Court of Arkansas, it was affirmed that the annexation was legal.

At the time of its annexation to Little Rock, Argenta was still considered a "rough" town. (Argenta was "off limits" even to soldiers stationed at nearby Fort Roots Military Base). Saloons and gambling houses filled the buildings along Argenta's primary street, Newton Avenue (later changed to Main St.). There were no paved streets, no water system, plank sidewalks, a small police force, and only bucket-brigade fire protection. Low lying streets with no drainage system often flooded, leaving Argenta a muddy, mosquito infested area. Although a "free" wooden bridge was constructed across the Arkansas River in the late 1890s, little improvements were made in Little Rock's Eighth Ward.

The name Faucette is synonymous with the history of North Little Rock. Brothers William C. and James P. Faucette were foresighted businessmen who played a significant role in the independence and development of Argenta/North Little Rock. After settling in Argenta in 1878, both men had worked on the Little Rock-Fort Smith Railway. As an early business venture the Faucette brothers operated a boarding house at 400 Main Street which catered to railroad workers. Later they bought land in downtown Argenta and built a private electric light plant.

As one of the first aldermen elected from the Eighth Ward of Little Rock, William Faucette pushed for improvements in the swampy Eighth Ward. In 1901 a group of men from the Eighth Ward led by the Faucette brothers secretly organized for the purpose of separating Argenta from Little Rock. An area immediately north of the Argenta town site (what is roughly today 15th St. on the south, 23rd on the north, Main Street on the east and the railroad tracks on the west) was incorporated as the "Town of North Little Rock" in 1901. The Faucette brothers paid the filing fee for the incorporation of North Little

Rock and Frank O. Cook was elected the first mayor.

The group from the Eighth Ward then manipulated a bill through the Arkansas Thirty-fourth General Assembly in 1903. Prepared by state senator James P. Clarke, this bill was written to permit the annexation or consolidation of one municipal corporation located within one mile of any other municipal corporation. The act was called the "Hoxie-Walnut Ridge Bill" and the men from the Eighth Ward paid a lobbyist from Walnut Ridge to ascertain its passage. There was little attention paid to this piece of legislation by the General Assembly as it was thought to have been a special interest bill written to permit the cities of Hoxie and Walnut Ridge to consolidate. The Hoxie-Walnut Ridge Bill was signed into law in March, 1903. On May 1, 1903, the day after the legislature adjourned, William C. Faucette announced that he had a petition signed by Argenta property owners asking to be annexed to the incorporated town of North Little Rock under the provisions of the Hoxie-Walnut Ridge Bill. A special election was held in July 1903 and the citizens of Argenta voted to secede from Little Rock and become part of the incorporated town of North Little Rock.

The annexation of Argenta by North Little Rock was in dispute in the courts for over a year but in February, 1904 the Arkansas Supreme Court decided in favor of the North Little Rock-Argenta annexation. William Faucette was elected mayor in the city's first general election. In addition to the mayoral position, a full slate of city officers was elected and the city was divided into four wards. With a population of 6,500 and an established city government, North Little Rock became a city of the first class.

William Faucette was re-elected mayor in 1905 and 1907. James Faucette was selected to fill the unexpired mayoral term of the city's second mayor, E. A. Ramsey in 1910 and was re-elected mayor in 1911. City improvement districts were established which included paving streets and installing a drainage system. The privately owned Faucette Brothers Bank (established in 1901) changed its name to Twin City Bank with James Faucette as president and then incorporated as a public bank. Manufacturing and railroad business expanded and the city began to flourish.

On October 26, 1905 President Theodore Roosevelt visited the city and gave a short speech at the City Park (located where the North Little Rock Post Office stands at 420 Main). It is said that Roosevelt remarked "Mr. Faucette, I am delighted to meet the mayor of Argenta". In January, 1906, a city ordinance was passed changing the name of the city to Argenta.

Argenta experienced an economic boom in the first decade of the 20th



William C. Faucette

First elected mayor of the first-class city.

Taken from the book, A History of North Little Rock, The Unique City

century. Four railroads were located in the city. Cotton oil mills and the lumber industry provided a strong economic base for growth. In 1910 Justin Matthews, a businessman and real estate developer, built a two-story building will full basement (razed by Urban Renewal in the 1960s) covering the entire east side of the 200 block of Main Street. Other local businessmen built brick buildings along Main Street, including the Manees family (313-315 Main and 317-319 Main) and Solon Humphreys, a real estate developer (318 Main, 324 Main and 104-110 E. 4th).

The Faucette brothers were the force behind construction of a new city hall building in 1914 which remains an outstanding architectural and governmental anchor in the commercial district.

The name remained Argenta until 1917 when it was changed to North Little Rock and has remained as such since (in 1958 there was an unsuccessful campaign to change the name back to Argenta). The 1917 name change to North Little Rock was fostered by James P. Faucette after a trip to California where he saw the economic benefits to a small town close to Hollywood after changing its name to "West Hollywood". J.P. Faucette was convinced that changing the name of Argenta back to North Little Rock would be a financial boost to the city.

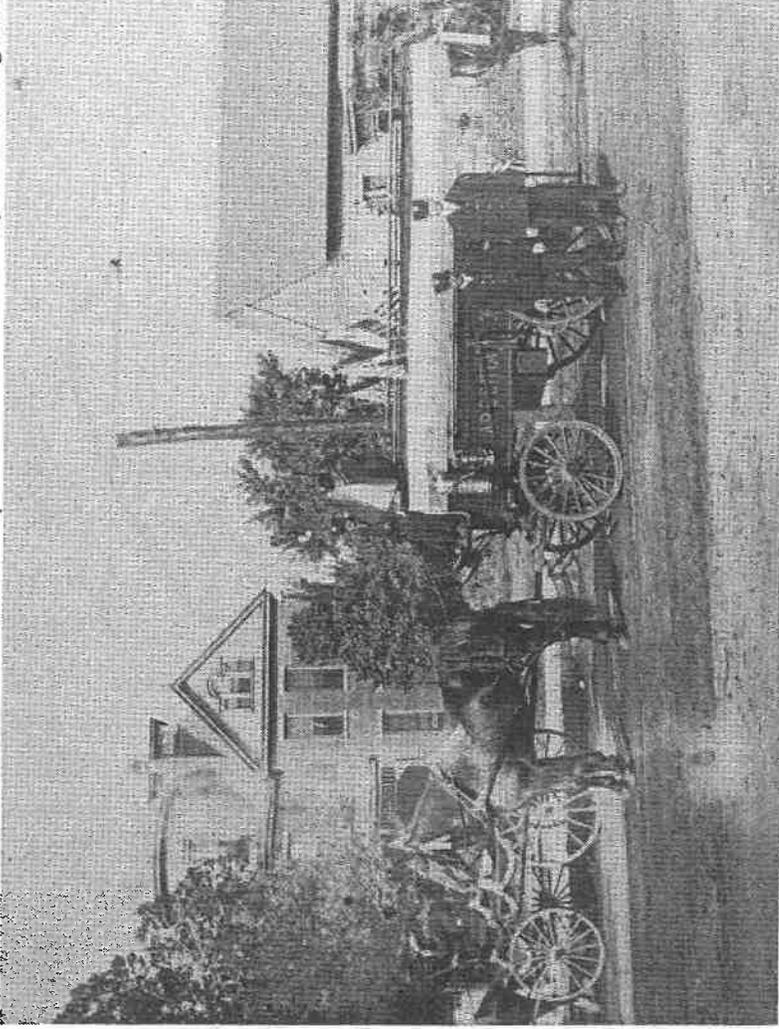
As the city's business section grew in the early years of the 20th century, its residential area was changing west of Main Street. Although additions had been platted, there was little building in most of the area west of Main Street. Orange and Willow Streets were occupied by African-American families. At least two African-American churches were once located on Orange Street. In the early years of the century, white and black families often lived on the same blocks. By 1915, however, most of the downtown residential neighborhood was occupied by white local business owners and workers and railroad employees.

In 1923 the Broadway Bridge over the Arkansas River was dedicated. The "free bridge", built in the 1890s, was replaced by a Main Street bridge. Replacement of a dangerous wood viaduct over the railroad tracks at 9th and Main Streets by a new concrete viaduct in 1927 accessed the areas north of downtown for further development. A streetcar system existed in the downtown and the city was in such good financial condition that a banner was placed on the eastern edge of town reading on one side "Locate in North Little Rock- A City Without Indebtedness" and "Welcome to North Little Rock, The Industrial City of Arkansas" on the other side.

Both the commercial and residential districts of downtown North Little Rock remained viable through the 1960s. In the latter part of the 1960s Urban Renewal projects cleared a two block wide path along the Arkansas River. Commercial buildings in the first two blocks of Main Street were razed and two modern bank buildings were constructed in the 200 block of Main. Buildings in the first two blocks of Maple, Orange and Willow were also cleared as a part of Urban Renewal projects. To the east of the Argenta Historic Commercial District, construction of Interstate 30 interrupted that portion of the historic downtown neighborhood. In western areas of the Argenta Historic Residential District, more "improvements" and rerouting of

traffic arteries opened once serene streets to heavy use.

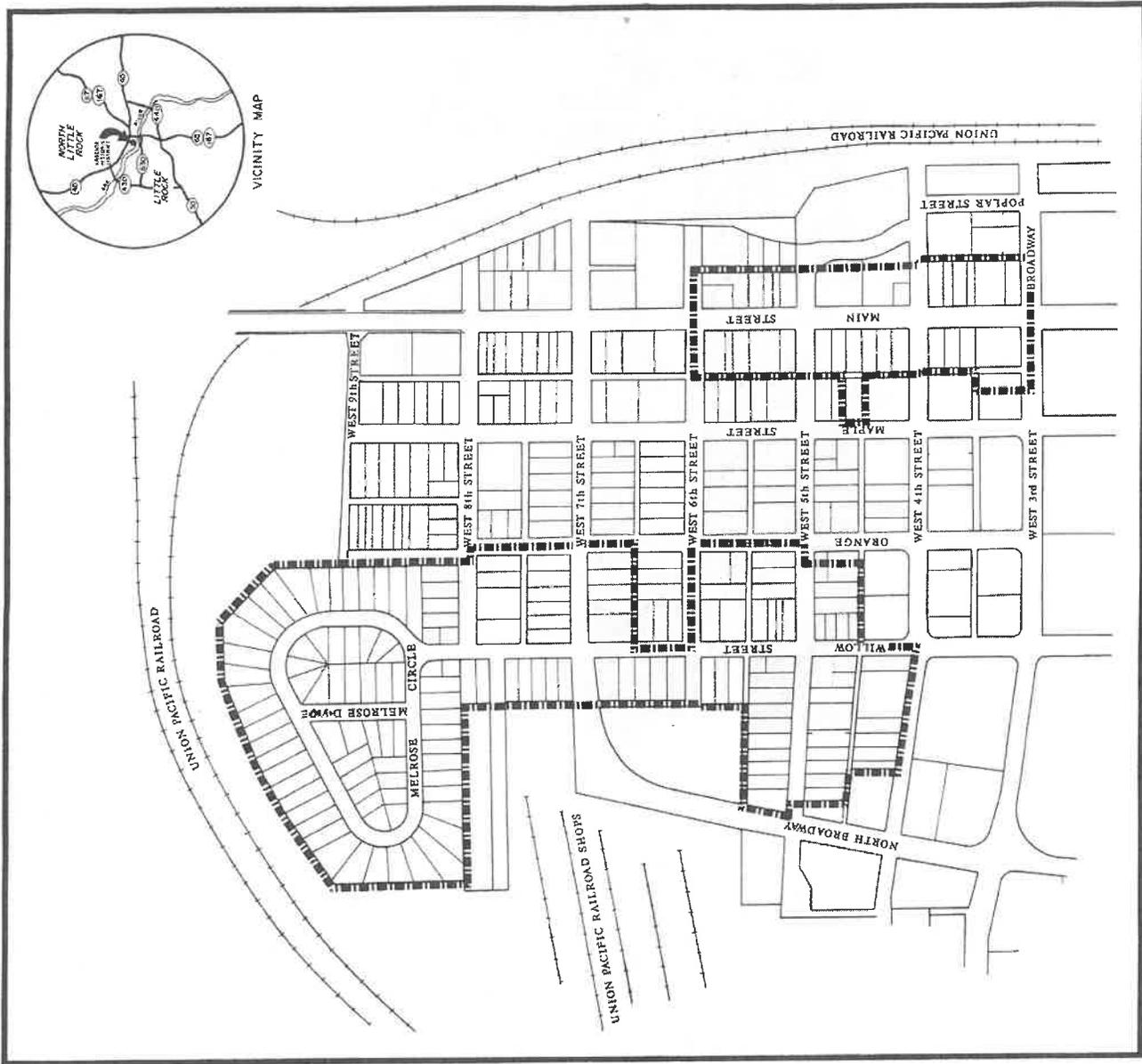
Although the fabric of the Argenta Historic District has been confined to a small core area, within the two discontinuous districts a sense of the original historic character of the neighborhood remains. Containing a total of 172 buildings (of which only 10 are less than 50 years old), the Argenta Historic District documents the development of North Little Rock from a muddy, rough settlement to a city of the first class.



Fire truck outside of the Baker House at 109 W. 5th and the Hempsling House at 507 Main Street that now houses the North Little Rock Historic District Commission offices.

Courtesy of the North Little Rock History Commission

MAP OF THE ARGENTA HISTORIC DISTRICT



ARCHITECTURE OF THE ARGENTA HISTORIC DISTRICT

The Argenta Historic District is composed of 172 buildings within two discontinuous districts. A commercial district encompasses the 300, 400 and 500 blocks of Main Street. A residential district to the west of Main Street is roughly bounded by W. Fourth St. on the south, N. Broadway and the alley west of Willow St. on the west, Melrose Place Addition on the northwest, the 300 block of W. Eighth St. on the north and Orange St. on the east. (see map on page 7)

Although the boundaries of the commercial and the residential historic districts are discontinuous, they are historically linked in their development. As defined for the purposes of the National Register of Historic Places, the Argenta Historic District contains three blocks of North Little Rock's oldest commercial vein - Main Street - and its most intact and contiguous historic downtown residential neighborhood.

Within the commercial area of the historic district on Main Street there are 26 original commercial buildings, two public buildings and four residential buildings. Although most of the total of 32 commercial district buildings are vernacular adaptations of a national style, there are several outstanding examples of architectural design.

The residential area of the Argenta Historic District significantly expresses a solid working class neighborhood. The tree-lined streets are laid out in a grid pattern. The exception of the grid is the Melrose Place Addition which is circular with a dividing street in the center. Scattered about the neighborhood are a few "grand" homes, but the majority of residences are, like the commercial district, vernacular expressions of a particular style.

Located within the residential district are 140 buildings, only three of which are less than fifty years old. Three (original) apartment buildings are found in the district. Most of the structures in the residential district are single family homes, some of which have been converted to multifamily.

Clearly the largest growth period in the area was 1920-1930 when 75% of the houses in the residential district were constructed.

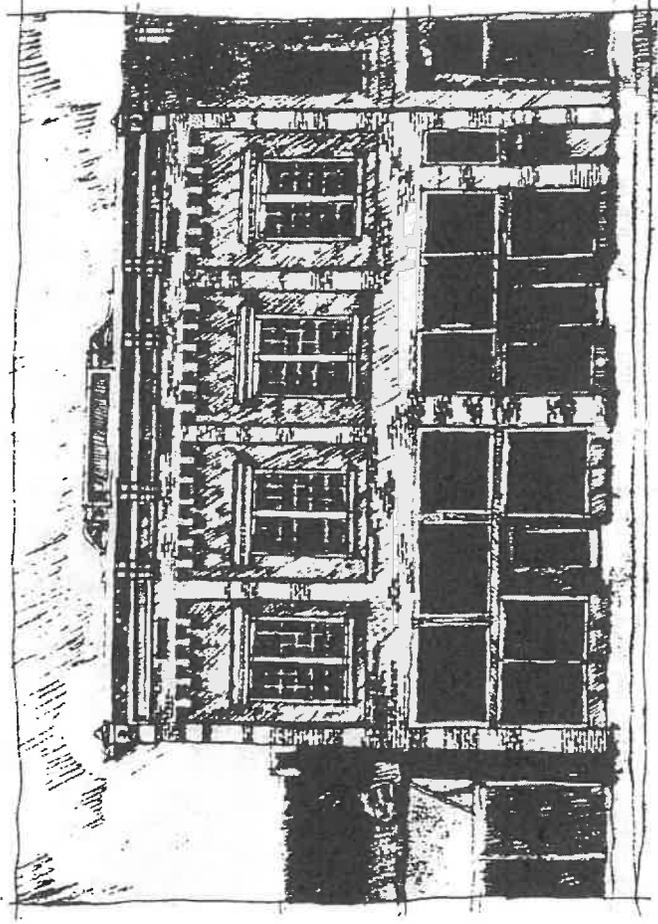
Although the district is largely vernacular in nature, the principal architectural styles in vogue during the early twentieth century are reflected; the Craftsman, the English Revival and the Colonial Revival.

Reflective of the popularity of the nationally popular Craftsman movement in this decade, 61% of the houses in the residential district are of the Craftsman Bungalow style.

This section of the manual is to help identify those features or elements of buildings that give them their visual character and should be taken into account in order to preserve them. The most dominant architectural styles in the district are described.

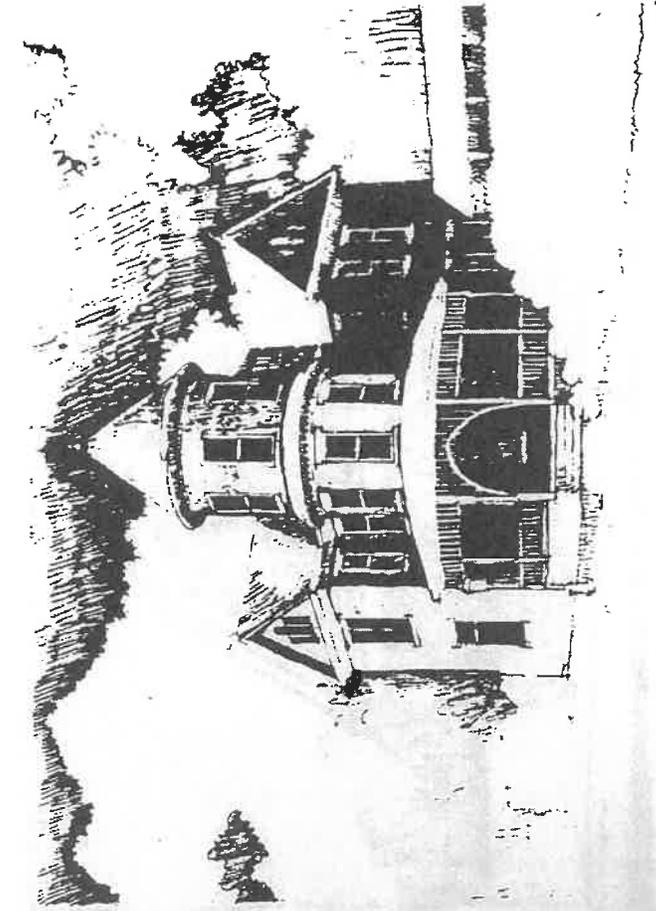
This design review guideline manual, prepared through the North Little Rock Historic District Commission and the North Little Rock History Commission is intended to provide property owners and residents with information to protect, preserve and encourage restoration of the historic appearance of the Argenta Historic District.

ITALIANATE, 1840-1900



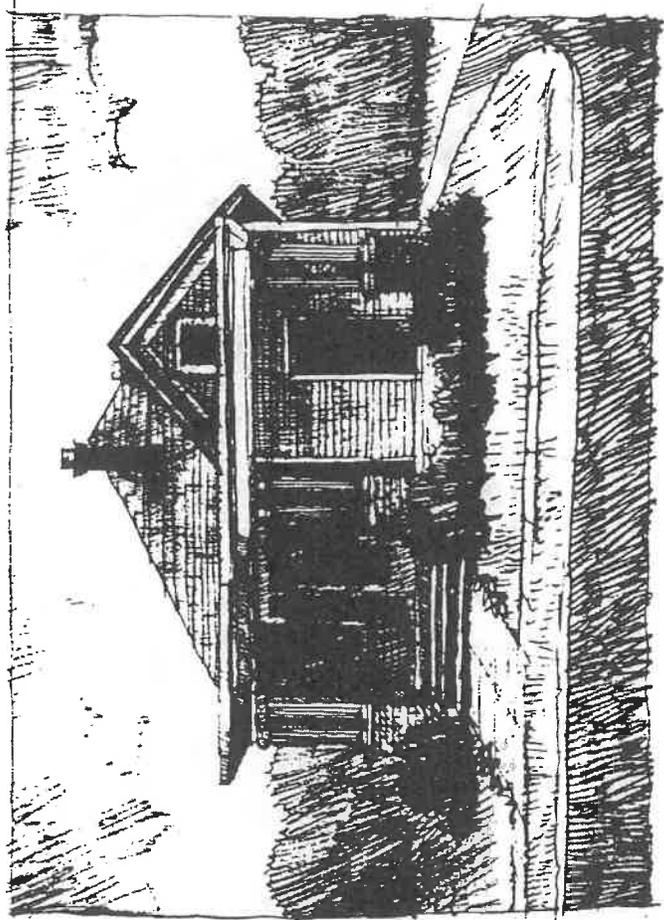
The Italianate style is derived from the urban mansions of Italian merchant princes and the rambling bracketed design of rural Italian farmhouses. The style developed in America in the 1840s through the books of A. J. Downing, who promoted the use of this bracketed style for suburban villas. From the 1870s through the end of the 19th century, this style was adapted for urban townhouses and commercial buildings. These buildings often displayed cave brackets and window hoods. Arched windows also characterize many Italianate buildings.

QUEEN ANNE, 1880-1910



The Queen Anne style was popularized in the later 19th century and featured an asymmetrical floor plan and extensive exterior detailing. This style is generally two-stories in height and often features corner towers, turrets, or projecting bays. Exterior wall surfaces are often varied with mixtures of brick, wood, stone, and wood shingles. Large wrap-around porches with milled columns and balusters are usually present on the main facade. Windows are 1/1 sash or of small multi-light design. Roofs may have slate or metal standing seam surfaces. In the gables are often brackets or decorative vergeboard. The Baker House at 109 W. 5th Street is an excellent example of the Queen Anne style.

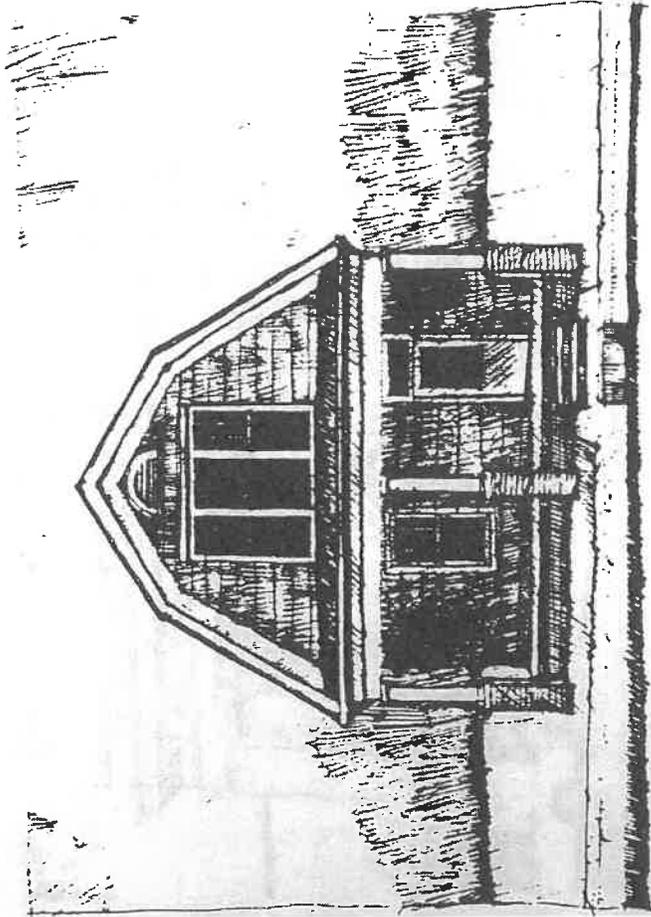
COLONIAL REVIVAL, 1890-1940



The popularity of the Colonial Revival style in the early 20th century was a movement away from the asymmetrical Victorian styles. It emphasized symmetrical building plans, classical porch columns and eave decoration such as modillion blocks or dentils. Fanlights were often placed above doors and sidelights. Windows were often paired with multi-light glazing in double-hung sashes.

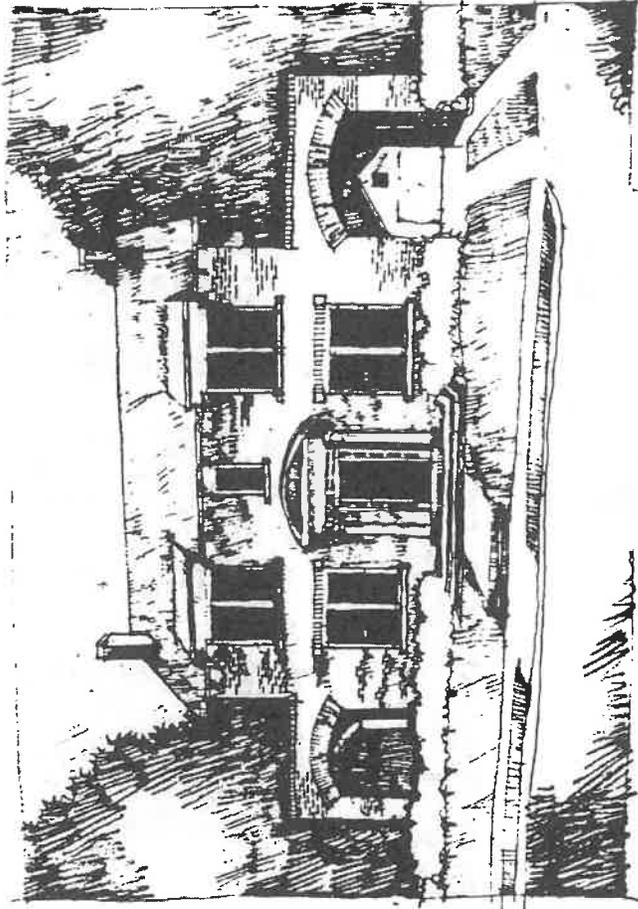
The earliest example of the Colonial Revival style in North Little Rock are one-and-one-half story "cottages" built in the late 1890s and early 1900s. These dwellings were built in irregular plans with Colonial Revival features and Tuscan columns. An example of this type of Colonial Revival style are the houses at 414 and 416 N. Willow (although these houses have Craftsman porch columns).

DUTCH COLONIAL REVIVAL



Another version of the Colonial Revival style is the Dutch Colonial. The main feature of this style is the distinctive gambrel roof, with two pitches on each side. This roofline provides the maximum amount of living space within the roof. Dutch style houses typically have shed dormers which add more headroom to the attic area. The Farmer-Brooks House at 623 N. Orange Street is one of only a few examples of the Dutch Colonial Revival style in North Little Rock.

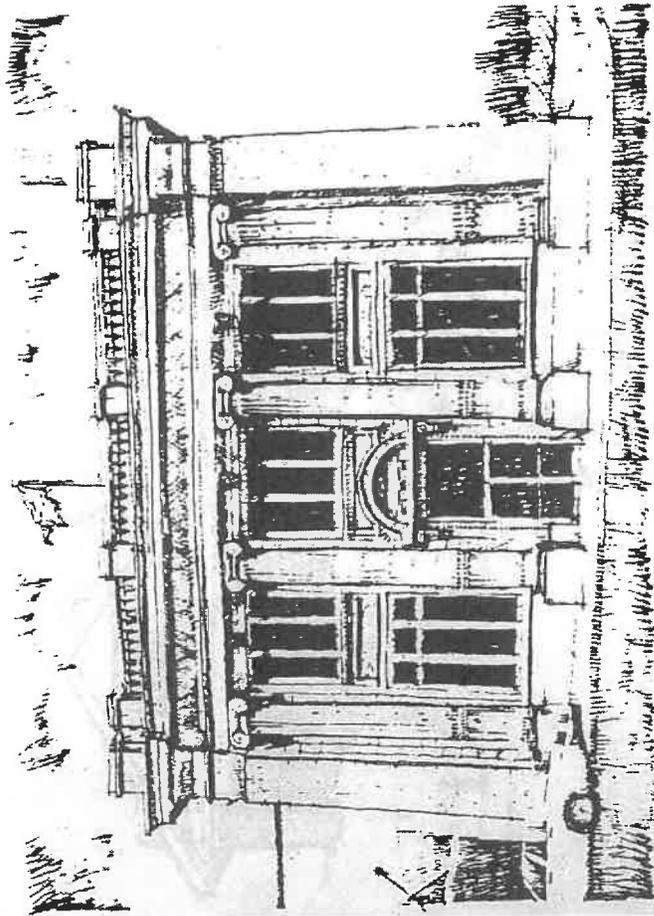
FORMAL COLONIAL REVIVAL



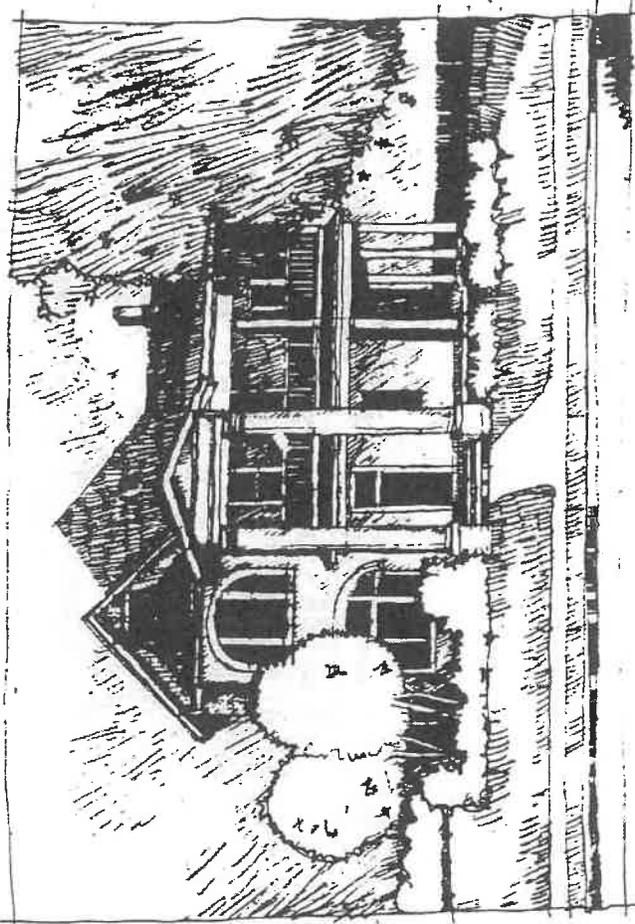
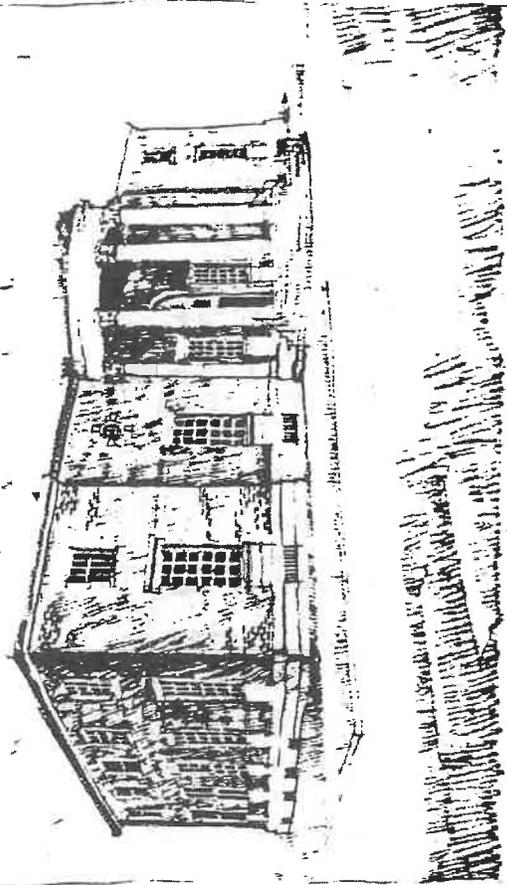
A second wave of the popularity of Colonial Revival was seen in American neighborhoods from the 1920s through the 1940s, when the World Wars stimulated patriotism.

The formal Colonial Revival design was based more upon 18th century designs constructed in Colonial America. This Colonial Revival subtype is two-stories in height with a symmetrical main facade. Other characteristics such as gable roof, dormer windows at the roofline, and pedimented entrance are all seen on the Mosley-Zimmerman House at 410 W. 5th.

CLASSICAL REVIVALS, 1895-1950

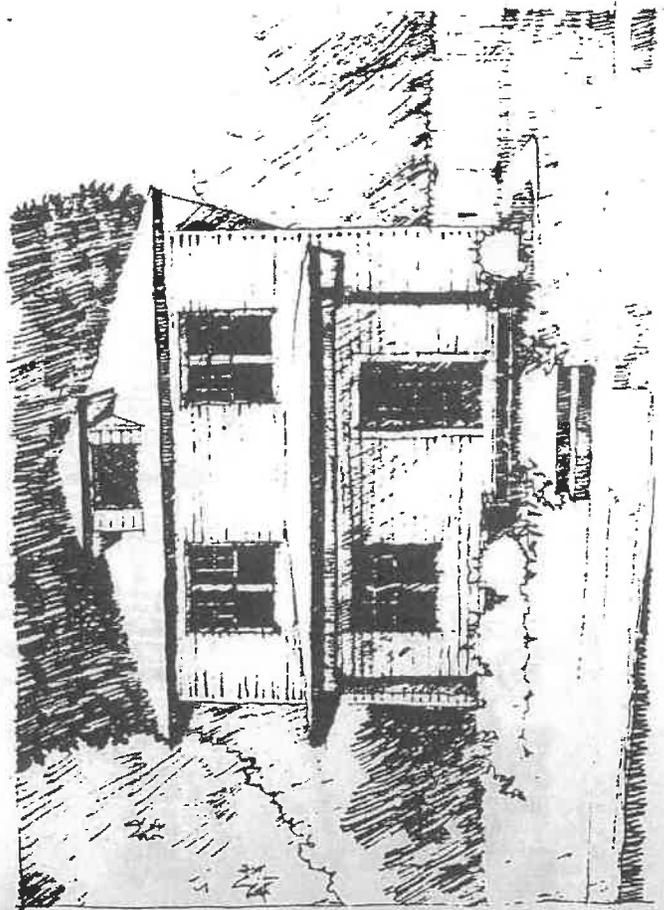


The various Classical Revivals most popular in Arkansas during the first two decades of the 20th century, are generally characterized by symmetrical facades and usually have classical columns. Classical Revival buildings built before 1920 generally have ornate columns, while those constructed after about 1925 have slender, simple columns. A roofline balustrade is commonly seen in this style as is a pedimented entrance. Other classical elements seen in this style include egg and dart molding, dentils, and modillions.



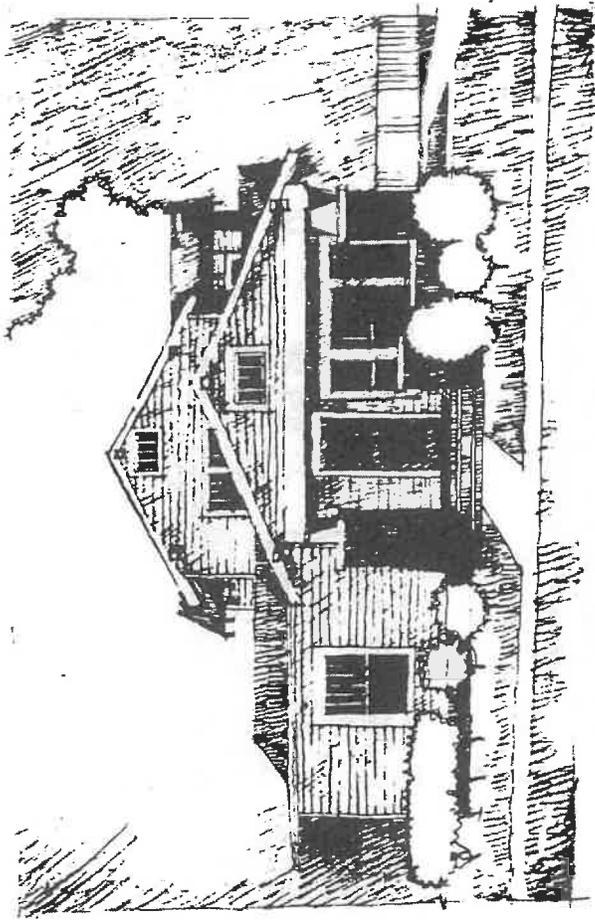
PRAIRIE, 1900-1920

The Prairie style grew out of the midwest where the architecture of Frank Lloyd Wright came to be known as the Prairie School. The style is characterized by low-pitched roofs, usually hipped, with wide overhanging eaves. The Prairie style emphasizes horizontal lines. An almost always present characteristic of the Prairie style is massive square or rectangular masonry piers used to support porch roofs.



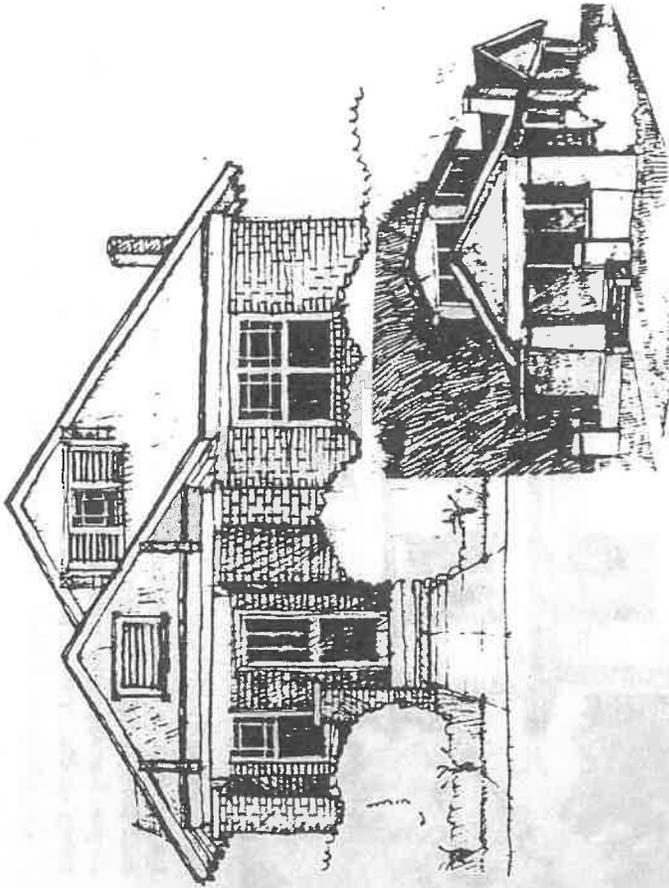
A common subtype of the Prairie style is the "American Foursquare". This type of design was extremely popular through the 1920s. Characteristically, the American Foursquare is an unpretentious rectangle or square, with a hipped roof, heavy eaves, a porch across the front and sometimes a large dormer. Usually the American Foursquare is two-stories with any one-story porches or wings clearly subordinate to the principal mass. The entrance is often off-center and is the focal point of the facade.

CRAFTSMAN, 1910-1940



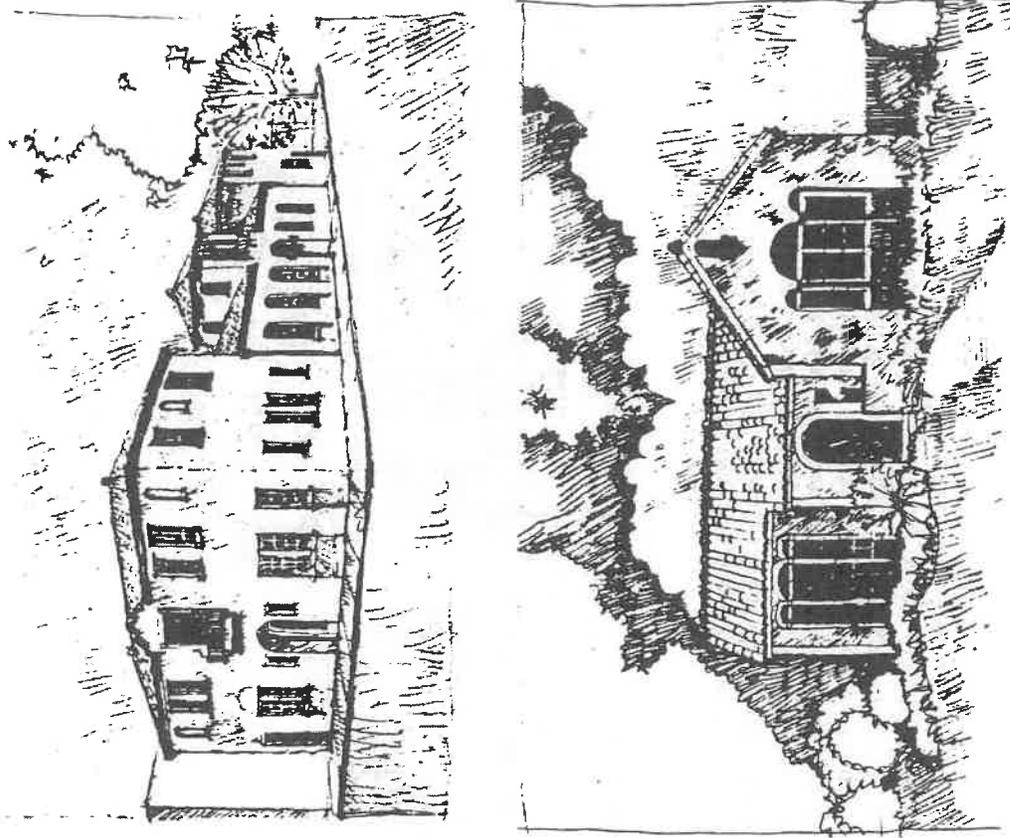
The Craftsman style was the most common architectural style in America in the early part of the 20th century. The Craftsman style is characterized by square plans with low-pitched gable or hipped roofs, often with shed roof dormers. Windows are double-hung sash with three or more vertical lights in the top sash and a single-light bottom sash. Craftsman dwellings have large broad porches which usually extend across the front facade and are supported by tapered columns resting on stone, frame or brick piers. In contrast to the vertical emphasis in Victorian styles, Craftsman dwellings emphasized the horizontal, with wide windows and wide roof eaves. In many examples, rafter ends and knee braces are visible below the eaves.

CRAFTSMAN BUNGALOW, 1910-1940



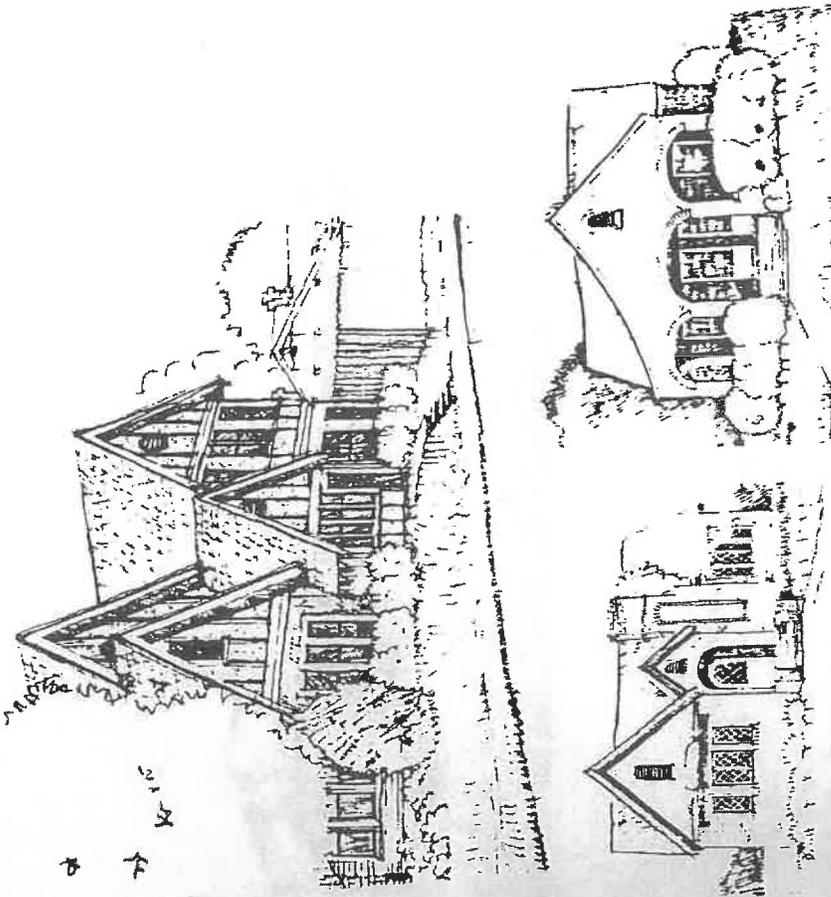
Although a part of the broad Craftsman movement, the Bungalow is a common and distinctive type of design. The American Craftsman Bungalow became the "cottage" of the early decades of the 20th century. The Bungalow is set low to the ground; it nestles into and becomes part of its environment. The use of rustic materials on the exterior of bungalows was encouraged and often these houses feature the use of multiple building materials such as brick, wood, stone and stucco. Living space was often extended to the outside in the use of the spacious porches on bungalows. The bungalow porch was a key factor in the livability of these small homes as they were geared to the outdoors. Bungalows often have front facing gable roofs with full-front porches supported by tapered columns on brick piers. Simpler versions of the bungalow have square brick porch columns. Design characteristics of the Craftsman movement such as broad eaves with exposed rafter ends, knee braces and horizontal emphasis are found in the Bungalow. When a second story is present and its perimeter is distinctly smaller than the first story, the style is often referred to as the "airplane bungalow".

SPANISH REVIVAL, ca. 1915 - ca. 1940



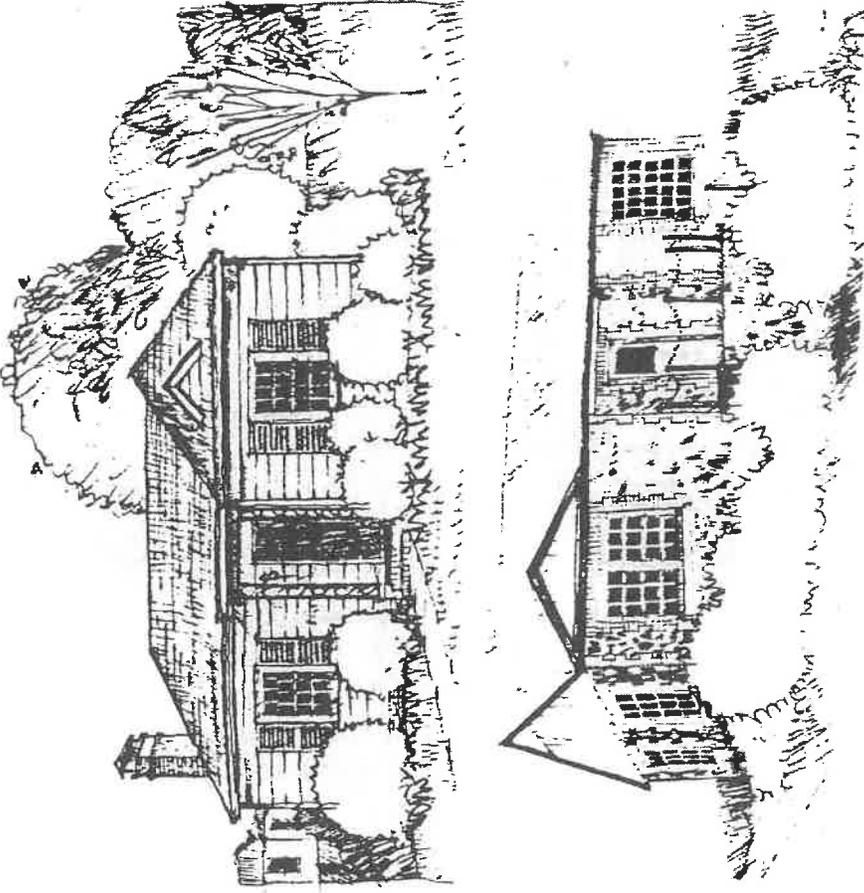
The Spanish Revival style drew upon inspirations from Spanish architecture and borrowed heavily from the buildings constructed in the American southwest during the 17th and 18th centuries. Most Spanish Revival buildings have exterior wall surfaces of stucco, red clay tile roofs, asymmetrical facades, and low pitched gable roofs. Windows and entrances are often arched.

ENGLISH REVIVAL, 1915-1940



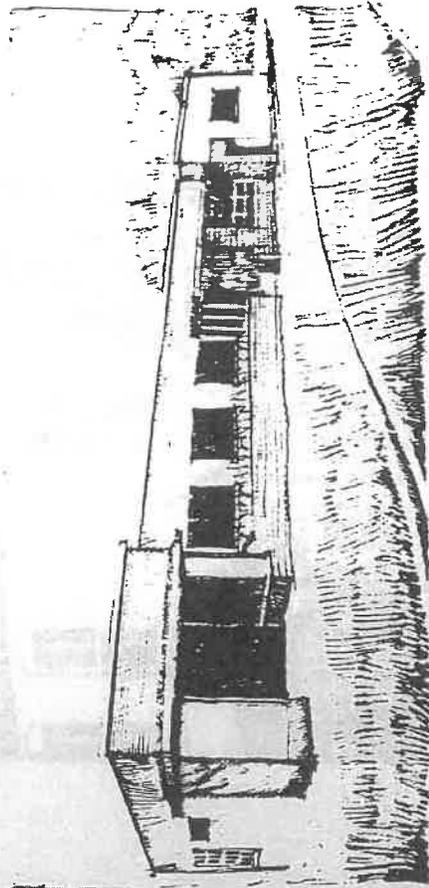
The English Revival or Tudor style was widely popular in the United States, particularly in the 1920s. This style is based upon medieval house forms of England and feature high pitched gable roofs and multiple gables on the main facade. Generally, English Revival style buildings were constructed with brick or stucco wall material. Doors are often set into rounded or Tudor arches while windows often have multiple lights in the upper and lower sashes. Stucco and wood are often combined in gable ends to create a half-timbering effect. Examples of the English Revival style in North Little Rock range from grand examples to simple, small versions with minimal detail.

MINIMAL TRADITIONAL, 1935-1955



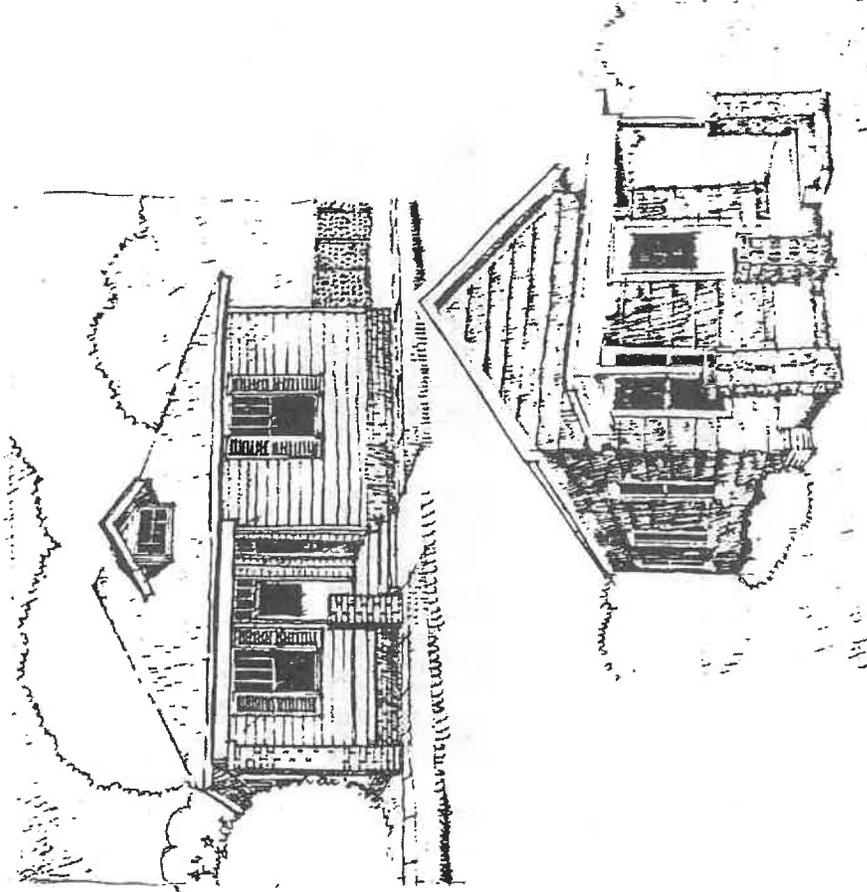
In the latter years of the Depression era, a type of home construction which attempted to reflect the various revival styles in a form with minimal use of decorative detail began to appear. Roof pitches are generally low and eaves are close on this style. Begun in the 1930s and interrupted by World War II, this is the same type house was built in large numbers in tract-housing development following the war.

INTERNATIONAL, 1925 - Present



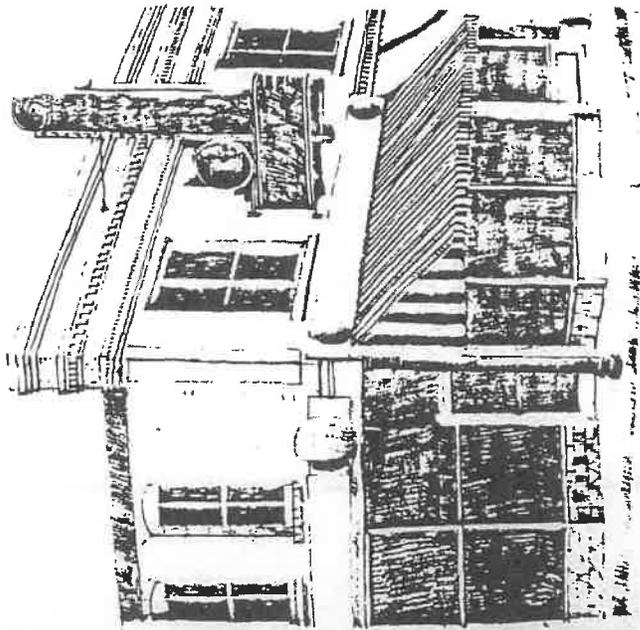
Although in some cases the International style and Moderne style are similar, the International style is more recent and continues to be an influence in architectural design. Characteristics include flat roof without ledge, unornamented wall surfaces, no decorative detailing at doors or windows. Windows are glass block or metal casement. Some examples feature long "ribbons" of windows, sometimes wrapping around corners. Most of this type of building was architect designed and high-style examples are rare, although International influence is commonly seen in designs.

VERNACULAR, 1870-1930



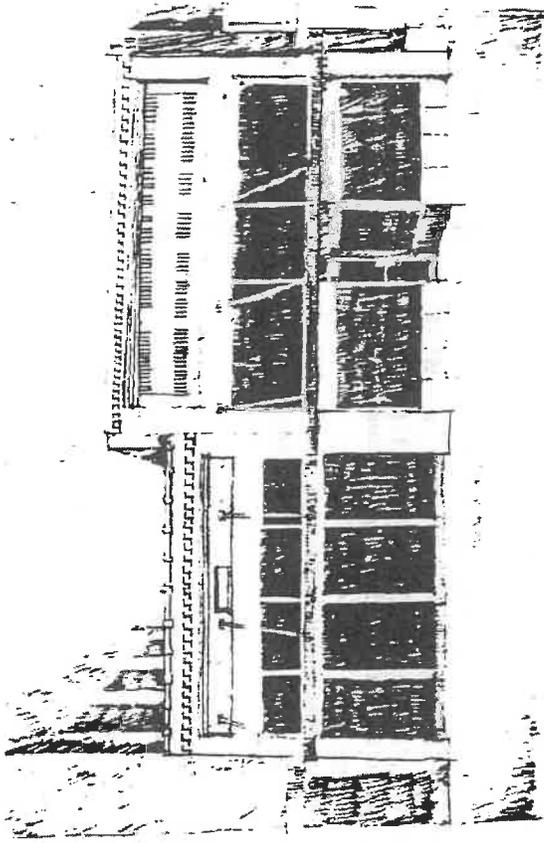
The Vernacular style is a catchall phrase describing those buildings with no particular stylistic influence. Often the Vernacular style house is small, rectangular and features a variety of porch arrangement. Often some stylistic element is introduced through detailing such as porch columns or window pane arrangement. Rather than indicating any style, these details often help to determine the date of a vernacular building.

19th CENTURY COMMERCIAL, 1800-1899



What remains of the 19th Century Commercial buildings in Arkansas is now limited to mostly those from the 1880s and '90s. North Little Rock has several commercial buildings on Main Street which date from the 1890s (there are others scattered about other parts of the city). These late 19th century buildings almost always featured arched second story windows and often have Italianate influence in their design as seen in decorative cornice lines.

20th CENTURY COMMERCIAL, 1900 - Present



Early 20th century commercial buildings often retained some decorative elements such as arched window heads or decorative cornices from the latter part of the 19th century. 20th century commercial buildings range from simple functional design with little or no decorative detailing to those which have characteristics of a particular style. As a general rule, North Little Rock's historic (built before the mid-1940s) commercial buildings from the 20th century seem to be simple in design and borrow from whatever design was most popular at the time for decorative elements.



PHILOSOPHY OF DESIGN REVIEW

The design guidelines apply to residential as well as commercial structures located in the Argenta Historic District of North Little Rock. They were developed with the information found in "The Secretary of the Interior's Standards for Rehabilitation" (p. 18) and out of the specific needs of the community.

The principal approach in design guidelines is the emphasis on preservation over complete restoration. This view is illustrated through the use of such words as REPAIR, RETAIN, MAINTAIN and PROTECT. It is important to REPAIR original materials rather than replace them; RETAIN original landscape features like stone retaining walls; MAINTAIN the original wood siding because it is integral in displaying historic character; and PROTECT the original setting of the house to protect its integrity.

The primary facade of buildings is emphasized in the design guidelines. Primary facades are those readily visible from the street or sidewalk such as the front and sides of a building. Primary facades are the areas generally given the greatest amount of detail and decoration and largely define the architectural character of the property.

While providing a framework and philosophy for design review by the North Little Rock Historic District Commission, these design guidelines describe solutions for rehabilitation which might best preserve the character of the Argenta Historic District. The guidelines are the general guide which will be used by the North Little Rock Historic District Commission when reviewing applications for a Certificate of Appropriateness (COA). It is recommended that people planning to do rehabilitation, new construction, or an addition contact the staff of the North Little Rock Historic District Commission early in the planning process.

The guidelines apply to the exterior only. Although interior space is not insignificant, only the part of the built environment visibly accessible to the public is subject to the guidelines for preservation. Decisions regarding the interior of private property are strictly reserved to the owner.

THE SECRETARY OF THE INTERIOR'S STANDARDS FOR REHABILITATION

The Standards that follow were originally published in 1977 and revised in 1990 as part of Department of the Interior regulations (36 CFR Part 67, Historic Preservation Certifications). They pertain to historic buildings of all materials, construction types, sizes and occupancy and encompass the exterior and the interior of historic buildings. The Standards also encompass related landscape features and the building's site and environment as well as attached, adjacent or related new construction.

The Standards are to be applied to specific rehabilitation projects in a reasonable manner, taking into consideration economic and technical feasibility.

1. A property shall be used for its historic purpose or be placed in a new use that requires minimal change to the defining characteristics of the building and its site and environment.
2. The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.
3. Each property shall be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or architectural elements from other buildings, shall not be undertaken.
4. Most properties change over time; those changes that have acquired historic significance in their own right shall be retained and preserved.
5. Distinctive features, finishes, and construction techniques or examples of craftsmanship that characterize a property shall be preserved.
6. Deteriorated historic features shall be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature shall match the old in design, color, texture, and other visual qualities and, where possible, materials. Replacement of missing features shall be substantiated by documentary, physical, or pictorial evidence.
7. Chemical or physical treatments, such as sandblasting, that cause damage to historic materials shall not be used. The surface cleaning of structures, if appropriate, shall be undertaken in the gentlest means possible.
8. Significant archaeological resources affected by a project shall be protected and preserved. If such resources must be disturbed, mitigation measures shall be undertaken.
9. New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.
10. New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

GUIDELINE CHART OF THE ARGENTA HISTORIC DISTRICT

TYPE OF WORK	HIST. DIST. COMM APPR. REQUIRED	CITY BLDG. PERMIT REQU.	TYPE OF WORK	HIST. DIST. COMM APPR. REQUIRED	CITY BLDG. PERMIT REQU.
Additions	X	X	New Construction	X	X
Ancillary Structures	X	X	Paint Colors	X	
Architectural Details & Features- <i>Changes to (brackets, decorative sashes, cornices, eave trim, etc.)</i>	X		Parking Lots	X	
			Paving	X	
			Porches	X	X
Awnings	X	X	Public Improvements	X	
Brick & Masonry		X	Retainer Walls	X	
Chimneys	X	X	Roofs	X	X
Curb Cuts	X	X	Satellite Dishes	X	X
Decks	X	X	Screen Doors, Windows, Porch	X	
Demolition	X	X	Security Doors & Windows	X	
Door Changes	X		Siding	X	X
Driveways	X		Shutters	X	
Fences	X	X	Signs	X	X
Fire Escapes	X	X	Skylights	X	X
Foundations	X	X	Solar Collectors	X	X
Gutters			Staircases	X	X
Handicapped Access Ramps		X	Steps	X	X
Landscaping			Storm Windows & Doors	X	
Lighting		X	Swimming Pools	X	X
Maintenance			Walls	X	X
Material Changes	X		Wood	X	
Mechanical Systems	X		Windows	X	
Moving Buildings	X	X			

DESIGN GUIDELINES OF THE ARGENTA HISTORIC DISTRICT

1. ADDITIONS

- A. Additions shall be of a compatible design in keeping with the original structure's character, roof shape, materials, color, and alignment of window, door, and cornice height, etc.
- B. Additions should be secondary (subordinate) to the original structure in scale, design, and placement.
- C. Additions should be located onto the rear facade, not on primary facade or visible parts of secondary facades.
- D. Additions should not attempt to imitate an earlier historic style or architectural period.
- E. Additions should be constructed in a manner that avoids extensive removal or loss of historic materials and which does not damage or destroy character-defining features.
- F. It is recommended that the exterior walls of the original structure be kept intact and existing openings utilized for connecting an addition with the original structure.
- G. Additions should not be created through enclosure of a front porch or architecturally important prominent side porch.
- H. Excavation adjacent to historic foundations should take care to avoid undermining the structural stability of the historic building.

2. ANCILLARY STRUCTURES

Includes garages, carports, storage buildings, etc.

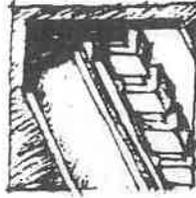
- A. Existing
 1. Should be maintained in good condition.
 2. If visible from street, should maintain original style and scale.
- B. New (See section 26. New Construction, Item C) p. 31

3. ARCHITECTURAL DETAILS AND FEATURES

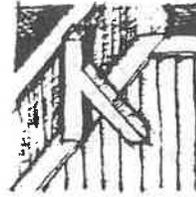
Eaves, brackets, dentils, cornices, moldings, trimwork, shingles, columns, pilasters, balustrades, or any decorative or character-defining features.



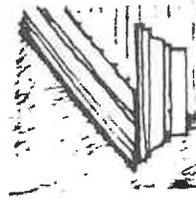
CLIPPED GABLE,
JERKIN HEAD,
-of-
BOSTON HIP



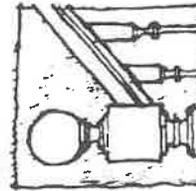
CROWN MOULD
-OVER-
DENTIL MOULD



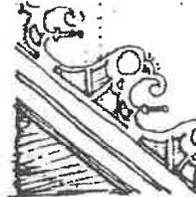
KNEE BRACE
-AND-
EAVE



RAKED CORNICE
-AND-
CORNICE RETURN



NEWEL CAP
NEWEL POST
HAND RAIL -AND-
BALUSTERS



VERGEBOARD
-AT-
CABLE END

- A. It is preferable to repair rather than replace an original architectural detail or feature.
- B. It is not appropriate to add details unless original and authentic to the structure and accurately based on physical, pictorial, or historical evidence (not conjecture) in materials, scale, location, proportions, form and detailing.
- C. Original details should not be removed or changed.

4. AWNINGS

- A. Should be individually located within major bays, not continuous.
- B. Should not cover architectural features.
- C. Should be of colors to blend with the structure.
- D. Should be made to fit opening and shall be of a style appropriate to the building.

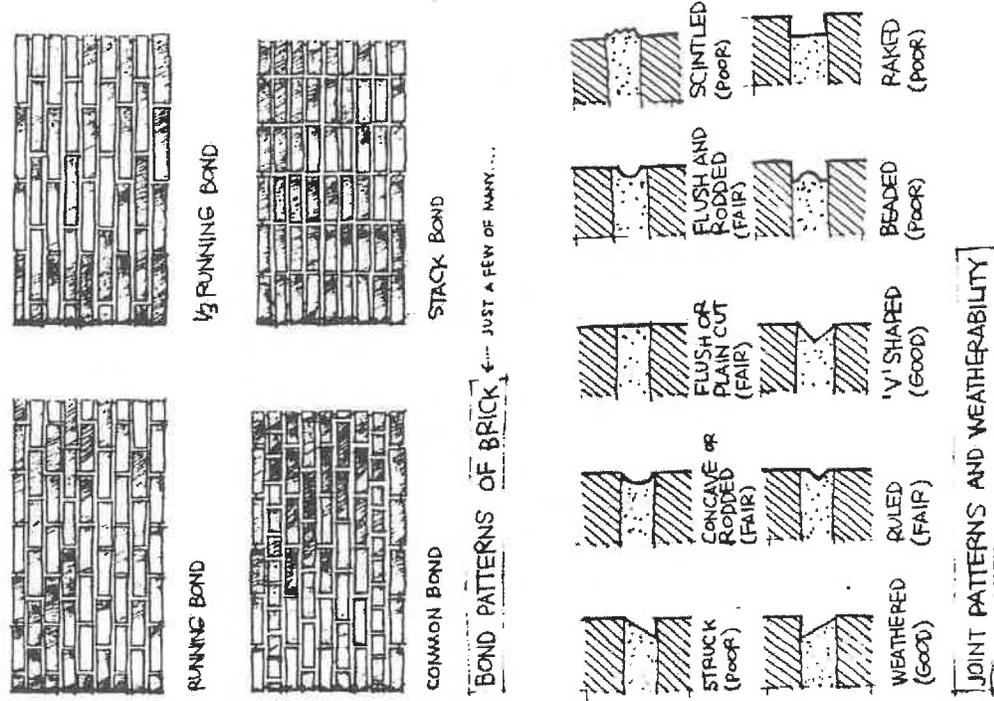
(NOTE: Awnings have traditionally been used more for function (shade) than for decoration. In terms of decoration, awnings have fallen in and out of favor over the years. If too many awnings are used on a structure or if awnings are used on too many dwellings in an area, the result can be visual clutter. For commercial buildings, historic storefronts often had awnings and a row of commercial buildings with storefront awnings is appropriate.)

5. BRICK AND MASONRY

- A. Materials original to the building should be preserved.
- B. Brick and masonry should never be sandblasted or subjected to any kind of abrasive cleaning. Do not clean with high pressure water which exceeds 450 pounds per square inch. These processes damage brick surfaces and erodes mortar joints.
- C. Should be cleaned with detergent cleansers or chemical agents.
- D. To avoid needlessly introducing moisture or chemicals into the building, brick and masonry should be cleaned only when necessary to remove heavy soiling and to stop deterioration.
- E. Paint removal should not be done if the paint is firmly adhered to, and therefore protecting the masonry surface.
- F. Water-repellent coatings should not be added unless masonry repairs have failed to stop water penetration problems.
- G. As a general rule, brick and masonry should not be painted unless in the case of brick, the brick is extremely mismatched from earlier alterations or cannot withstand weather. (stone shall not be painted)
- H. Brick and masonry should not be stuccoed.
- I. Mortar should be removed by hand tools, not electric power saws, for repairs. Electric tools can damage older brick.
- J. Repointing should match original width, depth, color, raking profile, composition and texture.

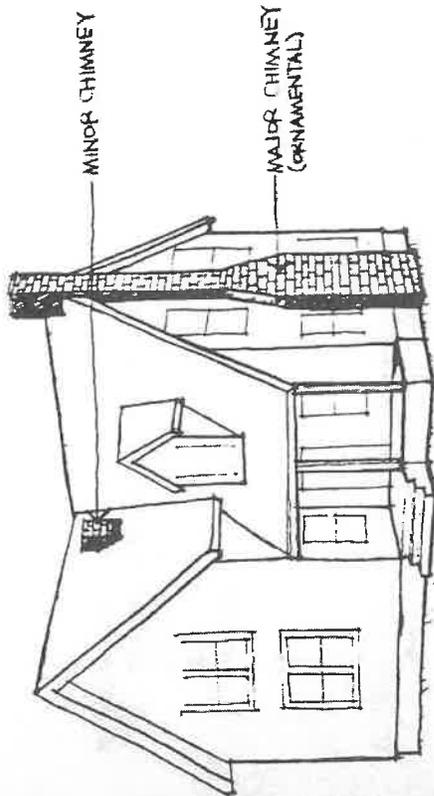
K. Repointing should never be done with Portland cement or other hard mortar but with original compounds, if it can be determined, or with a historic compound such as one part lime and two parts sand. Original type mortar compounds allows for expansion and contraction while hard mortar or cement prevents the expansion and contraction process.

L. Features that are missing may be replaced where extensive deterioration requires it, if it is accurately duplicated.



6. CHIMNEYS

- A. Chimneys which are prominent features of the structure should not be removed or changed, if original. Non-functional chimneys should be maintained and not removed above the roofline. It may be appropriate to remove non-functional secondary chimneys.
- B. Chimneys should be repointed and cleaned according to masonry guidelines to match original materials, colors, shape, brick pattern and tooling.
- C. If reconstruction of a chimney is necessary due to structural instability or deterioration, it should be rebuilt in the original configuration.



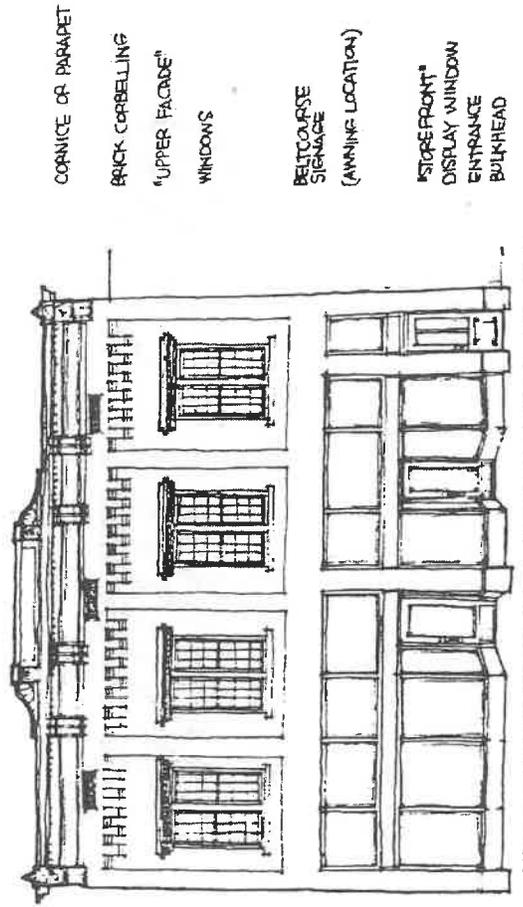
7. CODES

- A. Standard City of North Little Rock building, plumbing, and electrical codes in the most recent adopted edition must be strictly adhered to.
- B. Health codes will be strictly enforced.
- C. Any work requiring approval from the Historic District Commission will take into account city-wide code regulations.

8. COMMERCIAL BUILDINGS

A. Storefronts on Commercial Buildings.

1. Preserve (maintain or restore, not remove or alter) existing original storefronts.
2. Storefront features which are deteriorated should be repaired rather than replaced.
3. If replacement of the original storefront is necessary due to significant deterioration, replace with features to match the original in design and materials.
4. Storefronts remodeled after the 1940s should be rebuilt based on pictorial or physical evidence of the original design. If the original storefront design and features cannot be determined, install a traditional storefront arrangement with features, materials, and proportions typical of similar buildings of the same style or period.



5. Original storefront doors should be preserved and maintained.
6. Traditional entrance arrangements such as recessed or flush with the sidewalk should be maintained.
7. If the original door design is unknown, replace with a single light (glass area) door design, not solid paneled door, decorative doors, or any kind of door based upon a different historical period or style.

7. Preserve, maintain, or repair original display windows. If a storefront is missing display windows, new windows should match the original in location, design, size, and materials.
8. Display window mullions or framing should be of wood, copper, or bronze metal.
9. Clear, rather than tinted glass should be used for storefronts. If privacy, or shade is required, use interior shades or blinds.
10. Preserve, maintain, or repair bulkheads (kickplates) where they exist. Original bulkhead panels should not be removed.
11. Paint color on commercial buildings should conform to original color and general streetscape. Unpainted brick should not be painted.

B. Windows on Commercial Buildings

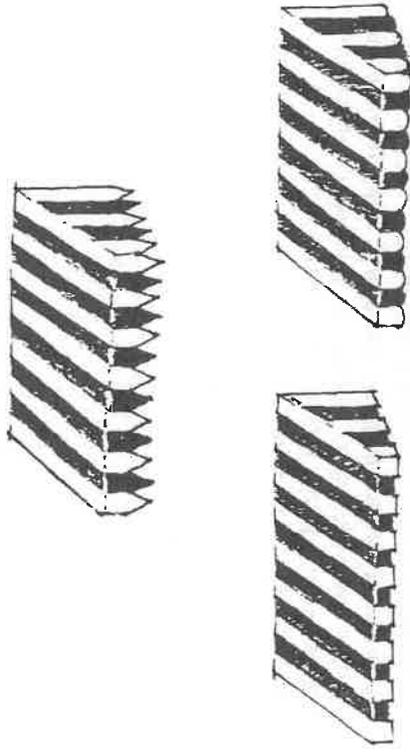
1. Window sashes should be preserved, maintained, or repaired including size, number and arrangement of lights, materials, and decorative detailing. Windows should not be concealed, enclosed or covered.

C. Upper level of Commercial Building

1. Preserve, maintain, or repair original appearance and details of brick, concrete, or terra cotta cornices. Cornices should not be concealed or covered with modern materials.
2. Architectural details such as brick corbelling, inlaid brick and concrete patterns, or clay tile roofs should not be removed or concealed.
3. Decorative architectural features should not be added to a commercial building where none originally existed.
4. Replace missing architectural features and remove facades which conceal the original facade and cornice.
5. Do not paint unpainted masonry surfaces on commercial buildings unless the masonry is mismatched or extremely deteriorated. If painting a previously unpainted building is necessary, choose a color which matches the original color of the masonry.

D. Awnings on Commercial Buildings

1. When adding awnings to a building use traditional awning designs, materials, and placement. Awnings should be of canvas, acrylic, or vinyl coated material. The use of fixed metal or wood awnings is discouraged. Shed awnings are most appropriate for downtown North Little Rock commercial buildings.



COMMON AWNING STYLES

E. Light fixtures on Commercial Buildings

1. Preserve, maintain, or repair exterior historic light fixtures. If historic light fixtures do not exist or require replacement use concealed light fixtures, fixtures of simple design, or fixtures appropriate to the period of the building.

F. Signs on Commercial Buildings

1. Signs should be of historic materials such as finished, carved wood, glass, copper or bronze letters. Plastic substrate signs and those of plywood or unfinished wood are not appropriate. Signs should be sized in proportion to the building.
2. Signs should contain lettering which does not exceed 18 inches in height and does not exceed more than 60% of the total sign area.
3. Logos and symbols for businesses are appropriate and encouraged.
4. It is recommended that the name of the business and/or address be painted
5. Signs should be placed at traditional locations such as on storefront beltcourses, upper facade walls (not to exceed 20% of the overall wall surface), hanging or mounted inside windows, or projecting from the face of the building.
6. Lighting for signs should be concealed and spot or up-lit lighting is recommended. Avoid internally-lit signs.
7. "Ghost" signs (historic painted wall signs) should be preserved and not removed.

G. Garbage Collectors for Commercial Buildings

1. Should be located to the rear and screened from street view.
2. Materials to screen garbage collectors should be compatible with surrounding buildings.

9. CURB CUTS

- A. Should generally be avoided unless necessary to access new parking for commercial and institutional structures.
- B. Should be constructed to match the historic or traditional curb cuts of the district in size, color, materials, and configuration.
- C. Curb cuts should conform to North Little Rock Planning Department for allowable locations.

10. DECKS

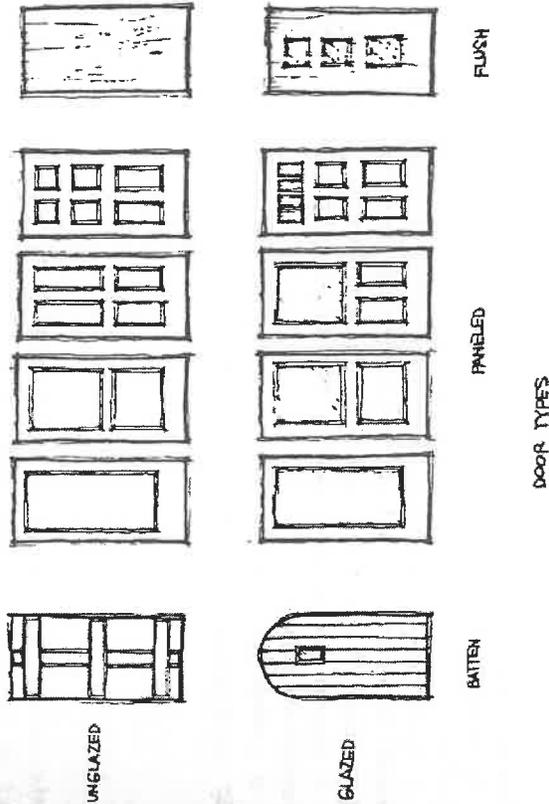
- A. Decks should be located on the rear and be screened from street view with fencing and/or plants and shrubs where visible.
- B. Decks should be stained or painted to match or blend with the house if visible from street view.
- C. The style of the deck and its balusters and railings should match the style of the house.
- D. Decks should be kept to a minimum and subordinate to house and yard in size and scale.
- E. Inappropriate decks shall be made compatible with the building or must be removed prior to the approval of any new decks.

11. DEMOLITION

- A. The demolition of any original feature or part of a historic building should be avoided.
- B. Demolition of a building which contributes to the historic or architectural integrity of the historic district should not occur, unless:
 1. Public safety and welfare requires the removal of a building or structure as determined by the building or code inspector and concurring reports commissioned by and acceptable to the NLR Historic District Commission from a structural engineer, architect, or other person expert in historic preservation.
 2. Where economic hardship (the fact that no reasonable return on or use of the building exists) has been demonstrated, proven, and accepted by the NLR Historic District Commission
 3. Where rehabilitation is undesirable due to severe structural instability or deterioration of a building
 4. The building has lost its original architectural integrity and no longer contributes to the district building
 5. No other reasonable alternative is feasible, including relocation of the building
- C. Demolition of pre-1945 secondary (ancillary) buildings (garages, storage sheds, etc.) may be appropriate if substantially deteriorated (requiring 50% or more replacement of exterior siding, roof rafters, surface materials, and structural members)

12. DOORS

- A. Original doors and/or their entranceway surrounds, sidelights, transoms, and detailing shall not be removed or changed.
- B. Replacement of missing original doors should be like or very similar to the original in style, materials, glazing (glass area) and lights (pane configuration)
- C. Extra doors should not be added to the primary facade or to secondary facades where readily visible from the street.
- D. Doors, if added where inconspicuous on secondary or rear facades, should be similar to the original doors, not of a style or period earlier than the original building.
- E. Screen doors should be preserved and maintained if original.
- F. Storm doors should be full-view and baked-on enamel or anodized aluminum in compatible colors. Silver aluminum storm doors on the primary facade is discouraged.
- G. Security doors should be simple, without excessively ornate or decorative grillwork.



13. DRIVEWAYS

- A. The original designs, materials, and placement of driveways should be preserved.
- B. Driveways for houses should be located to the side with garages and carports sited in the rear yards unless original carport and/or garage was located to the side.
- C. Concrete, concrete aggregate, patterned concrete, or brick are permitted for driveways. Concrete "tracks" for driveways was historically used and is encouraged for new paved driveways in the historic district.
- D. Asphalt driveways for residences are not permitted.
- E. Driveways should have their parking pads located in the rear yard nearer the alley than the structure and screened with hedges, shrubs, or fences where visible from the street.
- F. Front yards are not permitted to be paved, covered with gravel, or otherwise used as a parking area.

14. FENCES AND WALLS

- A. Iron, wood, stone, or brick fences or walls that are original to the structure (or built before 1945) should be preserved, or if missing, may be reconstructed based on physical or pictorial evidence.
- B. Iron fences are appropriate for substantial-sized structures other than Bungalows and other Craftsman style houses.
- C. New fences including wooden picket designs may be constructed on side or rear lot lines. They should be painted; be no taller than three-and-a-half feet; have pickets no wider than four inches and set no further apart than three inches; and of a design which is compatible with and appropriate to the house.
- D. Wood board fences for privacy should be located in rear yards; generally no taller than eight feet; set back from the front facade (wall plane) of the structure at least half-way back from the front to the back walls; of flat boards in a single row (not stockade or shadowbox); stained or painted to blend with the structure; and of a design compatible with the structure.
- E. Free-standing brick, stone, or concrete walls are not permitted, unless original.
- F. Fences should not have brick, stone, or concrete piers or posts unless based on evidence that such piers or posts are historically appropriate for the particular type of building and style in North Little Rock.

G. Chain link fences are not permitted in front yards of historic residences but may be located in rear yards where not readily visible from the street. Existing chain link fences may be screened through use of hedge, ivy or other creeping cover and can be muted through painting in shades of dark green or black.

H. Fences of split or horizontal rails are not appropriate.

I. Fences of railroad ties or timbers, whether freestanding or as retaining walls, are not permitted.

J. Within commercial zones of the historic district, alternative fencing and fence materials may be acceptable providing these types of fences are not easily visible from the street.

15. FIRE ESCAPES

A. Fire escapes are not permitted unless required by the building inspector, and no other means of fire escape is reasonably feasible. Fire escapes are required to be located where not readily visible from the street.

16. FOUNDATIONS & WALLS

A. Foundations should be preserved in their original design and with original materials and detailing.

B. Infilling between piers should be done as traditional for the type and style of the house, generally with wood lattice framed panels; with brick of color, tooling, and mortar color appropriate for the period of the house.

C. Foundations should not be concrete, plywood, corrugated metal, or shingles.

D. If of masonry, foundations should be cleaned, repaired, or repointed according to masonry guidelines.

17. GARBAGE COLLECTORS

A. For institutional and commercial structures, garbage collectors should be located in the rear and screened from street view with fencing or shrubbery.

B. For residential areas in the historic district, it is not permitted for a single family home to have a permanent garbage collector. If (as in the case of a multi-family residential building), a garbage collector is necessary, it should be to the rear of the house, or movable to the location of garbage pickup.

C. In no case should bagged, boxed or any other garbage other than in permanent garbage collectors be placed on street before regular pickup days longer than 24 hours.

18. GUTTERS

A. Boxed or built-in type gutters should be repaired rather than replaced if possible.

B. Downspouts should be located away from significant architectural features on the front of the house.

C. Gutters should provide proper drainage through use of downspouts and flashing if needed to avoid water damage to the building.

19. HANDICAP ACCESS

A. Ramps should be located on secondary or rear facades.

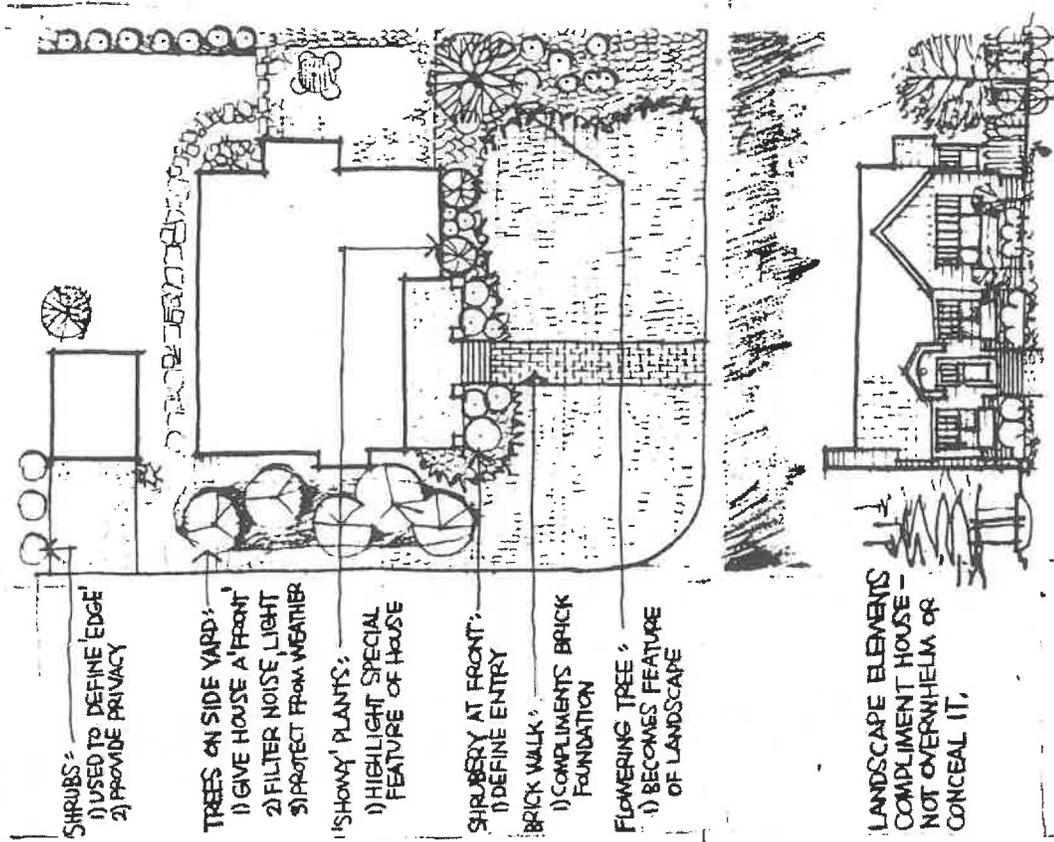
B. Ramps should be of stained or painted wood construction.

C. Ramps should be screened with landscaping of low shrubbery to soften their appearance.

20. LANDSCAPING

- A. Features that are original or early (pre-1945) such as sidewalks, planned green space, retaining walls, curbs, stepping blocks, etc. should be preserved.
- B. Plant beds of railroad ties, cut wood, concrete, or any other structural material should be avoided.
- C. Plant materials other than that which may be required for parking lots do not require approval.
- D. Landscaping should not overwhelm a dwelling or conceal or obscure its primary facades.
- E. It is important to maintain the large trees which line the streets of the residential areas of the historic district through regular pruning. Missing trees should be replaced when possible in similar patterns to the original.
- F. Landscaping must conform to the requirements of the City of North Little Rock governing trees, tree removal, and site clearing.
- G. Landscape projects should be considered an important part of any site rehabilitation or new construction. In such cases, continuing the planting strip of trees at the street edge, use of landscaping to buffer parking, and landscaping to accent the scale, proportion, and massing of a building is encouraged.

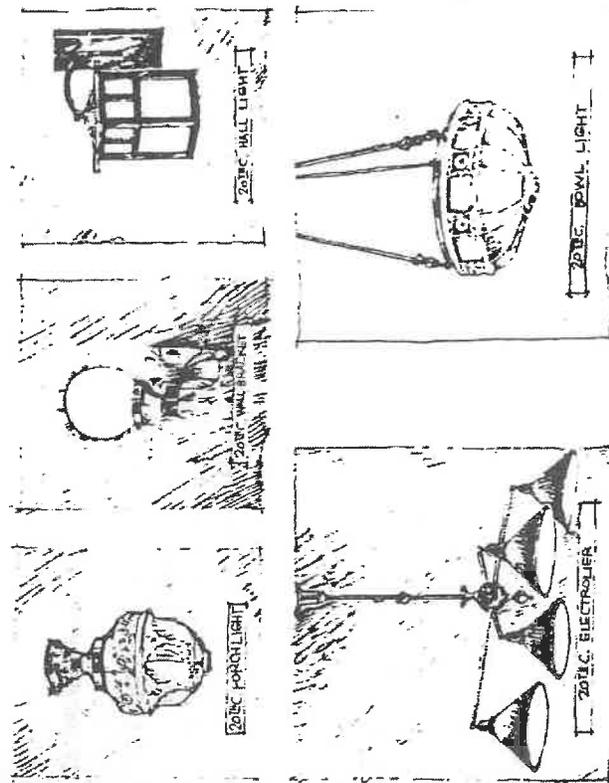
NOTE: Although landscape planning does not require approval, general considerations are to use landscape plants native to Central Arkansas such as boxwoods, dogwoods, roses, and azaleas. Maintain, do not remove, historic or early landscaping, especially trees (prune and regularly maintain mature shade trees). Keep new landscape patterns as historically traditional for the neighborhood, and avoid concealing architectural features of the historic building.



LANDSCAPE

21. LIGHTING

- A. Lighting fixtures original to the building should be preserved.
- B. Fixtures to be added should be from the period of the structure, or if new, simple in design, based on traditional designs of the early twentieth century, and mounted on porch ceilings or on the exterior wall adjacent to the primary entrance.
- C. Security lighting, such as flood lights, should be mounted on secondary and rear facades.
- D. Small footlights rather than freestanding post-mounted lights are more appropriate for walkways and driveways.
- E. Fixtures to be avoided are carriage lamps or any fixtures evocative of a period earlier than the building. Refer to historical photographs and research for light fixtures appropriate to the period of the building.
- F. Post-mounted lights in residential areas should not exceed ten feet in height and should be brass, copper or painted metal on posts of wood, cast iron or painted metal.
- G. Although no original commercial area streetlights remain, it would be appropriate to add fixtures based on original designs. (historical photographs available)
- H. Streetlighting in the residential district should provide effective security for the neighborhood without compromising the historic large trees lining the streets.



LIGHT FIXTURES

22. MAINTENANCE

A. Materials

1. Prevent water from making contact with exterior wood siding. Of particular importance is keeping all gutters and downspouts in good repair to keep water from infiltrating the wood surface.
2. All exposed wood should be kept painted or treated with preservatives.
3. Repairs for wood siding such as cracks can be made through the use of waterproof glue or plastic wood. Large cracks may be filled with caulk followed by putty or plastic wood. The surface should then be sanded, allowed to dry, and painted.
4. Where exterior siding has to be replaced the use of pressure treated wood is recommended to prevent deterioration. Replacement siding should match the profile of the existing siding.
5. Oil based paints are recommended for exterior siding.
6. Keep exterior brick clean of vines, ivy, and other plant materials. Washing with detergents and water are best for exterior masonry and mortar. Sandblasting, water-blasting and other abrasive cleaning methods are detrimental to historic buildings and should not be used.
7. Repointing of historic mortar should be with a mortar which matches the original in appearance and composition. The use of Portland cement is generally not appropriate due to the hardness of the mortar versus the softness of the brick. (Most mortar prior to 1900 was composed of lime and sand and a mortar with similar content should be applied.)
8. Most silicone based or waterproof coatings have limited effectiveness and may actually add to moisture problems by not allowing the brick to breathe. The use of these products is discouraged.

B. Roof, Cornices, Chimneys

1. Check the roof regularly for leaks, deterioration of flashing, and worn roof surfaces such as on rolled or asphalt shingles. An inspection of the upper floor or attic space during or following a rainstorm can also assist in detection of water related problems.
2. Know what metals are used in your cornice or roof's flashing and use only similar metals during replacement or repair. Different metals should not touch each other or a galvanic reaction may occur leading to corrosion.

3. Metal roofs and cornices should be kept painted to prevent rust and deterioration. Appropriate paints include those with an iron oxide oil base. Asphalt based paints and aluminum paints should not be used on historic metals as they could accelerate the rusting process.
4. Chimneys should be regularly checked for cracking, leaning, spalling, and infestation by birds and insects. The use of chimney caps over chimneys or flue openings is recommended to keep out moisture.

C. Gutters & Downspouts

1. Keep gutters and downspouts in good repair. Make sure they are properly connected, are clean of leaves and other debris, and channel water away from the building. Seal all cracks in downspouts with silicone caulk or sealants.
2. The use of splash blocks to keep water away from the foundation is recommended.
3. Gutters and downspouts which are deteriorated should be replaced with new gutters and downspouts. Half-round gutters and round downspouts are preferable to corrugated designs.

D. Foundations

1. All water should drain away from a building and should not enter the foundation.
2. Trees, shrubs and other plants should be kept well away from the foundation to prevent damage from moisture and root movement.

E. Porches & Exterior Ornamentation

1. Use pressure treated wood for exterior repairs and replacement.
2. Keep all porch and trim elements painted.

F. Entrances

1. Doors, transoms, and sidelights should be kept clean and the glass should be washed.
2. Original locks and hardware should be kept oiled and in good repair. If original hardware is missing or is deteriorated, the use of reproduction locks and hardware suitable for the building is recommended.
3. Doors with stained wood finish should be kept varnished and paint over the wood finish is not recommended.

G. Windows

1. Windows should be kept clean and free of dirt and grime. Wood sash surfaces should be painted regularly.
2. Windows should be kept caulked and sealed to aid in energy conservation.
3. Shutters should be kept painted and in good repair.
4. Old or deteriorated curtains or shades behind windows should be removed or replaced.

H. Awnings

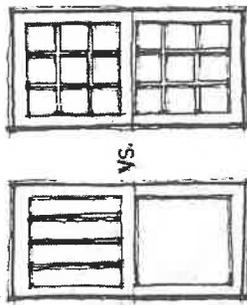
1. Canvas awnings should be washed periodically and kept in good repair.
2. Awning hardware should be regularly checked for rust or loose mechanisms.
3. Awnings which become torn or otherwise deteriorated should be replaced.

I. Signs

1. Abandoned signs and sign hardware should be removed from buildings, unless historic.
2. Signs should be kept painted and mounting bolts should be checked periodically to make sure they are secure.
3. Light fixtures, conduits, and wiring for signs should be inspected and replaced when necessary.

23. MATERIAL CHANGES

- A. Substituting original materials in making repairs or in replacing missing features should be avoided.
- B. Application of such uncharacteristic materials as steel siding, aluminum siding, vinyl siding, imitation stucco, and metal frame windows obscures the original character of the building and of the neighborhood.
- C. Saving deteriorated parts which must be replaced may later assist in matching reconstructed features. Items such as wood siding, soffits, fascias, brackets, ornamental shingles, wooden sash windows and doors can often be restored or duplicated.
- D. If original siding materials are replaced, the new siding should match the original as closely as possible, especially with respect to board size. Original corner boards should be duplicated in their full original width.
- E. Repair existing stucco and stucco texture. It is inappropriate to remove stucco from any originally stuccoed surface or to add stucco as a major wall material to any building which did not originally use stucco as the dominant exterior wall material.



vs.

MATERIAL CHANGES - WHAT NOT TO DO.



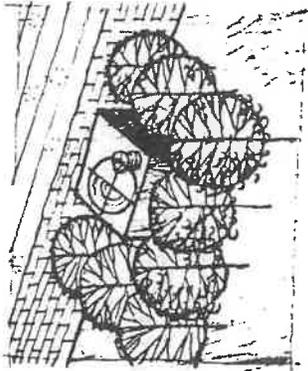
WOOD VS. SYNTHETIC

THIN VS. WIDE

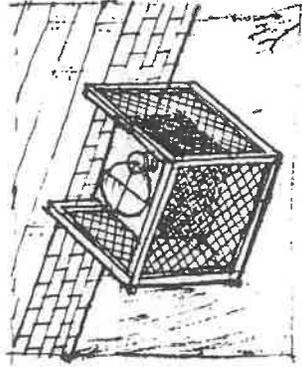
NOTE: The application of synthetic wall materials such as aluminum and vinyl siding has long been discouraged by preservationists due to fact that the placement of these materials may seal the wall and cause the wood to rot. In many cases, existing rotted wood is not removed and the structural integrity of the house is at risk due to unseen progressive decay. Aluminum siding is not necessarily a solution to painting. Paint companies now sell a paint specifically developed for aluminum siding.

24. MECHANICAL SYSTEMS

- A. HVAC units should be located where not readily visible from the street.
- B. Systems, if visible, should be screened with shrubbery or fencing.
- C. Window air-conditioners should be located in windows on the rear or side facades and should not result in the removal or replacement of the original window sash or surround.
- D. Electrical and gas meters and other mechanical equipment shall be located on the rear facade.



SCREENING UNIT W/SHRUBS



SCREENING UNIT W/ LATTICE

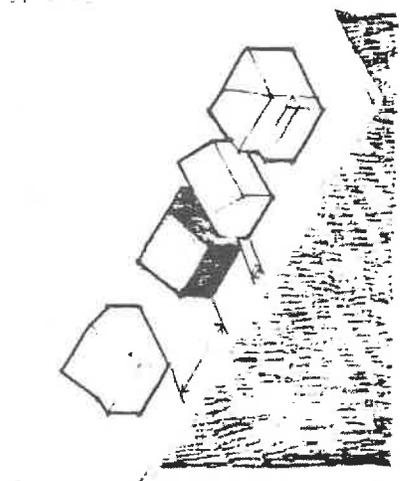
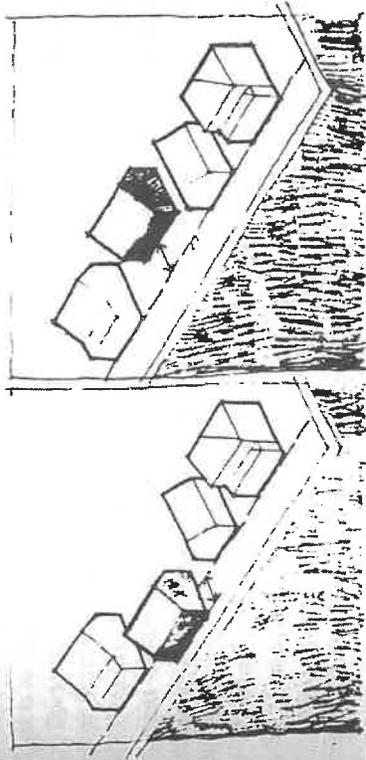
25. MOVING BUILDINGS

- A. It may be appropriate to move a building into the historic district if that building is compatible with the district's architectural character through style, period, height, scale, materials, setting, and placement on the lot.
- B. New foundation walls should be compatible with the architectural style of the building.
- C. Moving existing buildings out of the district that contribute to the historic and architectural character of the district should be avoided unless demolition is the only alternative.

26. NEW CONSTRUCTION

A. New construction of primary buildings shall maintain, not disrupt, the existing pattern of surrounding historic buildings along the street by being similar in the following:

1. Scale (height and width)
2. Shape
3. Roof shape and pitch
4. Orientation to the street
5. Location and proportion of entrances, windows, columns, porches, and divisional bays
6. Foundation/first floor height
7. Floor-to-ceiling height
8. Porch height and depth
9. Material and material color
10. Texture
11. Placement on the lot



B. New construction of secondary structures such as garages, storage buildings and other outbuildings should be:

1. Smaller in scale than the primary building
2. Simple in design but reflecting the general character of the primary building
3. Located where such a structure would have historically been located (near the alley, not close to or attached to the primary building).
4. Compatible in design, shape, materials, and roof shape.

27. NON-HISTORIC BUILDINGS

A. Although a building may not be historic at this time, some day it will be (it is generally accepted that a building is considered "historic" when it reaches fifty years). Each building period has its own details and characteristics which give that particular building its uniqueness. Non-historic buildings should be maintained as close to their original design as possible.

28. PAINT COLORS

A. Paint colors should highlight architectural details. Keep colors compatible with the building's style and period of construction; avoid loud, garish, or harsh colors and bright hues; avoid too many colors on a building; and select where to highlight architectural details based on historic tradition for the building's type and style.

B. Craftsman style homes (which comprise the majority of residences in the historic district) were generally painted or stained in deep rich tones with lighter trim. Colonial Revival buildings were generally pale tones with one or two accent colors.

C. Do not paint brick, stone or other naturally unpainted materials unless the material has been painted previously.

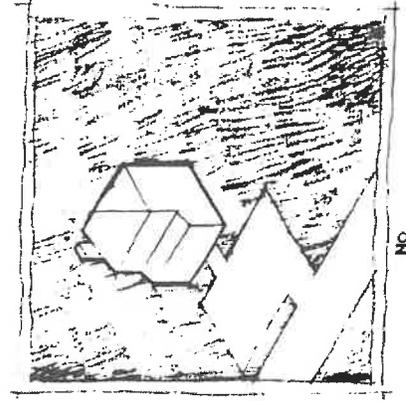
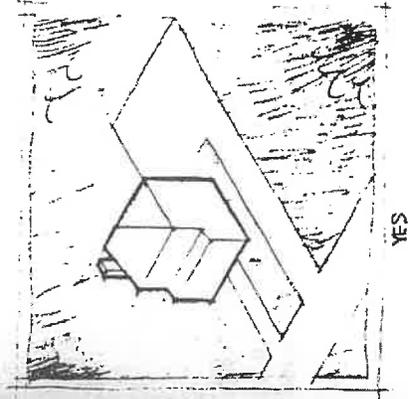
D. Color determinations should be based on historic schemes appropriate for the style of the building. Reference materials and assistance is available from the North Little Rock Historic District Commission and the Arkansas Historic Preservation Program in determining appropriate paint colors.

29. PARKS/PLAYGROUNDS

- A. If an existing park, original pre-1945 buildings, site features (such as benches, walls, etc.) and park layout should be preserved, if possible.
- B. New park space should conform to its location. If in a residential area, a low-impact park with playground equipment and benches is appropriate. Landscaping should conform with the surrounding area with as many original shade trees as possible.
- C. Proposed new playground equipment should be reviewed by the North Little Rock Historic District Commission.

30. PARKING & PARKING LOTS

- A. No property shall be converted to parking usage without Commission approval.
- B. Parking is not permitted to be located in front yards of houses.
- C. Residential parking areas should be gravel or concrete instead of asphalt. Asphalt is appropriate for commercial parking areas.
- D. Parking lots should be screened through plantings of hedges, shrubs, trees, or fences at edges and in medians within.
- E. Parking lots for houses used for commercial purposes, churches, apartment buildings, or schools should be located in rear yards, if possible, but if necessary in a side yard should be located no closer than the front wall of the building.
- F. Parking lots between buildings should align edge screening with front facades of adjacent buildings.
- G. Parking lots on corner lots should have edge screening on both the primary and secondary street.



31. PAVING

- A. Paving should be gravel or concrete instead of asphalt for houses.
- B. It is appropriate for paving of driveways to houses to be of gravel or concrete (tracks or narrow strips) where visible from the street.
- C. The use of asphalt is appropriate only for paving in the commercial areas of the historic district.

32. PORCHES

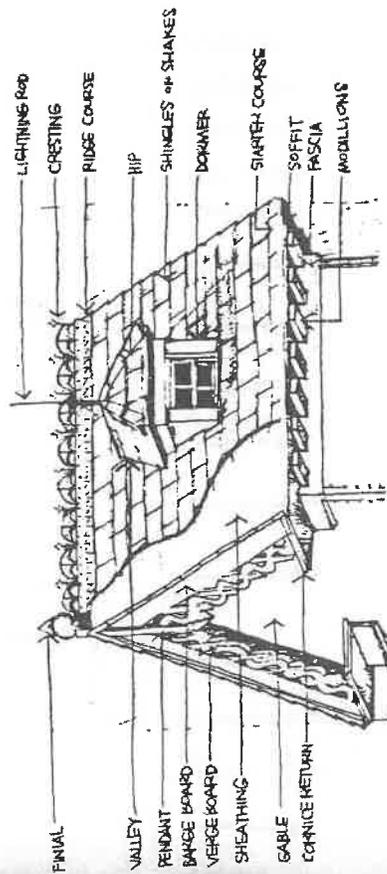
- A. Porches on front and side facades should be maintained in their original configuration and with original materials and detailing.
- B. The porch in its original design was intended as a focal point for the entrance to the house and should not be removed if original. Enclosure of a porch changes the overall character of a house and should be avoided.
- C. Enclosure or removal of a porch can make a building facade seem flat. Without a porch there is no transition from sidewalk to house. If a porch must be enclosed, the manner of the enclosure should not destroy the original openness, focus and transition from outside to inside. The use of materials and details compatible with the original character of the house is important in any necessary porch enclosure.
- D. Porch details should be retained intact with repairwork and replacement of missing parts, such as columns, posts, railings, balusters, decorative molding and trimwork, to match the original in design, materials, scale, and placement.
- E. Porch columns and rails should not be replaced by decorative wrought iron.
- F. Side and rear facade porches generally should not be enclosed, but if not readily visible from the street, may be; if the height and shape of the porch roof is maintained; and if the materials and placement and size of openings matches the main building.
- H. Front porches should not be screened.
- I. Although discouraged, side and rear porches may be screened, if the structural framework for the screen panels is minimal and the open appearance of the porch is maintained.
- J. Porches should have wood tongue and groove flooring running perpendicular to the facade (unless original floor is concrete).

33. RETAINING WALLS

- A. Stone, brick, or concrete retaining walls that are original to the building (or built before 1945) should be preserved and maintained.

34. ROOFS

- A. The original shape and pitch of the roof with original features (such as cresting, chimneys, finials, dormers, etc.) should be preserved and, if previously altered, replaced with original form and detailing.
- B. The use of fiberglass shingles is appropriate if the use of original material is not economically feasible. Dark colors are best for historic buildings.
- C. Unless original to the house, dormers should not be placed in front rooflines. The addition of dormers to secondary and rear facades is appropriate if in keeping with the character and scale of the house.
- D. Skylights, decks, or balconies should not be added to a roof where visible from the street.



ROOF COMPONENTS

35. SATELLITE DISHES

- A. Satellite dishes should only be installed in rear yards or side yards not visible from the street.

36. SCREENS

- A. Screening of front porches is not appropriate.
- B. Side and rear porches may be screened, although discouraged, if the structural framework for the screen panels is minimal and the open appearance of the porch is maintained.
- C. Screen doors should be preserved and maintained if original.
- D. Screen doors if new, should be wood and full-view or with structural members aligned with those of the original door.
- E. Window screens should be wood or baked-on or anodized aluminum and fit within the window frames, not overlap the frames.

37. SECURITY DOORS & WINDOWS

- A. Security doors located on primary facades should be simple and without excessively ornate or decorative grillwork.
- B. The use of security bars on primary facade windows is discouraged, but if necessary, consider internal bars.

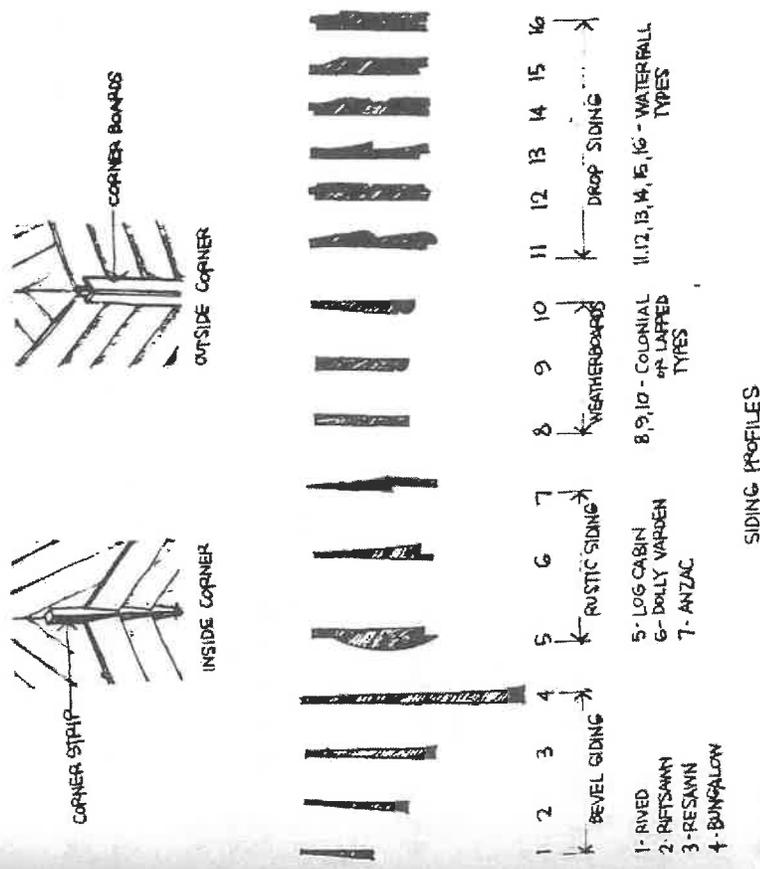
38. SIDEWALKS

- A. Sidewalks original to the property or district should be preserved.
- B. Sidewalks to be added should be brick or concrete in patterns, dimensions, colors, and placement like original or early sidewalks in the district.
- C. Sidewalks should not be aggregate or pebble-surfaced or asphalt.

39. SIDING

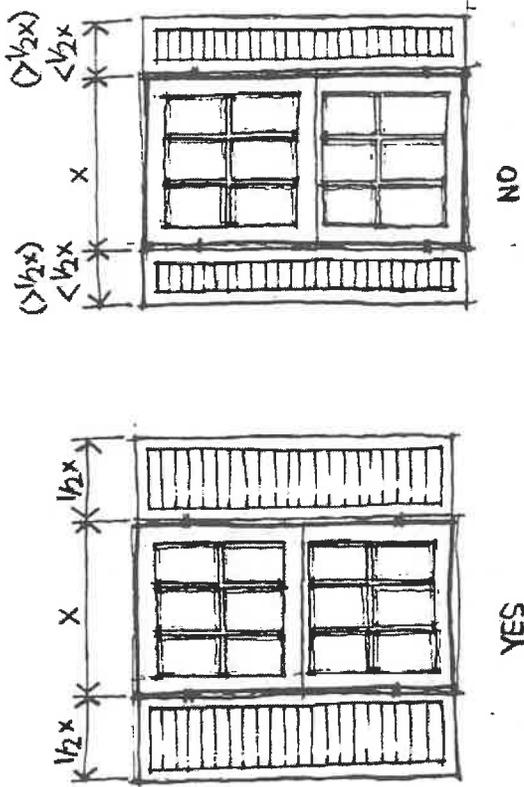
- A. Siding original to the building should be repaired and maintained. Replacement is permitted only when necessary due to deterioration.
- B. Siding of artificial or substitute materials such as steel, vinyl or aluminum is discouraged unless the board width, corner boards, cornice and window trim are of same proportion as the original. If artificial siding is used, retention of original wood window trim, rafter tails, and ornamental wood detailing is encouraged.
- C. Wall shingles original to the building should be preserved but if replacement is necessary the new shingles should match the original in size, placement and design. Replacement with siding is not appropriate.

NOTE: See Note following Section 23- Material Changes for discussion of synthetic siding.



40. SHUTTERS

- A. Windows should not have shutters added unless the building originally had them, the shutters are of louvered wood construction, and the shutters will fit the window opening (so that if closed, they would cover the window opening).



41. SIGNS

- A. If historic (original or early to the district), should be preserved.
- B. "Ghost" signs (historic painted on side wall of building) should be preserved and maintained.
- C. Signs which flash or rotate shall not be used.
- D. Signs should be kept to a minimum, one per house or two per commercial building.
- E. Freestanding signs may be used where necessary but should be low and small and constructed of wood or a non-reflective finish.
- F. Signs attached to a building should be painted on windows or doors, small identification panels at entrances, small signs hung on porches between posts, flush-mounted small signs on building wall, small projecting signs, or as part of an awning.

G. Signage painted on storefront windows of commercial buildings should contain only the name of the business and address and must be approved by the Commission.

H. Signage should not cover or obscure architectural features.

I. Signs of neon or internal lighting should not be used on dwellings or commercially used residential buildings but may be appropriate for commercial buildings.

J. Signs should not be illuminated with visible bulbs or luminous paints, but with remote sources.

K. Signs should be of traditional materials such as finished wood, glass, copper, or bronze, not plywood, plastic or unfinished wood.

L. The sign size should be proportionate to the building, not oversized.

M. Signs should utilize logos or symbols for businesses.

N. Signs should have no more than three colors and use colors that coordinate with the building colors.

O. Traditional lettering in letters not exceeding 18 inches in height or cover more than 60 percent of the total sign area is appropriate.

P. Signs mounted on masonry walls should be anchored into the mortar, not the masonry.

Q. All city signage specifications must be followed.

R. Trailer signs are prohibited within the historic district.

S. Plaques used to denote specific information about a building or site are allowed providing that the plaque is flush mounted in or adjacent to the sidewalk along the principal facade of a building or along the principal street adjoining an historic site.

1. Plaques should not exceed 24" X 24" in size.

42. SKYLIGHTS

A. Skylights should not be added where visible from the street.

43. SOLAR COLLECTORS

A. Solar energy panels should be located on rear sections of the roof, behind dormers or gables or other areas not visible from the street.

44. STAIRCASES

A. Staircases should not be added to building exteriors where visible from the street.

45. STEPS & WALKS

A. Steps and walks original to a property should be retained and maintained.

46. STORM WINDOWS & DOORS

A. Storm doors should be full-view and baked-on enamel or anodized aluminum in a color compatible with the building.

B. Storm windows should be wood or baked-on or anodized aluminum and fit within the window frames, not overlap the frames.

47. SWIMMING POOLS

A. Swimming pools should be located in rear yards and screened from street view by fencing.

48. VACANT LOTS

A. All plumbing, gas and electrical lines must be disconnected and capped in a safe manner in compliance with the City of North Little Rock.

B. Debris from vacant lots shall be removed.

C. Planting of and maintenance of ground cover is encouraged. Grassy lots must be kept cut.

D. Trees and shrubbery on vacant lots shall be pruned and maintained.

49. WALLS

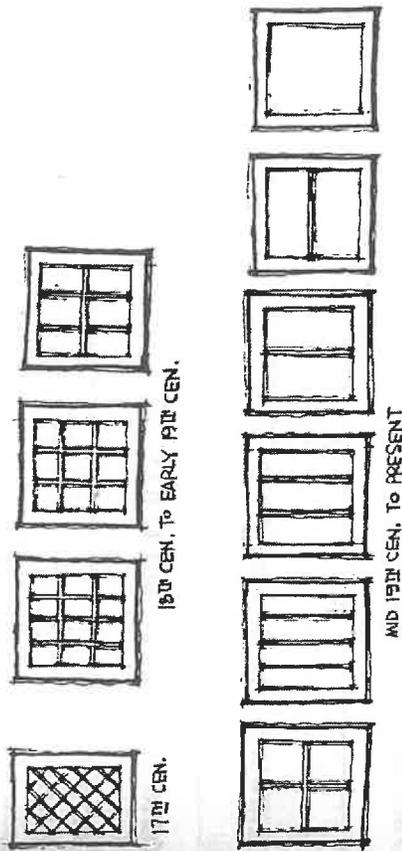
A. Wood and masonry walls original to the building should be repaired rather than replaced.

B. Walls of artificial or substitute materials such as vinyl, steel, aluminum, masonry, or permastone is not advised.

C. Brickwork and wood siding original to the building should be preserved but if replacement is necessary, the materials should match the original in size, design, and texture.

50. WINDOWS

- A. Windows should be preserved in their original location, size, and design and with their original materials and numbers of panes.
- B. Non-original windows should not be added to primary facades or to secondary facades where readily visible.
- C. Windows should be repaired rather than replaced, but if replacement is necessary due to severe deterioration, the replacement should, as close as possible, match the original in material and design.
- D. The use of jalousie windows, awning windows or picture windows on houses within the historic district is inappropriate. Glass block should only be used on buildings where it may have originally existed.
- E. Screens and or storm windows should be wood or aluminum with baked-on or anodized finish and fit within the window frames, not overlap the frames.
- F. Windows should not have shutters added unless the building originally had them, the shutters are of louvered wood construction, and the shutters will fit the window opening (so that if closed, they would cover the window opening).
- G. Security bars which are visible from the street are discouraged. If these are installed, they should be as unobtrusive as possible. Internally mounted security bars should also be considered. Bedrooms should have openable security bars.



WINDOWS - GLAZING PATTERNS

51. WOOD

- A. Wood and wood details original to a building should be repaired rather than replaced.
- B. Exposed structural elements such as beams and rafter tails are a decorative element in the Craftsman style and should be retained and maintained.
- C. Replacement of wood features and details should match the original in dimension, size and profile.
- D. Wood should always be treated and kept in good order (including paint, stain, nailing, etc.)

APPENDIX A - SAMPLE CERTIFICATE OF APPROPRIATENESS (COA) APPLICATION

Certificate # _____ ESTIMATED DATE(S) OF PROPOSED WORK _____

All items must be completed. Mark "NA" if not applicable. If additional space is needed, attach more pages to this form.

DATE _____ PROJECT ARCHITECT/ENGINEER/CONTRACTOR _____
 Name _____
 Address _____
 Telephone _____

ESTIMATED COST OF PROJECT _____

OWNER _____
 Name _____
 Address _____
 Telephone _____

PERSON FILING APPLICATION, IF OTHER THAN OWNER _____
 Name _____
 Address _____
 Telephone _____

ORIGINAL USE OF PROPERTY _____

CURRENT USE OF PROPERTY _____

DESCRIPTION OF PROPOSED WORK _____

Signature of Applicant

*Submit the following information with the application.
 The North Little Rock History Commission cannot review
 your application until the necessary information is submitted.*

FOR EXISTING BUILDINGS:

- 1) accurate (scaled) sketch, photograph, or drawing of each elevation where changes are proposed, showing existing appearances and proposed changes
- 2) description of materials to be used and an overall scheme, including, but not limited to, foundation, walls, trim, windows, doors, roof, chimneys, and any other exterior surface or detail

FOR NEW CONSTRUCTION:

- 1) accurate (scaled) sketch of all elevations showing proposed appearance and its relationship to adjacent and nearby buildings
- 2) description of materials to be used including all exterior surfaces and details

FOR DEMOLITION:

- 1) current photographs of each elevation
- 2) current evaluation by professional architect, engineer
- 3) demolition cost estimate

FOR MOVING A BUILDING INTO OR OUT OF THE HISTORIC DISTRICT:

- 1) current photograph of building in current location
- 2) current photograph of proposed site and its adjacent buildings
- 3) cost estimate of move



APPENDIX B - GLOSSARY OF TERMS

A. PROCEDURAL DEFINITIONS

Certificate of Appropriateness: A document awarded by a preservation commission allowing an applicant to proceed with a proposed alteration, demolition, or new construction in a designated area or site, following a determination of the proposal's suitability according to applicable criteria.

Certified Local Government: Any city, county, parish, township, municipality, or other general purpose subdivision enacted by the National Preservation Act Amendments of 1980 to further delegate responsibilities and funding to the local level.

Due Process: The established procedure by which legal action is carried out.

Normally Required: Mandatory actions, summarized in the guidelines, whose compliance is enforced by the preservation commission.

Public Notice: The advertisement of an event, such as a Historic District Commission meeting, that is published in the local newspaper and posted in the city government building in order to notify the general public of the upcoming event.

Recommended: Suggested, but not mandatory actions summarized in the guidelines.

B. TECHNICAL DEFINITIONS

Adaptive Use: Rehabilitation of a historic structure for use other than its original use such as a residence converted into offices.

Addition: New construction added to an existing building or structure.

Alteration: Work which impacts any exterior architectural feature including construction, reconstruction, repair, or removal of any building element.

Appropriate: Especially suitable or compatible.

Building: A structure used to house human activity such as a dwelling, office, or garage.

Character: The qualities and attributes of any structure, site, street or district.

Commission: The North Little Rock Historic District Commission.

Configuration: The arrangement of elements and details on a building or structure which help to define its character.

Contemporary: Reflecting characteristics of the current period. Contemporary denotes characteristics which illustrate that a building, structure, or detail was constructed in the present or recent past rather than being imitative or reflective of a historic design.

Compatible: In harmony with location and surroundings.

Context: The setting in which a historic element, site, structure, street, or district exists.

Demolition: Any act which destroys in whole or in part a building or structure.

Demolition by Neglect: The destruction of a building or structure through abandonment or lack of maintenance.

Design Guidelines: Criteria developed by preservation commissions to identify design concerns in an area and to help property owners ensure that rehabilitation and new construction respect the character of designated buildings and districts.

Element: A material part or detail of a site, structure, street, or district.

Elevation: Any one of the external faces or facades of a building.

Fabric: The physical material of a building, structure, or community, connoting an interweaving of component parts.

Harmony: Pleasing or congruent arrangement.

Height: The distance from the bottom to the top of a building or structure.

Historic District: A geographically definable area with a significant concentration of buildings, structures, sites, spaces, or objects unified by past events, physical development, design, setting, materials, workmanship, sense of cohesiveness or related historical and aesthetic associations. The significance of a district may be recognized through listing in a local, state, or national landmarks register and may be protected legally through enactment of a local historic district ordinance administered by a Historic District Commission or historic district board.

Historic Imitation: New construction or rehabilitation where elements or components mimic an architectural style but are not of the same historic period as the existing building (historic replica).

Infill: New construction in historic districts on vacant lots or to replace existing buildings.

Landmark: A building, structure, object or site which is identified as a historic resource of particular significance.

Landscape: The totality of the built or human-influenced habitat experienced at any one place. Dominant features are topography, plant cover, buildings, or other structures and their patterns.

Maintain: To keep in an existing state of preservation or repair.

Material Change: A change that will affect either the exterior architectural or environmental features of an historic property or any structure, site or work of art within an historic district.

New Construction: Construction which is characterized by the introduction of new elements, sites, buildings, or structures or additions to existing buildings and structures in historic areas and districts.

Obscured: Covered, concealed, or hidden from view.

Preservation: Generally, saving from destruction or deterioration old and historic buildings, sites, structures, and objects and providing for their continued use by means of restoration, rehabilitation, or adaptive use.

Proportion: Harmonious relation of parts to one another or to the whole.

Recommendation: An action or activity advised but not required by the North Little Rock Historic District Commission.

Reconstruction: The act or process of reproducing by new construction the exact form and detail of a vanished building, structure, or object, or a part thereof, as is appeared at a specific period of time.

Rehabilitation: The act or process of returning a property or building to usable condition through repair, alteration, and/or preservation of its features which are significant to its historical, architectural, and cultural values.

Restoration: The act or process of accurately taking a building's appearance back to a specific period of time by removing later work and by replacing missing earlier features to match the original.

Retain: To keep secure and intact. In the guidelines, "retain" and "maintain" describe the act of keeping an element, detail, or structure and continuing the same level of repair to aid in the preservation of elements, sites and structures.

Re-use: To use again. An element, detail, or structure might be reused in historic districts.

Rhythm: Movement or fluctuation marked by the regular occurrence or natural flow of related elements.

Scale: Proportional elements that demonstrate the size, materials, and style of buildings.

Setting: The sum of attributes of a locality, neighborhood, or property that defines its character.

Significant: Having particularly important associations within the contexts of architecture, history, and culture.

Stabilization: The act or process of applying measures essential to the maintenance of a deteriorated building as it exists at present, establishing structural stability and a weather-resistant enclosure.

Streetscape: The distinguishing character of a particular street as created by its width, degree of curvature, paving materials, design of the street, and forms of surrounding buildings.

Style: A type of architecture distinguished by special characteristics of structure and ornament and often related in time; also a general quality of a distinctive character.

C. GLOSSARY OF TERMS

Addition: New construction added to an existing building or structure.

Alteration: Work which impacts any exterior architectural feature including construction, reconstruction, or removal of any building or building element.

Apron: A decorative, horizontal trim piece on the lower portion of an architectural element.

Arch: A curved construction of wedge-shaped stones or bricks which spans an opening and supports the weight above it. (see flat arch, jack arch, segmental arch and semi-circular arch)

Attic: The upper level of a building, not of full ceiling height, directly beneath the roof.

Baluster: One of a series of short, vertical, often vase-shaped members used to support a stair or porch handrail, forming a balustrade.

Balustrade: An entire rail system with top rail and balusters.

Bargeboard: A board which hangs from the projecting end of a gable roof, covering the end rafters, and often sawn into a decorative pattern.

Bay: The portion of a facade between columns or piers providing regular divisions and usually marked by windows.

Bay Window: A projecting window that forms an extension to the floor space of the internal rooms: usually extends to the ground level.

Belt Course: A horizontal band usually marking the floor levels on the exterior facade of a building.

Board and Batten: Siding fashioned of boards set vertically and covered where their edges join by narrow strips called battens.

Bond: A term used to describe the various patterns in which brick (or stone) is laid, such as "common bond" or "Flemish bond".

Bracket: A projecting element of wood, stone or metal which spans between horizontal and vertical surfaces (eaves, shelves, overhangs) as decorative support.

Bulkhead: The structural panels just below display windows on storefronts. Bulkheads can be both supportive and decorative in design. 19th century bulkheads are often of wood construction with rectangular raised panels. 20th century bulkheads may be of wood, brick, tile, or marble construction. Bulkheads are also referred to as kickplates.

Bungalow: Common house form of the early 20th century distinguished by horizontal emphasis, wide eaves, large porches and multi-light doors and windows.

Capital: The head of a column or pilaster.

Casement Window: A window with one or two sashes which are hinged at the sides and usually open outward.

Certified Local Government: Any city, county, parish, township, municipality, or borough or any other general purpose subdivision enacted by the National Preservation Act Amendments of 1980 to further delegate responsibilities and funding to the local level.

Clapboards: Horizontal wooden boards, thinner at the top edge, which are overlapped to provide a weather-proof exterior wall surface.

Classical Order: Derived from Greek and Roman architecture, a column with its base, shaft, capital and entablature having standardized details and proportions, according to one of the five canonized modes: Doric, Tuscan, Ionic, Corinthian, or Composite.

Clipped Gable: A gable roof where the ends of the ridge are terminated in a small, diagonal roof surface.

Colonial Revival: Style of the early 20th century based on interpretations of architectural forms of the American colonies prior to the Revolutionary War.

Column: A circular or square vertical structural member.

Common bond: A brickwork pattern where most courses are laid flat, with the long "stretcher" edge exposed, but every fifth to eighth course is laid perpendicularly with the small "header" end exposed, to structurally tie the wall together.

Corbel: In masonry, a projection, or one of a series of projections, each stepped progressively farther forward with height and articulating a cornice or supporting an overhanging member.

Corinthian Order: Most ornate classical order characterized by a capital with ornamental acanthus leaves and curled fern shoots.

Cornice: The uppermost, projecting part of an entablature, or feature resembling it. Any projecting ornamental molding along the top of a wall, buildings, etc.

Cresting: A decorated ornamental finish along the top of a wall or roof, often made of ornamental metal.

Cross-gable: A secondary gable roof which meets the primary roof at right angles.

Dentils: A row of small tooth-like blocks in a classical cornice.

Doric Order: A classical order with simple, unadorned capitals, and with no base.

Dormer Window: A window that projects from a roof.

Double-hung Window: A window with two sashes, one sliding vertically over the other.

Eave: The edge of a roof that projects beyond the face of a wall.

Elevation: Any of the external faces of a building.

Ell: The rear wing of a house, generally one room wide and running perpendicular to the principal building.

Engaged Column: A round column attached to a wall.

Entablature: A part of a building of classical order resting on the column capital; consists of an architrave, frieze, and cornice.

Facade: The face or front elevation of a building.

Fanlight: A semi-circular window usually over a door with radiating muntins suggesting a fan.

Fascia: A projecting flat horizontal member or molding; forms the trim of a flat roof or a pitched roof; also part of a classical entablature.

Fenestration: The arrangement of windows on a building.

Finial: A projecting decorative element, usually of metal, at the top of a roof turret or gable.

Fishscale Shingles: A decorative pattern of wall shingles composed of staggered horizontal rows of wooden shingles with half-round ends.

Flashing: Thin metal sheets used to prevent moisture infiltration at joints of roof planes and between the roof and vertical surfaces.

Flat Arch: An arch whose wedge-shaped stones or bricks are set in a straight line; also called a jack arch.

Flemish Bond: A brick-work pattern where the long "stretcher" edge of the brick is alternated with the small "header" end for decorative as well as structural effectiveness.

Fluting: Shallow, concave grooves running vertically on the shaft of a column, pilaster, or other surface.

Foundation: The lowest exposed portion of the building wall, which supports the structure above.

Frieze: The middle portion of a classical cornice; also applied decorative elements on an entablature or parapet wall.

Gable: The triangular section of a wall to carry a pitched roof.

Gable Roof: A pitched roof with one downward slope on either side of a central, horizontal ridge.

Gambrel Roof: A ridged roof with two slopes on either side.

Ghosts: Outlines or profiles of missing buildings or building details. These outlines may be visible through stains, paint, weathering, or other residue on a building's facade.

Greek Revival Style: Mid-nineteenth century revival of forms and ornament of architecture of ancient Greece.

Hipped Roof: A roof with uniform slopes on all sides.

Hood Molding: A projecting molding above an arch, doorway, or window, originally designed to direct water away from the opening; also called a drip mold.

Ionic Order: One of the five classical orders used to describe decorative scroll capitals.

Infill: New construction where there had been an opening before, such as a new building between two older structures; or block infill between porch piers or in an original window opening.

Jack Arch (see flat arch)

Keystone: The wedge-shaped top or center member of an arch.

Knee Brace: An oversize bracket supporting a cantilevered or projecting element.

Lattice: An openwork grill of interlacing wood strips used as screening.

Lintel: The horizontal top member of a window, door, or other opening.

Mansard Roof: A roof with a double slope on all four sides, with the lower slope being almost vertical and the upper almost horizontal.

Masonry: Exterior wall construction of brick, stone or adobe laid up in small units.

Massing: The three-dimensional form of a building.

Metal Standing Seam Roof: A roof composed of overlapping sections of metal such as copper-bearing steel or iron coated with a tinned alloy of lead and tin. These roof were attached or crimped together in various raised seams for which the roof is named.

Modillion: A horizontal bracket, often in the form of a plain block, ornamenting, or sometimes supporting, the underside of a cornice.

Mortar: A mixture of sand, lime, cement, and water used as a binding agent in masonry construction.

Mullion: A heavy vertical divider between windows or doors.

Multi-light Window: A window sash composed of more than one pane of glass.

Muntin: A secondary framing member to divide and hold the panes of glass in multi-light window or glazed door.

Neo-Classical Revival: Early 20th century style which combines features of ancient, Renaissance, and Colonial architecture; characterized by imposing buildings with large columned porches.

Oriel Window: A bay window which emerges above the ground floor level.

Paired Columns: Two columns supported by one pier, as on a porch.

Palladian Window: A window with three openings, the central one arched and wider than the flanking ones.

Panelled Door: A door composed of solid panels (either raised or recessed) held within a framework of rails and stiles.

Parapet: A low horizontal wall at the edge of a roof.

Peisiment: A triangular crowning element forming the gable of a roof; any similar triangular element used over windows, doors, etc.

Pier: A vertical structural element, square or rectangular in cross-section.

Pilaster: A square pillar attached, but projecting from a wall, resembling a classical column.

Pitch: The degree of the slope of a roof.

Portico: A roofed space, open or partly enclosed, forming the entrance and centerpiece of the facade of a building, often with columns and a pediment.

Portland Cement: A strong, inflexible hydraulic cement used to bind mortar. Mortar or patching materials with a high Portland cement content should not be used on old buildings. The Portland cement is harder than the masonry, thereby causing serious damage over annual freeze-thaw cycles.

Preservation: The act of maintaining the original form and character of a building. Preservation stops deterioration and stabilizes the structure.

Pressed Tin: Decorative and functional metalwork made of molded tin used to sheath roofs, bays, and cornices.

Pyramidal Roof: A roof with four identical sides rising to a central peak.

Queen Anne Style: Popular late 19th century revival style of early 18th century English architecture, characterized by irregularity of plan and massing and a variety of texture.

Quoins: A series of stone, bricks, or wood panels ornamenting the outside of a wall.

Reconstruction: The accurate recreation of a vanished, or irreplaceably damaged structure, or part thereof; the new construction recreates the building's exact form and detail as they appeared at some point in history.

Rehabilitation: The act of returning a building to usable condition through repair, alteration, and/or preservation of its features.

Restoration: The process of accurately taking a building's appearance back to a specific period of time by removing later work and by replacing missing earlier features to match the original.

Ridge: The top horizontal member of a roof where the sloping surfaces meet.

Rusticated: Roughening of stonework of concrete blocks to give greater articulation to each block.

Sash: The moveable framework containing the glass in a window.

Segmental Arch: An arch whose profile or radius is less than a semicircle.

Semi-circular Arch: An arch whose profile or radius is a half-circle the diameter of which equals the opening width.

Sheathing: An exterior covering of boards of other surface applied to the frame of the structure. (see Siding)

Shed Roof: A gently-pitched, almost flat roof with only one slope.

Sideight: A vertical area of fixed glass on either side of a door or window.

Siding: The exterior wall covering or sheathing of a structure.

Sill: The bottom crosspiece of a window frame.

Spindles: Slender, elaborately turned wood dowels or rods often used in screens and porch trim.

Stabilization: The essential maintenance of a deteriorated building as it exists at present, establishing structural stability and a weather-resistant enclosure.

Streetscape: The over facade, not of a single structure, but of the many buildings which define the street.

Surround: An encircling border or decorative frame, usually at windows or doors.

Swag: Carved ornament on the form of a cloth draped over supports, or in the form of a garland of fruits and flowers.

Transom: A horizontal opening (or bar) over a door or window.

Trim: The decorative framing of openings and other features on a facade.

Turret: A small slender tower.

Veranda: A covered porch or balcony on a building's exterior.

Vergeboard: The vertical face board following and set under the roof edge of a gable, sometimes decorated by carving.

Vernacular: A regional form or adaptation of an architectural style.

Wall Dormer: Dormer created by the upward extension of a wall and a breaking of the roofline.

Water Table: A projecting horizontal ledge, intended to prevent water from running down the face of a wall's lower section.

Weatherboard: Wood siding consisting of overlapping boards usually thicker at one edge than the other.