

**North Little Rock Planning Commission**  
**May 14, 2024 - Agenda / Public Hearing 4:00 PM**  
**City Council Chambers – 300 Main Street, NLR, AR 72114**

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**Call to Order**

- Roll Call
- Reminder to speak into the microphone

**Administrative:**      Election of Officers

**Approval of Minutes:**   ▪ April 9, 2024

**Planning Commission Hearing Items:**

1. **SD2024-25** MILLER ADDITION LOT 1 PRE PLAT AND SPR @ 8900 HWY 165
2. **SD2024-20** DIAMOND CONSTRUCTION PRE PLAT AND SPR @ 1300 E 13<sup>TH</sup> ST
3. **RZ2024-08** NORTSHORE BUSINESS PARK LOT 6R2 BLOCK 5 REZONING FROM I2 TO C3 TO ALLOW A PHOTOGRAPHY STUDIO @ 7701 NORTSHORE PLACE
4. **SD2024-26** NORTSHORE BUS PARK LOT 6R2 SPR @ 7701 NORTSHORE PLACE
5. **RZ2024-10** SPECIAL OLYMPICS OF AR REZONING FROM C3 TO C6 @ 2111 MAIN STREET
6. **SD2024-27** NORTH ARGENTA LOT 8R BLK 7 SPR @ 2111 Main St
7. **SD2024-28** MCNEIL ADD PRE PLAT & SPR @ 1401 MCNEIL DR BLDG B
8. **RZ2024-09** A REZONING FROM R3 TO R4 TO ALLOW CONSTRUCTION OF A DUPLEX AND ALLOW AN EXISTING GARAGE APARTMENT TO REMAIN ON THE LOT @ 3105 N PINE STREET
9. **SU2024-07** A SPECIAL USE TO ALLOW THE ADDITION OF AN OUTDOOR SPORTS FIELD FOR THE EXISTING SCHOOL @ 4500 N HILLS BLVD.

**North Little Rock Planning Commission**  
**Minute Summary**  
**April 9, 2024**

Chairman Clifton called the meeting of the North Little Rock Planning Commission to order at 4:00 PM in the Council Chambers, City Hall, 300 Main Street, North Little Rock, AR. Roll-call found a quorum to be present; a quorum being six (6) members present.

**Planning Commission Members Present:**

Norman Clifton, Chair  
Steve White, Vice-Chairman  
Don Chambers  
Vandy Belasco  
Junior Phillips  
Charlie Foster  
Renee Pierce  
Edward Wallace

**Members Absent:**

Emanuel Banks

**Staff Present:**

Elaine Lee, City Attorney  
Donna James, Assistant Director of Planning

**Approval of Minutes:**

Commissioner Chambers made a motion to approve the March 12, 2024, minute summary as submitted. Commissioner Phillips provided a second to the motion. By voice vote, the Commission members voted unanimously in favor of the motion, (8/0/1).

**Planning Commission Hearing Items:**

**SD2024-18** Indian Hills 3N Add Lot 2A Blk 1000 SPR for a new bank @ 7111 John F Kennedy Blvd

The applicant was present representing the request. Commissioner Chambers stated the Design Review Committee reviewed the application, the applicant was agreeable to the conditions, and the Committee recommended approval conditioned upon:

1. Permit requirements/approvals submitted before a building permit will be issued:
  - a. A signed and recorded plat must be on file with the Planning Department.
  - b. Provide CNLR Stormwater Permit application to City Engineer with half size erosion control plan showing silt fence, storm inlet protection, and drainage details.
  - c. Provide copy of ARDOT driveway permit if State Highway.
2. Meet the requirements of the City Engineer, including:
  - a. Provide ½ street improvements (sidewalk) or a performance bond.
3. Meet the requirements of Community Planning, including:
  - a. Provide the standard requirements of Zoning and Development Regulations.
  - b. Provide dumpster location. Dumpster to have masonry screening on 3 sides along with a solid opaque gate opening.
  - c. No fence is to be in front of the building.

- d. All exterior lighting shall be shielded and not encroach onto neighboring properties.
4. Meet the requirements of the Master Street Plan, including:
  - a. Provide 5' sidewalks and ramps with a minimum of 5' green space between sidewalk and curb to ADA standards and City standards.
  - b. Provide ½ street improvements.
5. Meet the requirements of the Screening and Landscaping ordinance, including:
  - a. All disturbed areas are to be sodded, fertilized, watered and mulched.
  - b. Any new site development must comply with the City's landscape and buffer ordinance requirements.
  - c. Street trees are to be chosen from Section 7.5 of the North Little Rock zoning code Trees from Table B shall be spaced every thirty (30) feet to achieve the required number of trees; trees from Table C shall be spaced every twenty-five (25) feet; or trees from Table D shall be used if beneath overhead power lines and spaced every fifteen (15) feet.
    - i. A minimum of 5 trees are required adjacent to the JFK right-of-way. If smaller trees are desired due to overhead utilities trees are to be spaced an average of every 15 feet requiring a minimum of 10 trees.
  - d. Trees shall be planted at one (1) tree per six (6) parking spaces.
    - i. Trees ten (10) feet from the edge of parking area may serve for the parking lot shading requirements, but may not satisfy more than fifty (50) percent of the overall requirement for the parking lot or area.
    - ii. Parking lot trees are to be chosen from Table B or C, Section 7.5 of the North Little Rock zoning code, Table D shall be used if beneath overhead power lines.
  - e. A continuous screen of shrubs shall be required for any landscape strip adjacent to any parking area.
    - i. Only shrubs from the approved planting list will count toward this requirement, unless approved by the Planning Commission. Shrubs shall be eighteen (18) inches in height at planting and be planted a maximum three (3) feet apart.
    - ii. Provide the minimum shrub material height specification on plans.
  - f. Wheel stops shall be required when parking areas abut sidewalks, landscaped areas or pedestrian areas. No portion of a vehicle shall encroach onto a sidewalk, landscaped area or pedestrian area.
  - g. Plant materials appear to be in conflict with the retaining wall on the east and south perimeters of the property. Verify allotted planting space is conducive for trees and shrubs.
  - h. Landscape plans to be revised prior to the April 2024 Planning Commission Hearing.
6. Meet the following requirements concerning signage:
  - a. All signs require a permit and separate review.
  - b. The site is located within the JFK Sign Overlay District. See Section 14.113 of the NLR Sign Code for details of allowable signage.
7. Meet the requirements of the Fire Marshal, including:
  - a. Provide an approved fire protection plan.
  - b. Meet the requirements of the 2021 Arkansas Fire Prevention Code including:
    - i. Fire Apparatus access roads shall have an unobstructed width of not less than 20 feet. (Volume 1 Section 503.2.1)

- ii. Fire Apparatus access roads shall extend to within 150 feet of all portions of the exterior walls of the first story of the building. (Volume 1 Section 503.1.1)
    - iii. Dead end roads in excess of 150 feet shall be provided with width and turnaround provisions in accordance with Table D103.4. (Volume 1 Appendix D103.4)
  - c. Fire Apparatus access roads will support 85,000 lbs. (NLR Ordinance 9267)
- 8. Meet the requirements of CAW.
  - a. All Central Arkansas Water requirements in effect at the time of request for water service must be met.
  - b. The facilities on-site will be private. When meters are planned off private lines, private facilities shall be installed to Central Arkansas Water's material and construction specifications and installation will be inspected by an engineer, licensed to practice in the State of Arkansas. Execution of Customer Owned Line Agreement is required.
  - c. Due to the nature of this facility, installation of an approved reduced pressure zone backflow preventer assembly (RPZ) is required on the domestic water service. This assembly must be installed prior to the first point of use. Central Arkansas Water (CAW) requires that upon installation of the RPZA, successful tests of the assembly must be completed by a Certified Assembly Tester licensed by the State of Arkansas and approved by CAW. The test results must be sent to CAW's Cross Connection Section within ten days of installation and annually thereafter. Contact the Cross Connection Section at 377-1226 if you would like to discuss backflow prevention requirements for this project.
  - d. Fire sprinkler systems which do not contain additives such as antifreeze shall be isolated with a double detector check valve assembly. If additives are used, a reduced pressure zone backflow preventer shall be required.
- 9. Meet the requirements of NLR Wastewater, including:
  - a. Please add the existing 8" sanitary sewer main and a 15' sanitary sewer easement. See attached map.
    - i. The private sewer service line connection point for the new building will be on the existing 8" sanitary sewer main located north of the property.
    - ii. NLRW will provide the location of the existing connection point.
  - b. Existing Grease Interceptor will have to be abandoned if facility does not have food service.
  - c. Please submit a full set of plans to NLRW for review and approval prior to construction.
- 10. Meet the requirements of Rock Region Metro.
- 11. Meet the requirements of NLR Electric.

Commissioner Belasco provided a second to the motion. By voice vote, the Commission voted unanimously for approval (8/0/1).

**SD2024-21** Military Heights Renewal Add Lots 3R & 4R Replat @ 700 W 29<sup>th</sup> St

The applicant was present representing the request. Commissioner Chambers stated the Design Review Committee reviewed the application, the applicant was agreeable to the conditions, and the Committee recommended approval conditioned upon:

1. Relocate the western lot line (N02°01'47"E 125.55') 5-feet to the west to allow the existing parking lot light pole and fixture to remain on Lot 4R.
2. Relocate the building line along the northern portion of Lot 3R to the east to coincide with the 7' CL Sewer Easement.
3. At the time of development of Lot 3R, meet the requirements of the City Engineer.
4. Planning requirements before the plat will be signed:
  - a. Plat will be submitted to NLR Planning Department in CAD compatible DXF and/or DWG format, tied to Arkansas State Plane Coordinates.
5. Meet the requirements of Community Planning, including:
  - a. Provide the standard requirements of Zoning and Development Regulations.
6. Meet the requirements of the Master Street Plan.
7. At the time of development of Lot 3R, meet the requirements of the Screening and Landscaping ordinance.
8. At the time of development of Lot 3R, meet the requirements of the Fire Marshal.
9. Meet the requirements of CAW.
  - a. There is an existing 8" water main on the south side of Lot 4R. Provide an easement for those water utilities on the plat.
10. Meet the requirements of NLR Wastewater, including:
  - a. For the northern section of the existing sewer line on Lot 3R that is outside of the 40' building line please provide a sanitary sewer easement from the 7' offset back to building line. Please see attached drawing.
11. Meet the requirements of Rock Region.
12. Meet the requirements of NLR Electric.

Commissioner Belasco provided a second to the motion. By voice vote, the Commission voted unanimously for approval (8/0/1).

**SD2024-22** Counts Massie Industrial Park Lot 15 SPR for a new warehouse building @ 8900 Commerce Cove

The applicant, Mr. Thomas Pownall, was present representing the request. Commissioner Chambers stated the Design Review Committee reviewed the application, the applicant was agreeable to the conditions, and the Committee recommended approval conditioned upon:

1. Relocate the dumpster to the southwest corner of the site.
2. Engineering requirements on detention:
  - a. Provide on-site storm water detention as well as clear calculations showing that detention volume is sufficient, or demonstrate to City Engineer that on-site detention is not required (based on proposed development) by providing detention calculations showing pre and post site runoff comparisons.
3. Permit requirements/approvals submitted before a building permit will be issued:
  - a. A signed and recorded plat must be on file with the Planning Department.

- b. Prior to construction, Owner's Engineer shall submit stormwater design report for review and approval by the City Engineer. Stormwater plans and detention calculations are to be approved by City Engineer and a written approval provided to Planning Department. Drainage submittal shall include, as a minimum, the following:
    - i. Proposed pipe material specifications.
    - ii. Proposed trench and bedding details, materials and specifications.
  - c. Provide CNLR Grading Permit application to City Engineer with grading plans.
  - d. Provide CNLR Stormwater Permit application to City Engineer with half size erosion control plan showing silt fence, storm inlet protection, and drainage details.
  - e. Provide CNLR driveway/curb cut permit application to City Engineer.
  - f. Provide CNLR Floodplain Development Permit application to City Engineer.
  - g. Provide copy of Arkansas Department of Environmental Quality (ADEQ) Stormwater Permit to City Engineer.
  - h. Prior to construction, Owner's Architect/Engineer shall submit signed construction plans and specifications (PDF format) to NLR Planning Department.
  - i. Prior to construction, Owner's Architect/Engineer shall submit digital maps for all stormwater drainage features in an ArcGIS or AutoCAD file to the City Engineer. The digital maps shall be natively in State Plane coordinate system, Arkansas North Zone, North American Datum 1983, units as feet; or the map must have sufficient points for georeferencing. The associated attribute data table from the submitted file shall match the fields contained within the "SW Attribute Data Entry Template.xlsx" as provided by City Engineering Department. All Control, Linear, and Junction map features will be annotated by a unique identifier that will correspond to the same unique identifier in the "SW Attribute Data Entry Template.xlsx" or GIS attribute table. Data for each attribute column in the "SW Attributed Data Entry Template.xlsx" file shall be chosen from the drop-down options of each cell, or chosen as "Other" (if not listed) and described in the comments field. At the completion of the project, As-Builts of these shapefiles in ArcGIS or AutoCAD format, along with associated attribute data table, shall be submitted to the City Engineer.
4. Meet the requirements of Community Planning, including:
    - a. Provide the standard requirements of Zoning and Development Regulations.
    - b. Provide dumpster location.
    - c. Dumpster to have masonry screening on 3 sides and an opaque gate enclosure.
    - d. No fence is to be within the front of the building.
    - e. All exterior lighting shall be shielded and not encroach onto neighboring properties.
  5. Meet the requirements of the Master Street Plan, including:
    - a. Provide 5' sidewalks and ramps with a minimum of 5' green space between sidewalk and curb to ADA standards and City standards.
    - b. Provide ½ street improvements, if required.
  6. Meet the requirements of the Screening and Landscaping ordinance, including:
    - a. All disturbed areas are to be sodded, fertilized, watered and mulched.
    - b. Any new site development must comply with the City's minimal landscape and buffer ordinance requirements.

- c. Street trees are to be chosen from Section 7.5 of the North Little Rock zoning code. Trees from Table B shall be spaced every thirty (30) feet to achieve the required number of trees; trees from Table C shall be spaced every twenty-five (25) feet; or trees from Table D shall be used if beneath overhead power lines and spaced every fifteen (15) feet.
    - i. Trees shall be planted at one (1) tree per six (6) parking spaces.
    - ii. Trees ten (10) feet from the edge of parking area may serve for the parking lot shading requirements, but may not satisfy more than fifty (50) percent of the overall requirement for the parking lot or area.
    - iii. Parking lot trees are to be chosen from Table B or C, Section 7.5 of the North Little Rock zoning code, Table D shall be used if beneath overhead power lines.
    - iv. A minimum of 1 tree is required to be located in a planting island located in the parking lot.
  - 7. Provide a buffer/screening adjacent to the dissimilar land use to the east and south as defined by Section 7.2.4: Buffers between Dissimilar Uses.
    - a. The development of the I2 zoned property adjacent to the R4 zoned property to the east and I2 zoned property (being utilized as residential) to the south requires a full screen as defined by Section 7.3.1. Class Full Screens.
    - b. Each side and rear yard buffer areas shall be five (5) percent of the lot width and depth. Buffer areas shall not be less than six (6) feet or greater than forty (40) feet.
    - c. Trees from Section 7.5, Table B or C shall be spaced every twenty (20) feet; or trees from Table D shall be used if beneath overhead power lines and spaced every twenty (20) feet.
    - d. A minimum of 11 trees will be required adjacent to the east property line.
    - e. A minimum of 12 trees will be required adjacent to the south property line.
    - f. An eight (8) foot tall, continuous opaque screen shall be provided. An opaque screen may include one (1) of the following: wall, fence, site grading, or plantings. The opaque screen must be opaque in all seasons. Fabric screening is not allowable.
  - a. A continuous screen of shrubs shall be required for any landscape strip adjacent to any parking area.
    - i. Only shrubs from the approved planting list will count toward this requirement, unless approved by the Planning Commission. Shrubs shall be eighteen (18) inches in height at planting and be planted a maximum three (3) feet apart.
    - ii. Provide additional shrubs adjacent to the south parking bays.
  - b. Ground cover shall be selected from Section 7.5 of the North Little Rock zoning code. Plant materials / turf from Table J, or mulch of shredded bark or stone shall be applied in all landscaped areas.
  - c. Plant material shall be irrigated by an automatic underground irrigation system.
  - d. Wheel stops shall be required when parking areas abut sidewalks, landscaped areas or pedestrian areas. No portion of a vehicle shall encroach onto a sidewalk, landscaped area or pedestrian area.
  - e. Landscape plans to be revised prior to the April 2024 Planning Commission Hearing.
13. Meet the following requirements concerning signage:
- a. All signs require a permit and separate review.
  - b. All signage must comply with the NLR Sign Code.
  - c. Provide sign location on site plan.

14. Meet the requirements of the Fire Marshal, including:
  - a. Provide an approved fire protection plan.
  - b. Meet the requirements of the 2021 Arkansas Fire Prevention Code including:
    - i. Group S-1 storage facilities with fire areas exceeding 12,000 square feet shall be equipped with an automatic fire sprinkler system. (Volume 2 Section 903.2.9)
    - ii. Fire Apparatus access roads shall have an unobstructed width of not less than 20 feet. (Volume 1 Section 503.2.1)
    - iii. Dead end roads in excess of 150 feet shall be provided with width and turnaround provisions in accordance with Table D103.4. (Volume 1 Appendix D103.4)
  - c. Fire Apparatus access roads will support 85,000 lbs. (NLR Ordinance 9267)
15. Meet the requirements of CAW.
  - a. All Central Arkansas Water requirements in effect at the time of request for water service must be met.
  - b. The facilities on-site will be private. When meters are planned off private lines, private facilities shall be installed to Central Arkansas Water's material and construction specifications and installation will be inspected by an engineer, licensed to practice in the State of Arkansas. Execution of Customer Owned Line Agreement is required.
  - c. Due to the nature of this facility, installation of an approved reduced pressure zone backflow preventer assembly (RPZ) is required on the domestic water service. This assembly must be installed prior to the first point of use. Central Arkansas Water (CAW) requires that upon installation of the RPZA, successful tests of the assembly must be completed by a Certified Assembly Tester licensed by the State of Arkansas and approved by CAW. The test results must be sent to CAW's Cross Connection Section within ten days of installation and annually thereafter. Contact the Cross Connection Section at 377-1226 if you would like to discuss backflow prevention requirements for this project.
  - d. Fire sprinkler systems which do not contain additives such as antifreeze shall be isolated with a double detector check valve assembly. If additives are used, a reduced pressure zone backflow preventer shall be required.
16. Meet the requirements of NLR Wastewater, including:
  - a. Please submit a full set of plans to NLRW for review and approval prior to construction.
17. Meet the requirements of Rock Region.
18. Meet the requirements of NLR Electric.

Commissioner Belasco provided a second to the motion. By voice vote, the Commission voted unanimously for approval (8/0/1).

**SD2024-10** Mrs. MA Miller Subdivision Lots D & E Replat @ 5001 E Broadway St

The applicant, Mr. Thomas Pownall, was present representing the request. Commissioner Chambers stated the Design Review Committee reviewed the application, the applicant was agreeable to the conditions, and the Committee recommended approval conditioned upon:

1. Allow existing encroachments into the side property line of Lot D and the rear property line of Lot E.



2. Planning requirements before the plat will be signed:
  - a. Plat will be submitted to NLR Planning Department in CAD compatible DXF and/or DWG format, tied to Arkansas State Plane Coordinates.
3. Meet the requirements of Community Planning, including:
  - a. Provide the standard requirements of Zoning and Development Regulations.
4. Meet the requirements of the Master Street Plan.
5. With any new development meet the requirements of the Fire Marshal.
6. Meet the requirements of NLR Wastewater, including:
  - a. Add Sanitary Sewer Easement for all public mains within the parcel boundaries. See Attached Map.
  - b. Add Sanitary Sewer Easement along southern portion of main, if not in ARDOT Right-of-Way.
  - c. Add exclusive sanitary sewer easement over ±181 feet of public sewer main on Lot D.
7. Meet the requirements of Rock Region.
8. Meet the requirements of NLR Electric.

Commissioner Belasco provided a second to the motion. By voice vote, the Commission voted unanimously for approval (8/0/1).

**SU2024-03** a Special Use to allow an events center in a C6 zone @ 112 Smarthouse Way

Mr. Thomas Pownall was present representing the request. Chairman Clifton called the item requesting the applicant come forward to address the Commission on the merits of the request. Mr. Pownall stated the request was a Special Use to allow an events center.

Chairman Clifton questioned if there was anyone in the audience wishing to speak for or against the item. Chairman Clifton questioned if there were any questions or concerns of the Commissioners. There being none, Chairman Clifton called for a roll call vote -

<b>Banks</b>	<b>Absent</b>	<b>Belasco</b>	<b>Yes</b>	<b>Chambers</b>	<b>No</b>
<b>Foster</b>	<b>Yes</b>	<b>Phillips</b>	<b>Yes</b>	<b>Pierce</b>	<b>Yes</b>
<b>Wallace</b>	<b>Yes</b>	<b>White</b>	<b>Yes</b>	<b>Clifton</b>	<b>Yes</b>

**SU2024-03 was approved with (7) affirmative votes, (1) no votes and (1) absent.**

**SD2024-09** Wiess Anderson Addition Lots 5 & 7R SPR @ 112 Smarthouse Way

The applicant, Mr. Thomas Pownall, was present representing the request. Commissioner Chambers stated the Design Review Committee reviewed the application, the applicant was agreeable to the conditions, and the Committee recommended approval conditioned upon:

1. Engineering requirements on detention:
  - a. Stormwater detention plan previously approved by City Engineer.

2. Engineering requirements before the plat will be signed:
  - a. Provide ½ street improvements (street, drainage, curb and gutter, sidewalk, streetlights) or a performance bond if required.
  - b. Street improvements must be approved by City Engineer and accepted by City Council.
3. Permit requirements/approvals submitted before a building permit will be issued:
  - a. A signed and recorded plat must be on file with the Planning Department.
  - b. Prior to construction, Owner's Engineer shall submit stormwater design report for review and approval by the City Engineer. Stormwater plans and detention calculations are to be approved by City Engineer and a written approval provided to Planning Department. Drainage submittal shall include, as a minimum, the following:
    - i. Proposed pipe material specifications.
    - ii. Proposed trench and bedding details, materials and specifications.
  - c. Provide CNLR Grading Permit application to City Engineer with grading plans.
  - d. Provide CNLR Stormwater Permit application to City Engineer with half size erosion control plan showing silt fence, storm inlet protection, and drainage details.
  - e. Provide CNLR driveway/curb cut permit application to City Engineer or copy of ARDOT driveway permit if State Highway.
  - f. Provide copy of Arkansas Department of Environmental Quality (ADEQ) Stormwater Permit to City Engineer.
  - g. Provide copy of Arkansas Department of Health approval for water and sewer facilities to NLR Planning Department if an extension of a main is required.
  - h. Prior to construction, Owner's Architect/Engineer shall submit signed construction plans and specifications (PDF format) to NLR Planning Department.
  - i. Prior to construction, Owner's Architect/Engineer shall submit digital maps for all stormwater drainage features in an ArcGIS or AutoCAD file to the City Engineer. The digital maps shall be natively in State Plane coordinate system, Arkansas North Zone, North American Datum 1983, units as feet; or the map must have sufficient points for georeferencing. The associated attribute data table from the submitted file shall match the fields contained within the "SW Attribute Data Entry Template.xlsx" as provided by City Engineering Department. All Control, Linear, and Junction map features will be annotated by a unique identifier that will correspond to the same unique identifier in the "SW Attribute Data Entry Template.xlsx" or GIS attribute table. Data for each attribute column in the "SW Attributed Data Entry Template.xlsx" file shall be chosen from the drop-down options of each cell, or chosen as "Other" (if not listed) and described in the comments field. At the completion of the project, As-Builts of these shapefiles in ArcGIS or AutoCAD format, along with associated attribute data table, shall be submitted to the City Engineer.
4. Meet the requirements of the City Engineer, including:
  - a. Prior to any excavation/street cuts within street ROW, provide CNLR Excavation

Permit to City Engineer and Barricade Plan Permit to NLR Traffic Services.

- b. Contractor shall notify City Engineer at least (1) day prior to the construction of all stormwater pipes and inlet structures within City ROW.
  - c. At the end of construction, Owner/Developer shall have a Professional Engineer, licensed in the State of Arkansas, certify that all street and stormwater improvements in conjunction with this subdivision and/or the proposed development have been inspected and constructed in accordance with the approved plans and meet all City of North Little Rocks Standard Specifications.
  - d. Driveway radii shall be labeled and shall have 25' minimum radii and be built according to CNLR standard details (available at NLR Engineering Department).
  - e. Driveways shall not be closer than 40' to adjoining streets or 10' from adjoining property lines.
  - f. Spacing between proposed commercial/industrial driveways shall not be closer than 40'.
  - g. Driveway widths shall be labeled and shall be 10' minimum to 40' maximum.
  - h. Cross drains in the ROW shall be labeled and shall be RCP with flared end sections unless otherwise approved by Engineering.
  - i. All driveways are to be concrete within the ROW.
5. Planning requirements before the plat will be signed:
- a. Plat will be submitted to NLR Planning Department in CAD compatible DXF and/or DWG format, tied to Arkansas State Plane Coordinates.
  - b. Provide street trees or provide a bond.
6. Meet the requirements of Planning & Permits, including:
- a. Provide the standard requirements of Zoning and Development Regulations.
  - b. Provide dumpster location. Dumpster to have masonry screening on 3 sides with a solid opaque gate enclosure.
  - c. No fence is to be located in front of the building or around the perimeter of the parking lot.
  - d. All exterior lighting shall be shielded and not encroach onto neighboring properties.
7. Meet the requirements of the Master Street Plan, including:
- a. Provide 5' sidewalks and ramps with a minimum of 5' green space between the sidewalks and curb to ADA standards and City standards.
8. Meet the requirements of the Screening and Landscaping ordinance, including:
- a. All disturbed areas are to be sodded, fertilized, watered and mulched.
  - b. Provide buffer between dissimilar uses or zoning. Do not remove trees from full buffers.
  - c. Any new site development must comply with the City's minimal landscape and buffer ordinance requirements.
  - d. Street trees are to be chosen from Section 7.5 of the North Little Rock zoning code Trees from Table B shall be spaced every thirty (30) feet to achieve the required number of trees; trees from Table C shall be spaced every twenty-five (25) feet; or trees from Table D shall be used if beneath overhead power lines and spaced every fifteen (15) feet.
    - i. A minimum of 6 trees are required adjacent to Lot 7R the Smarhouse Way right-of- way.
    - ii. A minimum of 5 trees are required adjacent to Lot 5 and the Smarhouse Way right-of- way.

- e. Trees shall be planted at (1) tree per (6) parking spaces. Trees 10' from the edge of parking area may serve for the parking lot shading requirements, but may not satisfy more than (50%) percent of the overall requirement for the parking lot or area.
  - i. Parking lot trees are to be chosen from Table B or C, Section 7.5 of the North Little Rock zoning code, Table D shall be used if beneath overhead power lines.
  - ii. A minimum of 15 trees are required. Provide a minimum of 8 trees within the interior of the parking lot. A continuous screen of shrubs shall be required for any landscape strip adjacent to any parking area.
- 9. Only shrubs from the approved planting list will count toward this requirement, unless approved by the Planning Commission. Shrubs shall be 18" in height at planting and be planted a maximum 3' apart.
- 10. Note turf, groundcover, or mulch (species or type) on the development plan.
  - i. Ground cover shall be selected from Section 7.5 of the North Little Rock zoning code. Plant materials / turf from Table J, or mulch of shredded bark or stone shall be applied in all landscaped areas.
  - ii. Plant material shall be irrigated by an automatic underground irrigation system.
  - iii. Wheel stops shall be required when parking areas abut sidewalks, landscaped areas or pedestrian areas. No portion of a vehicle shall encroach onto a sidewalk, landscaped area or pedestrian area.
  - iv. Provide plant material legend graphically indicating the different plant materials. Provide plant material list and specifications indicating minimum plant material size at installation.
- 11. Meet the City of North Little Rock requirements concerning signage:
  - a. All signs require a permit and separate review.
  - b. Provide the location of any existing or proposed signage on the site plan. Also, note the height and area of the proposed sign.
- 12. Meet the requirements of the Fire Marshal, including:
  - a. Provide an approved fire protection plan.
  - b. Meet the requirements of the 2021 Arkansas Fire Prevention Code including:
    - i. Provide a fire safety and evacuation plan (Volume 1 Section 403,404)
    - ii. Type A-2 occupancies with an occupant load of 100 or more require a sprinkler system. (Volume 1 Section 903.2.1.2)
    - iii. Type A-2 occupancies exceeding 5000 square feet require a sprinkler system. (Volume 1 Section 903.2.1.2)
    - iv. There shall be a fire hydrant within 400' of any portion the building if unsprinklered, within 600' if sprinklered. (Volume 1 Section 507.5.1)
    - v. Fire Apparatus access roads shall have an unobstructed width of not less than 20 feet. (Volume 1 Section 503.2.1)
    - vi. Fire Apparatus access roads shall extend to within 150 feet of all portions of the exterior walls of the first story of the building. (Volume 1 Section 503.1.1)
    - vii. Dead end roads in excess of 150 feet shall be provided with width and

turnaround provisions in accordance with Table D103.4. (Volume 1 Appendix D103.4)

- c. Fire Apparatus access roads will support 85,000 lbs. (NLR Ordinance 9267)
- 13. Meet the requirements of CAW.
- 14. Meet the requirements of NLR Wastewater, including:
  - a. The proposed development must locate and connect to the existing sewer service line within the parcel.
  - b. Grease interceptor with sampling manhole is required if food will be prepared and sold.
  - c. Please submit a full set of plans to NLRW for review and approval prior to construction.
- 15. Meet the requirements of NLR Electric.
- 16. Meet the requirements of Rock Region Metro.

Commissioner Belasco provided a second to the motion. By voice vote, the Commission voted unanimously for approval (8/0/1).

**CU2024-05** a Conditional Use to allow a parking lot located on Lot 7R Wiess Anderson Addition

Mr. Thomas Pownall was present representing the request. Chairman Clifton called the item requesting the applicant come forward to address the Commission on the merits of the request. Mr. Pownall stated the request was a Conditional Use to allow a parking lot which would serve the proposed events center located to the west.

Chairman Clifton questioned if there was anyone in the audience wishing to speak for or against the item. Chairman Clifton questioned if there were any questions or concerns of the Commissioners. There being none, Chairman Clifton called for a roll call vote -

<b>Banks</b>	<b>Absent</b>	<b>Belasco</b>	<b>Yes</b>	<b>Chambers</b>	<b>No</b>
<b>Foster</b>	<b>Yes</b>	<b>Phillips</b>	<b>Yes</b>	<b>Pierce</b>	<b>Yes</b>
<b>Wallace</b>	<b>Yes</b>	<b>White</b>	<b>Yes</b>	<b>Clifton</b>	<b>Yes</b>

**CU2024-05 was approved with (7) affirmative votes, (1) no votes and (1) absent.**

**CU2024-08** Broadway Street LLC Conditional Use for a Hotel @ 210 E Broadway – By a request of the applicant, this items was postponed to the May 14, 2024 hearing.

**SD2024-13** Original City of Argenta Lots 4A, 5A, 6A & 6B, Blk 19 Replat & SPR @ 210 E Broadway – By a request of the applicant, this items was postponed to the May 14, 2024 hearing.

**SU2024-06** a Special Use to allow overnight stay of clients in a C3 zone @ 3601 Richards Road

The applicant was present representing the request. Chairman Clifton called the item requesting the applicant come forward to address the Commission on the merits of the request. The applicant stated the request was to allow the use of an existing facility as long-term care for patients and as a residential rehab

facility.

Chairman Clifton questioned if there was anyone in the audience wishing to speak for or against the item. Chairman Clifton questioned if there were any questions or concerns of the Commissioners. There being none, Chairman Clifton called for a roll call vote -

<b>Banks</b>	<b>Absent</b>	<b>Belasco</b>	<b>Yes</b>	<b>Chambers</b>	<b>Yes</b>
<b>Foster</b>	<b>Yes</b>	<b>Phillips</b>	<b>Yes</b>	<b>Pierce</b>	<b>Yes</b>
<b>Wallace</b>	<b>Yes</b>	<b>White</b>	<b>Yes</b>	<b>Clifton</b>	<b>Yes</b>

**SU2024-06 was approved with (8) affirmative votes, (0) no votes and (1) absent.**

**SU2024-04** a Special Use to allow a Type 2 Short-term Rental @ 1323 Franklin St in an R4 zoning district

Ms. Kalpana Sharma was present representing the request. Chairman Clifton called the item requesting the applicant come forward to address the Commission on the merits of the request. Ms. Sharma stated the request was to allow the existing home to continue to serve as an AirBnB.

Chairman Clifton questioned if there was anyone in the audience wishing to speak for or against the item. Chairman Clifton questioned if there were any questions or concerns of the Commissioners. There being none, Chairman Clifton called for a roll call vote -

<b>Banks</b>	<b>Absent</b>	<b>Belasco</b>	<b>Yes</b>	<b>Chambers</b>	<b>Yes</b>
<b>Foster</b>	<b>Yes</b>	<b>Phillips</b>	<b>Yes</b>	<b>Pierce</b>	<b>Yes</b>
<b>Wallace</b>	<b>Yes</b>	<b>White</b>	<b>Yes</b>	<b>Clifton</b>	<b>Yes</b>

**SU2024-04 was approved with (8) affirmative votes, (0) no votes and (1) absent.**

**SU2024-05** a Special Use to allow a Type 2 Short-term Rental @ 5008 Parker St in an R3 zoning district

Ms. Kalpana Sharma was present representing the request. Chairman Clifton called the item requesting the applicant come forward to address the Commission on the merits of the request. Ms. Sharma stated the request was to allow the existing home to continue to serve as an AirBnB.

Chairman Clifton questioned if there was anyone in the audience wishing to speak for or against the item. Chairman Clifton questioned if there were any questions or concerns of the Commissioners. There being none, Chairman Clifton called for a roll call vote -

<b>Banks</b>	<b>Absent</b>	<b>Belasco</b>	<b>Yes</b>	<b>Chambers</b>	<b>Yes</b>
<b>Foster</b>	<b>Yes</b>	<b>Phillips</b>	<b>Yes</b>	<b>Pierce</b>	<b>Yes</b>
<b>Wallace</b>	<b>Yes</b>	<b>White</b>	<b>Yes</b>	<b>Clifton</b>	<b>Yes</b>

**SU2024-05 was approved with (8) affirmative votes, (0) no votes and (1) absent.**

**Public Comments/Adjournment:**

Chairman Clifton called for public comment. There being no further business before the Commission, and on a motion by Commissioner Chambers and seconded by Commissioner Wallace, and by consent of all members present (8/0/1), the meeting was adjourned at 4:25 pm. The next regularly scheduled Commission meeting is to be held on Tuesday, May 14, 2024, at 4:00 pm in the City Council Chambers of City Hall, 300 Main Street, NLR, AR.

Respectfully Submitted:

*Donna James, AICP*

*Assistant Director of Planning*

## Item # 1

### SD2024-25 MILLER ADDITION LOT 1 PRE PLAT AND SPR, 8900 HWY 165

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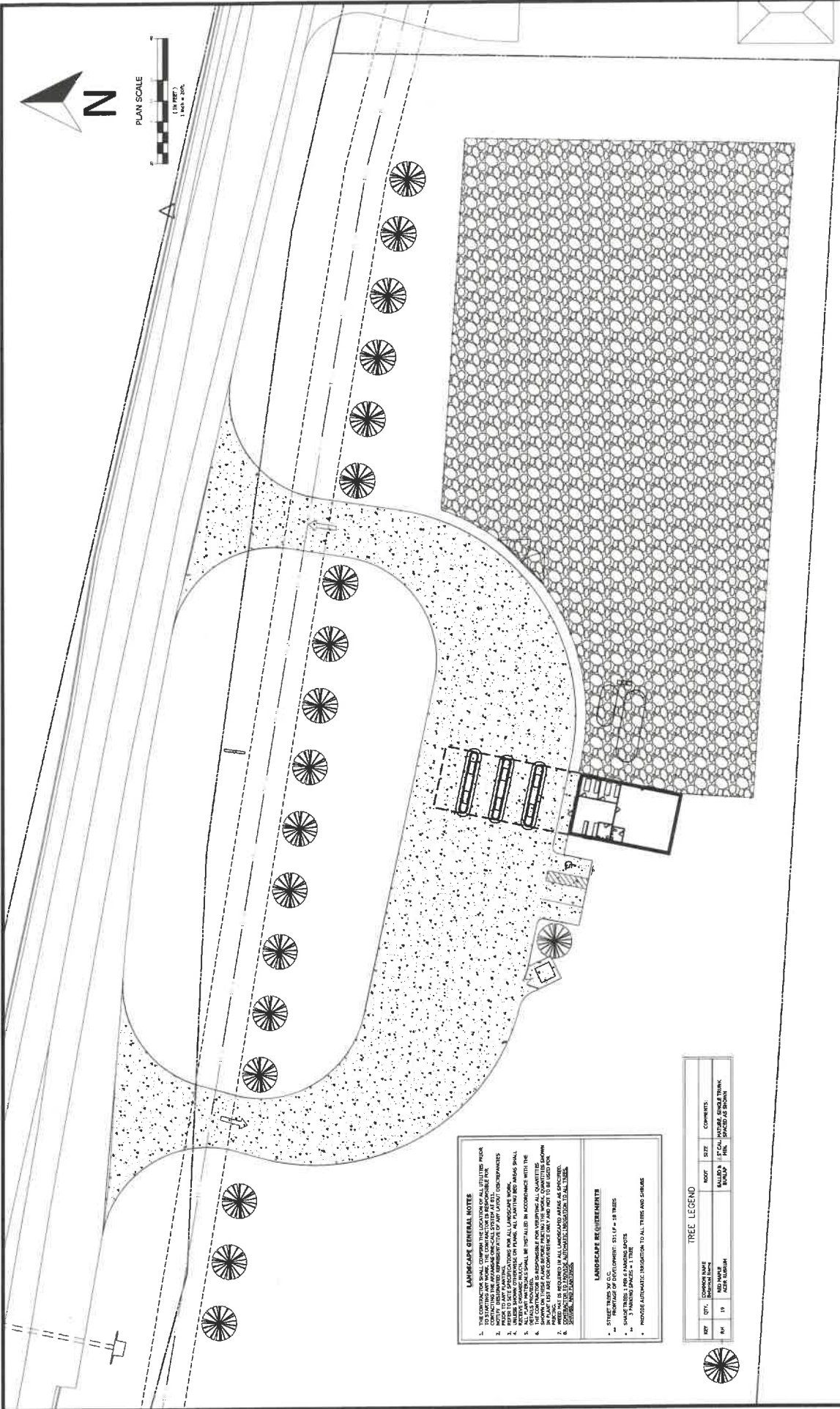
1. Engineering requirements on detention:
  - a. Option to pay the drainage in-lieu of fee of \$5000/acre instead of providing onsite detention.
2. Permit requirements/approvals submitted before a building permit will be issued:
  - a. A signed and recorded plat must be on file with the Planning Department.
  - b. Provide CNLR Grading Permit application to City Engineer with grading plans.
  - c. Provide CNLR Stormwater Permit application to City Engineer with half size erosion control plan showing silt fence, storm inlet protection, and drainage details.
  - d. Provide copy of ARDOT driveway permit.
  - e. Provide CNLR Floodplain Development Permit application to City Engineer.
  - f. Provide copy of Arkansas Department of Environmental Quality (ADEQ) Stormwater Permit to City Engineer.
  - g. Prior to construction, Owner's Architect/Engineer shall submit signed construction plans and specifications (PDF format) to NLR Planning Department.
3. Planning requirements before the plat will be signed:
  - a. Plat will be submitted to NLR Planning Department in CAD compatible DXF and/or DWG format, tied to Arkansas State Plane Coordinates.
  - b. Provide street trees or provide a bond.
4. Meet the requirements of Community Planning, including:
  - a. Provide the standard requirements of Zoning and Development Regulations.
  - b. Provide dumpster location. Dumpster to have masonry screening on 3 sides along with an opaque gate enclosure.
  - c. No fence is to be in front of the building.
  - d. All exterior lighting shall be shielded and not encroach onto neighboring properties.
5. Meet the requirements of the Master Street Plan, including:
  - a. Provide 5' sidewalks and ramps with a minimum of 5' green space between sidewalk and curb to ADA standards and City standards.
  - b. Provide ½ street improvements.
  - c. Provide ROW dedication.
6. Meet the requirements of the Screening and Landscaping ordinance, including:
  - a. All disturbed areas are to be sodded, fertilized, watered and mulched.
  - b. Any new site development must comply with the City's landscape and buffer ordinance requirements.
  - c. Street trees are to be chosen from Section 7.5 of the North Little Rock zoning code Trees from Table B shall be spaced every thirty (30) feet to achieve the required number of trees; trees from Table C shall be spaced every twenty-five (25) feet; or trees from Table D shall be used if beneath overhead power lines and spaced every fifteen (15) feet.
    - i. A minimum of 32 trees are required adjacent to the US Highway 165 right-of-way.
    - ii. A minimum of 12 trees are required adjacent to the I-440 East off Ramp.
  - d. Trees shall be planted at one (1) tree per six (6) parking spaces.
    - i. Parking lot trees are to be chosen from Table B or C, Section 7.5 of the North Little Rock zoning code, Table D shall be used if beneath overhead power lines.
  - e. Landscape plans to be revised prior to the May 2024 Planning Commission Hearing.
7. Meet the following requirements concerning signage:
  - a. Provide the location of the proposed sign on the site plan.
  - b. All signs require a permit and separate review.
8. Meet the requirements of the Fire Marshal, including:



- a. Provide an approved fire protection plan.
  - b. Meet the requirements of the 2021 Arkansas Fire Prevention Code including:
    - i. There shall be a fire hydrant within 400' of any portion the building if unsprinklered, within 600' if sprinklered. (Volume 1 Section 507.5.1)
    - ii. An approved emergency disconnect switch shall be provided at an approved location, if on the exterior it shall be within 100 feet but not less than 20 feet from the fuel dispensers. (Volume 1 Section 2303.2)
    - iii. Place required EMERGENCY FUEL SHUTOFF sign above the fuel shutoff switch. (Volume 1 Section 2303.2)
    - iv. Place required warning information at each fuel pump. (Volume 1 Section 2304.3.5 & 2305.6)
    - v. Fire Apparatus access roads shall have an unobstructed width of not less than 20 feet. (Volume 1 Section 503.2.1)
    - vi. Fire Apparatus access roads shall have an unobstructed vertical clearance of not less than 13 feet 6 inches. (Volume 1 Section 503.2.1)
  - c. Roads will support 85,000 lbs. (NLR Ordinance 9267)
9. Meet the requirements of CAW.
10. Meet the requirements of NLR Wastewater, including:
- a. No public sanitary sewer is available to property. A public main extension is required to connect to public sanitary sewer.
  - b. If septic is used provide a copy of the approval from the AR Dept. of Health with the building permit application.



PLAN SCALE



**LANDSCAPE GENERAL NOTES**

- THE CONTRACTOR SHALL VERIFY ALL UTILITIES PRIOR TO EXCAVATING ANY WORK. THE CONTRACTOR IS RESPONSIBLE FOR NOTIFYING THE UTILITY COMPANIES OF ANY LATEST DISCREPANCIES.
- VERIFY ALL SPECIFICATIONS PER ALL LANDSCAPE NOTES.
- ALL PLANTING SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS.
- THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL QUANTITIES AND SPECIFICATIONS PRIOR TO BEGINNING WORK.
- ALL PLANTING SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS.
- VERIFY THAT ALL PLANTING IS INSTALLED IN THE CORRECT LOCATION AND ORIENTATION.
- VERIFY THAT ALL PLANTING IS INSTALLED IN THE CORRECT DEPTH AND SOIL TYPE.
- VERIFY THAT ALL PLANTING IS INSTALLED IN THE CORRECT SOIL TYPE.

**LANDSCAPE REQUIREMENTS**

- STREET TREES W/ 6" C.V.
- PERCENTAGE OF DEVELOPMENT: 5% L.P. = 18 TREES
- 5" MINIMUM TREE CALIBER
- 5' MINIMUM TREE HEIGHT
- PROVIDE AUTOMATIC IRRIGATION TO ALL TREES AND SHRUBS

TREE LEGEND			
KEY	COMMON NAME	ROOT	SIZE
R14	RED BUDGED	18"	18"
R15	RED BUDGED	18"	18"



FUELING STATION  
WESTON PETROLEUM  
NORTH LITTLE ROCK, ARKANSAS

LANDSCAPE PLAN

PROJECT NO: 2024-0324  
DATE: 03/20/24  
SCALE: L1.0

## Item #2

### SD2024-20 Diamond Construction Pre Plat and SPR @ 1300 E 13<sup>th</sup> St

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1. Planning requirements before the plat will be signed:
  - a. Plat will be submitted to NLR Planning Department in CAD compatible DXF and/or DWG format, tied to Arkansas State Plane Coordinates.
2. Permit requirements/approvals submitted before a building permit will be issued:
  - a. A signed and recorded plat must be on file with the Planning Department.
  - b. Prior to construction, Owner's Engineer shall submit stormwater design report for review and approval by the City Engineer. Stormwater plans and detention calculations are to be approved by City Engineer and a written approval provided to Planning Department. Drainage submittal shall include, as a minimum, the following:
    - i. Proposed pipe material specifications.
    - ii. Proposed trench and bedding details, materials and specifications.
  - c. Provide CNLR Grading Permit application to City Engineer with grading plans.
  - d. Provide CNLR Stormwater Permit application to City Engineer with half size erosion control plan showing silt fence, storm inlet protection, and drainage details.
  - e. Provide CNLR driveway/curb cut permit application to City Engineer or copy of ARDOT driveway permit if State Highway.
  - f. Provide CNLR Floodplain Development Permit application to City Engineer.
  - g. Provide copy of Arkansas Department of Environmental Quality (ADEQ) Stormwater Permit to City Engineer.
  - h. Prior to construction, Owner's Architect/Engineer shall submit digital maps for all stormwater drainage features in an ArcGIS or AutoCAD file to the City Engineer. The digital maps shall be natively in State Plane coordinate system, Arkansas North Zone, North American Datum 1983, units as feet; or the map must have sufficient points for georeferencing. The associated attribute data table from the submitted file shall match the fields contained within the "SW Attribute Data Entry Template.xlsx" as provided by City Engineering Department. All Control, Linear, and Junction map features will be annotated by a unique identifier that will correspond to the same unique identifier in the "SW Attribute Data Entry Template.xlsx" or GIS attribute table. Data for each attribute column in the "SW Attributed Data Entry Template.xlsx" file shall be chosen from the drop-down options of each cell, or chosen as "Other" (if not listed) and described in the comments field. At the completion of the project, As-Builts of these shapefiles in ArcGIS or AutoCAD format, along with associated attribute data table, shall be submitted to the City Engineer.
3. Meet the requirements of the City Engineer.
4. Meet the requirements of Planning & Permits, including:
  - a. Provide the standard requirements of Zoning and Development Regulations.
5. Meet the requirements of the Master Street Plan.
6. Meet the requirements of the Screening and Landscaping ordinance.
7. Meet the following requirements concerning signage:
  - a. All signs require a permit and separate review
8. Meet the requirements of the Fire Marshal, including:
  - a. Provide an approved fire protection plan.
  - b. Meet Fire Marshal's requirements on fire hydrant location.
  - c. Fire hydrants to be within 400 feet of all areas of building.
9. Meet the requirements of CAW.
10. Meet the requirements of NLR Wastewater.
11. Meet the requirements of Rock Region Metro.



PLOTTED: 4/12/2024

DIAMOND CONSTRUCTION-24-0054.dwg



		<b>THOMAS ENGINEERING COMPANY</b>		3610 LOGGERS ROAD, N. LITTLE ROCK, AR 72110 TEL. 501-753-4443 FAX. 501-753-4814	
<b>SITE PLAN PROPOSED STORAGE BUILDING</b>			<b>DIAMOND CONSTRUCTION</b>		
APPROVED TBC	SCALE 1/4"=20'	DRAWN BY TBC	DATE 4/12/24	SHEET NO. C1	

**Item #3**  
**Rezoning #2024-08**

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**Request:** Northshore Business Park Lot 6R2, Block 5, Rezoning from I2 to C3 to allow a photography studio

**Location of the Request:** 7701 Northshore Place, NLR, AR

**Applicant:** Thomas Pownall, Thomas Engineering

**Owner:** LHW Properties LLC

**P.C. Background:** 1<sup>st</sup> time on the agenda

**Site Characteristics:** The site is located in the Northshore Business Park Addition which has developed as primarily an office and institutional subdivision. An engineering firm and a plumbing supply store are located across Northshore Place. There is a printing company and an office use located on either side of the currently vacant lot. To the north of the site is undeveloped industrially zoned property.

**Master Street Plan:** Northshore Place is indicated as a local commercial street on the Master Street Plan. There are no dedicated bikeways located in the area.

**Surrounding Zoning & Uses**

<u>Direction</u>	<u>Surrounding Zoning</u>	<u>Surrounding Uses</u>
North	I2	Undeveloped Industrially zoned property
South	I2	Garver Engineering & Plumbing Supply Showroom
East	I2	River City Print & Imaging
West	I2	Snyder Environmental - Office

**Background:**

- Compatible with previous actions?** Yes, there have been rezonings within the subdivision to allow for uses which are not permitted in the industrial zoning classifications.
- Neighborhood Position/Comment?** Staff has received an informational phone call from an area property owner regarding the site development plan.
- Effect on public service and utilities?** There should be minimal impact on public services and utilities with the development of the lot with a photography studio.
- Legal Consideration/Reasonableness?** The request is reasonable.
- Will the approval have a stabilizing effect on surrounding properties?** The approval of the rezoning should not have an impact on surrounding properties.

6. **Is the site of adequate size for the development?** The site is adequate in size to meet the development criteria for the C3 zoning district.
7. **Will this set a precedent for future rezoning?** No, there have been a number of rezonings within the subdivision to a similar zoning classification.
8. **Should a different zoning classification be requested?** No, to allow a photography studio requires a rezoning to C3.

**Summary:**

The applicant is seeking a rezoning from I2 to C3 to allow future construction of a photography studio. As a companion application the applicant is seeking site plan approval (SD2024-08) to allow the construction of an 8,325 square foot building and associated parking. Staff is supportive of the applicant's request for rezoning to allow the photography studio.

# Rezone Case #2024-08

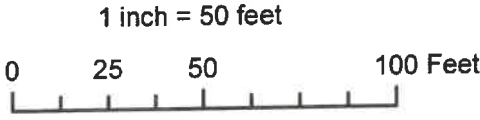


7705

NORTHSHORE PL

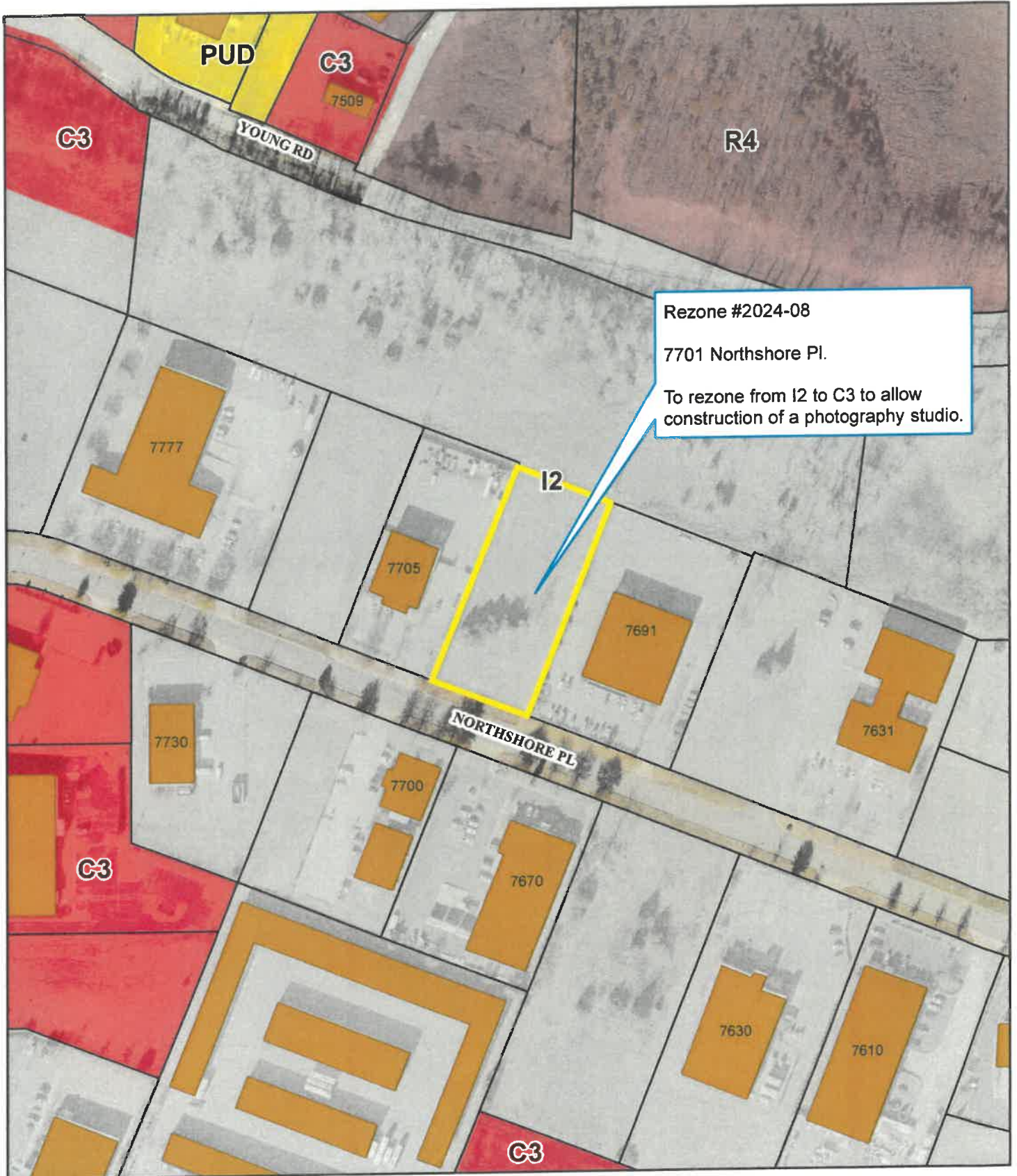


Ortho Map



Date: 4/29/2024

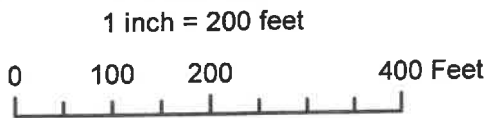
# Rezone Case #2024-08



Rezone #2024-08  
7701 Northshore Pl.  
To rezone from I2 to C3 to allow construction of a photography studio.



Zoning Map



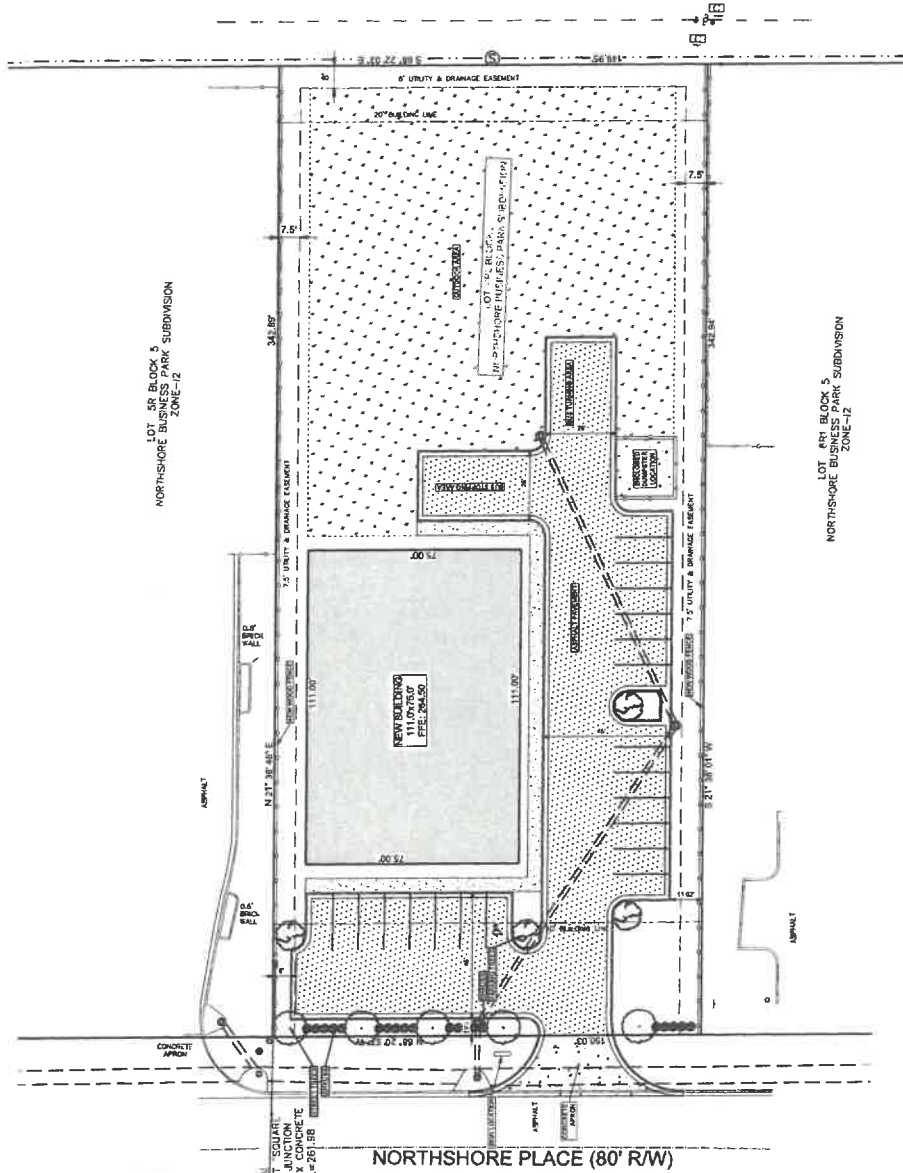
Date: 4/29/2024





VICINITY MAP

THIS SURVEY



LEGEND

- PROPERTY LINE
- MAJOR LOT
- MINOR LOT
- ADJUTANT PROPERTY LINE
- OVERHEAD ELECTRICAL LINE
- UTILITY LINE
- WATER MAIN LINE
- SEWER MAIN LINE
- PHONE - COAXIAL LINE
- FENCE - DECORATIVE BRON

- UTILITY POLE
- UTILITY POLE FOOT
- SMART METER MANHOLE
- POUND METER MANHOLE AS DESIGNED
- CALCULATED POINT
- MANHOLE
- WATER VALVE
- PIPE JOINT
- ROOF GIAN
- BOLLARD
- ELECTRIC BOX
- CHANNEL BOX AS DESIGNED
- TELEPHONE MANHOLE
- WATER METER
- DOG
- GAS METER
- TRAFFIC SIGNAL POLE

- SHOWS CONCRETE SIDEWALK
- SHOWS STANDARD DUTY CONCRETE PAVEMENT
- SHOWS STANDARD DUTY ASPHALT PAVEMENT

- SETBACK REQUIREMENTS**
1. SITE CONTAINS PROPOSED BUILDING AND PARKING FOR A SPORTS STORE.
  2. MARK OF FINISHING FLOOR
  3. THE PROPERTY IS ADJACENT TO THE CITY OF NORTHSHORE PARK, ARKANSAS.
  4. THE TRACT CONTAINS 177 ACRES MORE OR LESS.
  5. THE PROPERTY SHALL BE REDEVELOPED FOR RECREATION AND SPORTS PURPOSES.
  6. SETBACKS SHALL BE AS FOLLOWS:

LANDSCAPE NOTES

1. TREES AND SHRUBS SHALL HAVE AUTOMATIC IRRIGATION SYSTEMS.
2. IRRIGATION SHALL BE WITHIN 10' OF IMPAVED DRIVEWAYS.
3. ALL IRRIGATION AREAS SHALL BE PERIODIC.
4. IRRIGATION SHALL BE WITHIN 10' OF ALL DRIVEWAYS.
5. IRRIGATION SHALL BE WITHIN 10' OF ALL DRIVEWAYS.
6. IRRIGATION SHALL BE WITHIN 10' OF ALL DRIVEWAYS.

LEGEND

- STREET TREE (PER CITY)
- NEW ASPHALT DRIVEWAY
- NEW ASPHALT SIDEWALK
- NEW CONCRETE DRIVEWAY
- NEW CONCRETE SIDEWALK
- NEW CONCRETE DRIVEWAY
- NEW CONCRETE SIDEWALK
- NEW CONCRETE DRIVEWAY
- NEW CONCRETE SIDEWALK

PRELIMINARY PLAN - NOT FOR CONSTRUCTION

**THOMAS ENGINEERING COMPANY**  
 NORTHSHORE BUSINESS PARK SUBDIVISION  
 NORTH LITTLE ROCK, ARKANSAS

DATE	02/28/2024	SHEET NO	1
DRAWN BY	MARK	SCALE	1" = 10'
APPROVED			



**PARKING**  
 ACCORDING TO THE CITY OF NORTHSHORE PARK, ARKANSAS, 27 SPACES ARE REQUIRED.

**DESIGNED AND MANAGED BY**  
 THOMAS ENGINEERING COMPANY  
 NORTH LITTLE ROCK, ARKANSAS

**LOCAL DESCRIPTION**  
 LOT 5R BLOCK 5  
 NORTHSHORE BUSINESS PARK SUBDIVISION



**THOMAS ENGINEERING COMPANY**

civil engineers

land surveyors

3810 LOOKOUT RD

NORTH LITTLE ROCK, AR 72116  
NATIONAL SOCIETY OF PROFESSIONAL ENGINEERS

(501)753-4463

March 26, 2024

Ms. Donna James  
Assistant Planning Director  
North Little Rock Planning Department  
120 Main Street  
North Little Rock, AR 72114

RE: Lot 6R2, Block 5  
Northshore Business Park Subdivision  
Site Plan Review and Rezoning Application

Dear Ms. James:

Please accept this letter to serve as our application for the above reference submittal. We wish to be placed on May 14th, 2024, Planning Commission Meeting Agenda. We are submitting the site plan of the proposed development for review. This site plan review shows the proposed development of a sport picture and video studio within this lot. This property is currently zoned I-2. We are also requesting for rezoning this lot from I-2 to C-3.

Enclosed please find a check for the review fee in the amount of \$620.00.

If you have any questions, please give me a call.

Sincerely,

Thomas R. Pownall, P.E.  
Vice President

## Item #4

### SD2024-26 NORTHSORE BUS PARK LOT 6R2 SPR, 7701 NORTHSORE PLACE

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1. Engineering requirements on detention:
  - a. Option to pay the drainage in-lieu of fee of \$5000/acre instead of providing onsite detention.
2. Permit requirements/approvals submitted before a building permit will be issued:
  - a. A signed and recorded plat must be on file with the Planning Department.
  - b. Prior to construction, Owner's Engineer shall submit stormwater design report for review and approval by the City Engineer. Stormwater plans and detention calculations are to be approved by City Engineer and a written approval provided to Planning Department. Drainage submittal shall include, as a minimum, the following:
    - i. Proposed pipe material specifications.
    - ii. Proposed trench and bedding details, materials and specifications.
  - c. Provide CNLR Grading Permit application to City Engineer with grading plans.
  - d. Provide CNLR Stormwater Permit application to City Engineer with half size erosion control plan showing silt fence, storm inlet protection, and drainage details.
  - e. Provide CNLR driveway/curb cut permit application to City Engineer.
  - f. Provide copy of Arkansas Department of Environmental Quality (ADEQ) Stormwater Permit to City Engineer.
  - g. Prior to construction, Owner's Architect/Engineer shall submit signed construction plans and specifications (PDF format) to NLR Planning Department.
  - h. Prior to construction, Owner's Architect/Engineer shall submit digital maps for all stormwater drainage features in an ArcGIS or AutoCAD file to the City Engineer. The digital maps shall be natively in State Plane coordinate system, Arkansas North Zone, North American Datum 1983, units as feet; or the map must have sufficient points for georeferencing. The associated attribute data table from the submitted file shall match the fields contained within the "SW Attribute Data Entry Template.xlsx" as provided by City Engineering Department. All Control, Linear, and Junction map features will be annotated by a unique identifier that will correspond to the same unique identifier in the "SW Attribute Data Entry Template.xlsx" or GIS attribute table. Data for each attribute column in the "SW Attributed Data Entry Template.xlsx" file shall be chosen from the drop-down options of each cell, or chosen as "Other" (if not listed) and described in the comments field. At the completion of the project, As-Builts of these shapefiles in ArcGIS or AutoCAD format, along with associated attribute data table, shall be submitted to the City Engineer.
3. Meet the requirements of the City Engineer, including:
  - a. Contractor shall notify City Engineer at least 1 day prior to the construction of all stormwater pipes and inlet structures within City ROW.
  - b. At the end of construction, Owner/Developer shall have a Professional Engineer, licensed in the State of Arkansas, certify that all street and stormwater improvements in conjunction with this subdivision and/or the proposed development have been inspected and constructed in accordance with the approved plans and meet all City of North Little Rocks Standard Specifications.
  - c. Driveway radii shall be labeled and shall have 25' minimum radii and be built according to CNLR standard details (available at NLR Engineering Department).
4. Other Boards approvals required before applying for a building permit.
  - a. Provide approved City Council ordinance rezoning property to C3.
5. Meet the requirements of Community Planning, including:
  - a. Provide the standard requirements of Zoning and Development Regulations.
  - b. Provide dumpster location. Dumpster to have masonry screening on 3 sides along with an opaque gate enclosure.
  - c. Provide street trees or provide a bond.

**Item #4 (cont.)**

**SD2024-26 NORTSHORE BUS PARK LOT 6R2 SPR, 7701 NORTSHORE PLACE**

Page 2 of 3

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- d. No fence is to be in front of the building.
- e. All exterior lighting shall be shielded and not encroach onto neighboring properties.
- 6. Meet the requirements of the Master Street Plan.
- 7. Meet the requirements of the Screening and Landscaping ordinance, including:
  - a. All disturbed areas are to be sodded, fertilized, watered and mulched.
  - b. Any new site development must comply with the City's landscape and buffer ordinance requirements.
  - c. Half screens require - 7.3.2: Class B – Half Screens
    - i. Trees from Table B or C shall be spaced every twenty (20) feet; or trees from Table D shall be used if beneath overhead power lines and spaced every twenty (20) feet.
    - ii. Only trees and shrubs from the approved planting list will count toward any requirements unless approved by the Planning Commission.
    - iii. A six (6) foot tall, continuous opaque screen shall be provided. An opaque screen may include one (1) of the following: wall, fence, site grading, or plantings. The opaque screen must be opaque in all seasons.
    - iv. Trees shall be irrigated by an automatic underground irrigation system.
  - d. Street trees are to be chosen from Section 7.5 of the North Little Rock zoning code Trees from Table B shall be spaced every thirty (30) feet to achieve the required number of trees; trees from Table C shall be spaced every twenty-five (25) feet; or trees from Table D shall be used if beneath overhead power lines and spaced every fifteen (15) feet.
    - i. A minimum of 5 trees are required adjacent to the Northshore Place right-of-way.
  - e. Trees shall be planted at one (1) tree per six (6) parking spaces.
    - i. Trees ten (10) feet from the edge of parking area may serve for the parking lot shading requirements, but may not satisfy more than fifty (50) percent of the overall requirement for the parking lot or area.
    - ii. Parking lot trees are to be chosen from Table B or C, Section 7.5 of the North Little Rock zoning code, Table D shall be used if beneath overhead power lines.
  - f. A continuous screen of shrubs shall be required for any landscape strip adjacent to any parking area.
    - i. Only shrubs from the approved planting list will count toward this requirement, unless approved by the Planning Commission. Shrubs shall be eighteen (18) inches in height at planting and be planted a maximum three (3) feet apart.
    - ii. Additional shrubs will be required between the parking area and the Northshore Pl right-of-way.
    - iii. Shrubs will be required between the parking area and the east property line.
  - g. Note turf, groundcover, or mulch (species or type) on the development plan
    - i. Ground cover shall be selected from Section 7.5 of the North Little Rock zoning code. Plant materials / turf from Table J, or mulch of shredded bark or stone shall be applied in all landscaped areas.
  - h. All turf and plant material shall be irrigated by an automatic underground irrigation system.
  - i. Wheel stops shall be required when parking areas abut sidewalks, landscaped areas or pedestrian areas. No portion of a vehicle shall encroach onto a sidewalk, landscaped area or pedestrian area.
  - j. Provide plant material legend graphically indicating the different plant materials. Provide plant material list and specifications indicating minimum plant material size at installation.
  - k. Landscape plans to be revised prior to the May 2024 Planning Commission Hearing.
- 8. Meet the following requirements concerning signage:
  - a. Provide the location of the sign on the site plan.

**Item #4 (cont.)**

**SD2024-26 NORTSHORE BUS PARK LOT 6R2 SPR, 7701 NORTSHORE PLACE**

Page 3 of 3

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- b. All signs require a permit and separate review.
- 9. Meet the requirements of the Fire Marshal, including:
  - a. Meet the requirements of the 2021 Arkansas Fire Prevention Code.
  - b. Fire apparatus access roads will support 85,000 lbs. (NLR Ordinance 9267)
- 10. Meet the requirements of CAW.
- 11. Meet the requirements of NLR Wastewater, including:
  - a. White Oak Connection Fee applies. Payment of this fee is required prior to connection to NLRW's collection system.
  - b. Please submit a full set of plans to NLRW for review and approval prior to construction.



THIS SURVEY

VICINITY MAP

LEGEND

	PROPERTY LINE
	BOUNDARY LINE
	PAVEMENT/ASPHALT
	OVERHEAD ELECTRIC LINE
	UNDERGROUND ELECTRIC LINE
	STORM SEWER
	SEWER MAIN
	FENCE - CHAIN LINK
	FENCE - DECORATIVE IRON

	LIGHT POLE
	UTILITY POLE (4/11)
	MANHOLE
	UTILITY MARKER AS DESCRIBED
	CALCULATED POINT
	MANHOLE COVER
	WATER VALVE
	FIRE HYDRANT
	ROOF DRAIN
	BOLT LOAD
	ELECTRIC BOX
	MANHOLE BOX AS DESCRIBED
	TELEPHONE MANHOLE
	WATER LETTER
	SIGN
	GAS METER
	TRAFFIC SIGNAL POLE

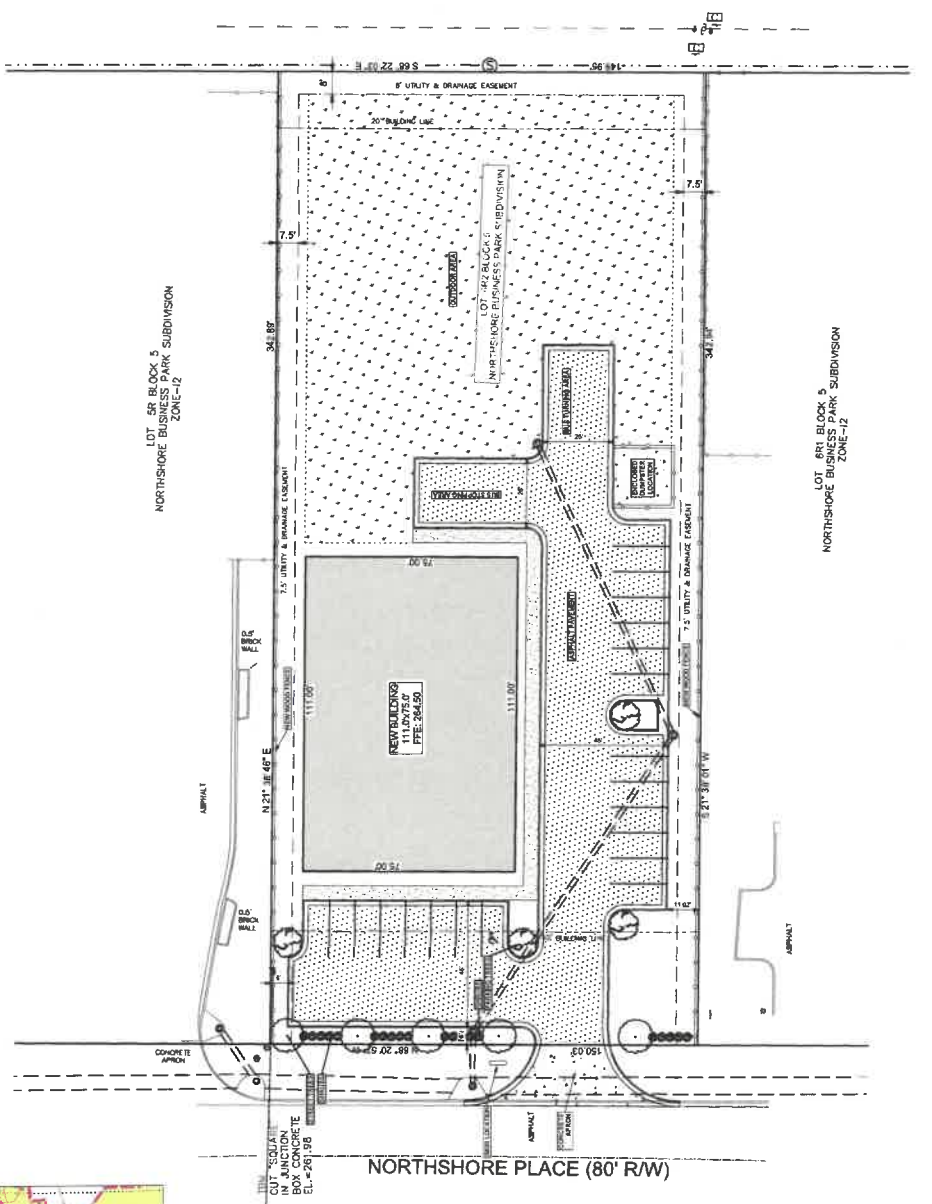
SHOWS CONCRETE SIDEWALKS  
 SHOWS STANDARD DUTY CONCRETE PAVEMENT  
 SHOWS STANDARD DUTY ASPHALT PAVEMENT

**ZEL PLAN REQUIREMENTS**

1. SITE CONTAINS PROPOSED BUILDING AND PAVING FOR A SPORTS STUDIO.
2. BASE OF EXISTING PAVEMENT SHALL BE EXPOSED AND REPAIRED TO ORIGINAL FINISH.
3. THE PROPERTY OWNER SHALL MAINTAIN THE EXISTING PAVEMENT AND SIDEWALKS IN GOOD CONDITION AT ALL TIMES.
4. THE TRACT CONTAINS 1.79 ACRES MORE OR LESS.
5. THE PROVISIONS OF THE ZONING ORDINANCE SHALL BE STRICTLY ENFORCED.
6. ALL UTILITIES SHALL BE RELOCATED TO THE CENTER OF THE LOT.
7. ALL UTILITIES SHALL BE RELOCATED TO THE CENTER OF THE LOT.
8. ALL UTILITIES SHALL BE RELOCATED TO THE CENTER OF THE LOT.

**SUBMITTALS**

1. ALL UTILITIES SHALL BE RELOCATED TO THE CENTER OF THE LOT.
2. THE PROPERTY OWNER SHALL MAINTAIN THE EXISTING PAVEMENT AND SIDEWALKS IN GOOD CONDITION AT ALL TIMES.
3. ALL UTILITIES SHALL BE RELOCATED TO THE CENTER OF THE LOT.
4. THE PROPERTY OWNER SHALL MAINTAIN THE EXISTING PAVEMENT AND SIDEWALKS IN GOOD CONDITION AT ALL TIMES.



PRELIMINARY PLAN -  
NOT FOR CONSTRUCTION

THOMAS ENGINEERING COMPANY

3810 JORDAN ROAD, N. LITTLE ROCK, AR 72118  
 TEL: 501-753-4663 FAX: 501-753-6814

DATE: 03/26/2024  
 SHEET NO: 1



LEGAL DESCRIPTION  
 LOT 6R1 BLOCK 5  
 NORTHSHORE BUSINESS PARK SUBDIVISION

ORIGIN AND ADDRESS  
 4501 NORTHSHORE  
 NORTHSHORE BUSINESS PARK SUBDIVISION

PARKING  
 ACCESSIBLE: 11 SPACES  
 UNACCESSIBLE: 11 SPACES  
 REQUIRED: 22 SPACES

**Item #5**  
**Rezoning # RZ2024-10**

---

**Request:** Special Olympics of AR Rezoning from C3 to C6 to allow construction of an office building

**Location of the Request:** @ 2111 Main Street, NLR, AR

**Applicant:** Thomas Pownall, Thomas Engineering

**Owner:** Special Olympics of Arkansas

**P.C. Background:** 1<sup>st</sup> time on the agenda

**Site Characteristics:** The site is currently vacant. Special Olympics of Arkansas was forced to demo their former office building located on the site due to storm damage. There are non-residential and residential uses located along Main Street in this area. There are single-family homes located to the west of the site.

**Master Street Plan:** Main Street is classified as a Minor Arterial on the Master Street Plan. There are no dedicated bikeways located in the immediate area.

**Surrounding Zoning & Uses**

<b><u>Direction</u></b>	<b><u>Surrounding Zoning</u></b>	<b><u>Surrounding Uses</u></b>
North	C3	Office
South	C3	Floral Shop
East	C3 & C6	Office and Residential
West	R3	Single Family

**Background:**

1. **Compatible with previous actions?** There are C6 zoned properties located in the immediate area.
2. **Neighborhood Position/Comment?** None at the time of printing.
3. **Effect on public service and utilities?** There should be minimal impact on public services and utilities with the new construction for replacement of the office building.
4. **Legal Consideration/Reasonableness?** The request is reasonable. Special Olympics of Arkansas previously occupied an office building at this location but was forced to remove the building due to storm damage.
5. **Will the approval have a stabilizing effect on surrounding properties?** The redevelopment as proposed should have minimal impact on the neighborhood.

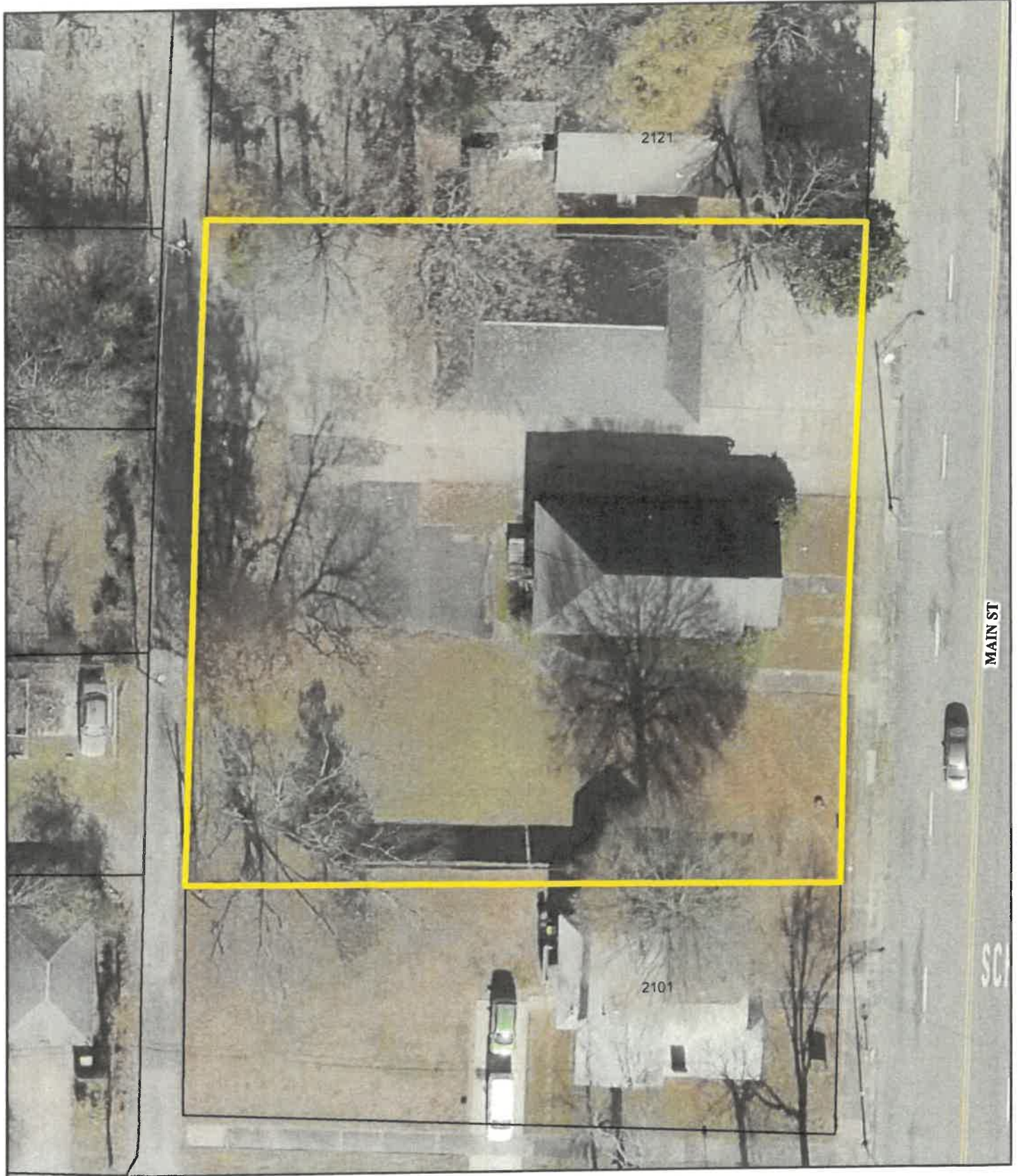
6. **Is the site of adequate size for the development?** The site is adequate in size for development.
7. **Will this set a precedent for future rezoning?** No, the request is to rezone the property to C6 will allow the building to be pulled up to Main Street creating a downtown feel.
8. **Should a different zoning classification be requested?** No, C6 will allow the development of the new office building as proposed.

**Summary:**

The applicant is seeking a rezoning of the property to allow the future construction of an office building. The applicant is seeking to allow the construction of the office building to replace the former offices of Special Olympics of AR. The applicant is seeking to build the building at the front property line to allow a covered drop-off as well as an architectural feature for the building. The rezoning to C6 will allow construction of the front property line. Staff is supportive of the applicant's request. Staff does not feel the rezoning to C6 will have an adverse impact on the property or the surrounding properties.

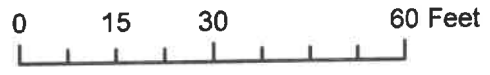


# Rezone Case #2024-10



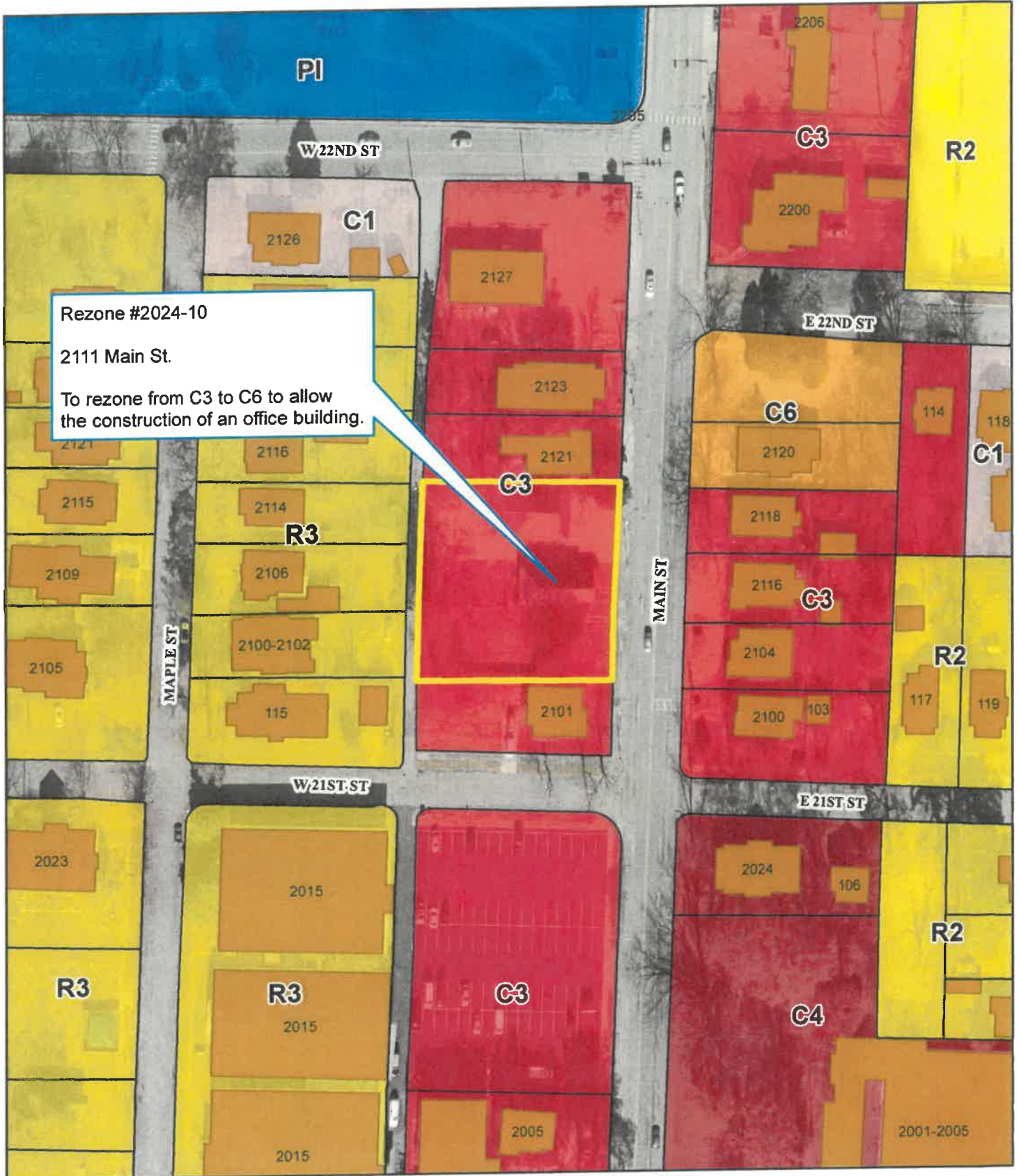
Ortho Map

1 inch = 30 feet



Date: 4/29/2024

# Rezone Case #2024-10



Zoning Map

1 inch = 100 feet

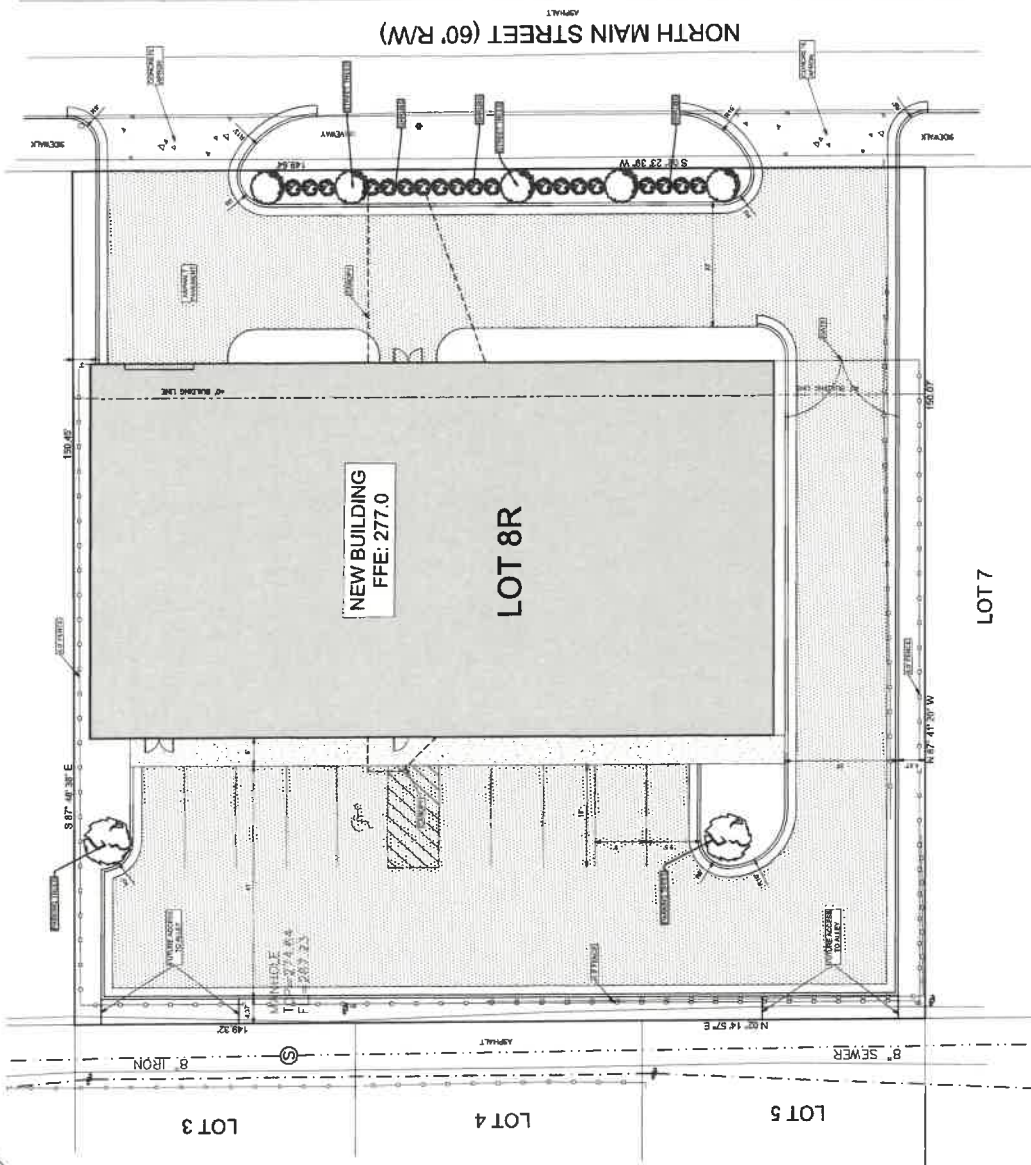


Date: 4/29/2024



VICINITY MAP

THIS SITE



[Symbol]	PROPERTY LINE
[Symbol]	BOUNDARY LINE
[Symbol]	SEWER MAIN
[Symbol]	WATER MAIN
[Symbol]	STORM DRAINAGE
[Symbol]	SEWER
[Symbol]	WATER
[Symbol]	STORM DRAINAGE
[Symbol]	FENCE - CHAIN LINK
[Symbol]	FENCE - ELECTROVENOM
[Symbol]	UPGRADE
[Symbol]	CONCRETE SIDEWALK
[Symbol]	STANDARD DUTY ASPHALT PAVEMENT
[Symbol]	CALCULATED POINT
[Symbol]	MANHOLE
[Symbol]	WATER VALVE
[Symbol]	FIRE HYDRANT
[Symbol]	POLE
[Symbol]	FLUORESCENT LIGHT
[Symbol]	TELEPHONE MANHOLE
[Symbol]	WATER METER
[Symbol]	SEWER METER
[Symbol]	TRAFIC SIGNAL POLE

- RELATIONS**
1. SITE CONTAINS PROPOSED BUILDING AND PAVED DRIVEWAY AS SHOWN.
  2. BASE OF EXISTING PAVE.
  3. EXISTING SIDEWALK AND DRIVEWAY SHALL BE REPAIRED TO MEET ALL APPLICABLE CODES.
  4. THIS TRACT CONTAINS 1.18 ACRES MORE OR LESS.
  5. THE PROPERTY SHALL BE RECORDED INTO A SUBDIVISION.
  6. RECORDS SHOW FOR L.A. ARE 15-08-100-000, 15-08-100-001, 15-08-100-002.
  7. TREE LAND SHALL BE REPAIRED BY AN AUTOMATIC UNDERGROUND DRAINAGE SYSTEM.
- LEGEND**
- SHOWS CONCRETE SIDEWALK
- SHOWS STANDARD DUTY CONCRETE PAVEMENT
- SHOWS STANDARD DUTY ASPHALT PAVEMENT

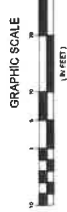
- LEGEND**
1. TREE LAND SHALL BE REPAIRED BY AN AUTOMATIC UNDERGROUND DRAINAGE SYSTEM.
  2. SIDEWALK SHALL BE WITHIN 12" OF THE EXISTING SIDEWALK.
  3. ALL UTILITIES SHALL BE REPAIRED TO MEET ALL APPLICABLE CODES.
  4. EXISTING SIDEWALK SHALL BE REPAIRED TO MEET ALL APPLICABLE CODES.
  5. EXISTING SIDEWALK SHALL BE REPAIRED TO MEET ALL APPLICABLE CODES.
  6. EXISTING SIDEWALK SHALL BE REPAIRED TO MEET ALL APPLICABLE CODES.



FOR USE & BENEFIT OF: SPECIAL OUTRIGGER AREAS

LEGAL DESCRIBING: NORTH AREA

PARKING: 15 SPACES MINIMUM 15' x 20' PLACES REQUIRED



**PRELIMINARY PLAN - NOT FOR CONSTRUCTION**



SITE PLAN REVIEW  
 LOT 8R BLOCK 7  
 NORTH ARGENTA  
 IN THE CITY OF PULASKI COUNTY, ARKANSAS

THOMAS ENGINEERING, INC.  
 IN THE CITY OF PULASKI COUNTY, ARKANSAS

3810 LOCKOUT ROAD, N. LITTLE ROCK, AR 72118  
 TEL. 501-753-4443 FAX. 501-753-4814  
 APPROVED DATE: 03/28/2024 SHEET NO. 1



**WDD**  
ARCHITECTS

 MAIN STREET NORTHEAST VIEW

## Item # 6

### SD2024-27 NORTH ARGENTA LOT 8R BLK 7 SPR, 2111 MAIN STREET

---

1. Provide an ordinance from City Council rezoning the property from C3 to C6 prior to submission for a building permit.
2. Engineering requirements on detention:
  - a. Option to pay the drainage in-lieu of fee of \$5000/acre instead of providing onsite detention for any increase in impervious surface.
3. Permit requirements/approvals submitted before a building permit will be issued:
  - a. A signed and recorded plat must be on file with the Planning Department.
  - b. Provide CNLR Grading Permit application to City Engineer with grading plans.
  - c. Provide CNLR Stormwater Permit application to City Engineer with half size erosion control plan showing silt fence, storm inlet protection, and drainage details.
  - d. Provide CNLR driveway/curb cut permit application to City Engineer.
  - e. Provide copy of Arkansas Department of Environmental Quality (ADEQ) Stormwater Permit to City Engineer.
  - f. Prior to construction, Owner's Architect/Engineer shall submit signed construction plans and specifications (PDF format) to NLR Planning Department.
4. Meet the requirements of the City Engineer, including:
  - a. Repair or replace existing sidewalk and curb to City Engineer's standards.
  - b. Driveway radii shall be labeled and shall have 25' minimum radii and be built according to CNLR standard details (available at NLR Engineering Department).
  - c. Driveway widths shall be labeled and shall be 10' minimum to 40' maximum.
5. Meet the requirements of Community Planning, including:
  - a. Provide the standard requirements of Zoning and Development Regulations.
  - b. If a dumpster is added to the site, the dumpster is to have masonry screening on 3 sides along with an opaque gate enclosure.
  - c. No fence is to be in front of the building.
  - d. All exterior lighting shall be shielded and not encroach onto neighboring properties.
6. Meet the requirements of the Master Street Plan.
7. Meet the requirements of the Screening and Landscaping ordinance, including:
  - a. Any new site development must comply with the City's landscape and buffer ordinance requirements.
  - b. Street trees are to be chosen from Section 7.5 of the North Little Rock zoning code Trees from Table B shall be spaced every thirty (30) feet to achieve the required number of trees; trees from Table C shall be spaced every twenty-five (25) feet; or trees from Table D shall be used if beneath overhead power lines and spaced every fifteen (15) feet.
    - i. A minimum of 5 trees are required adjacent to the Main St right-of-way.
  - c. Trees shall be planted at one (1) tree per six (6) parking spaces.
    - i. Trees ten (10) feet from the edge of parking area may serve for the parking lot shading requirements, but may not satisfy more than fifty (50) percent of the overall requirement for the parking lot or area.
    - ii. Parking lot trees are to be chosen from Table B or C, Section 7.5 of the North Little Rock zoning code, Table D shall be used if beneath overhead power lines.
  - d. A continuous screen of shrubs shall be required for any landscape strip adjacent to any parking area.
    - i. Only shrubs from the approved planting list will count toward this requirement, unless approved by the Planning Commission. Shrubs shall be eighteen (18) inches in height at planting and be planted a maximum three (3) feet apart.
    - ii. Additional shrubs will be required between the parking area and the Main St right-of-way.

**Item #6**

**SD2024-27 NORTH ARGENTA LOT 8R BLK 7 SPR, 2111 MAIN STREET**

Page 2 of 2

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- e. Note turf, groundcover, or mulch (species or type) on the development plan
    - i. Ground cover shall be selected from Section 7.5 of the North Little Rock zoning code. Plant materials / turf from Table J, or mulch of shredded bark or stone shall be applied in all landscaped areas.
  - f. All turf and plant material shall be irrigated by an automatic underground irrigation system.
  - g. Wheel stops shall be required when parking areas abut sidewalks, landscaped areas or pedestrian areas. No portion of a vehicle shall encroach onto a sidewalk, landscaped area or pedestrian area.
  - h. Provide plant material legend graphically indicating the different plant materials. Provide plant material list and specifications indicating minimum plant material size at installation.
  - i. Landscape plans to be revised prior to the May 2024 Planning Commission Hearing.
8. Meet the following requirements concerning signage:
- a. Provide the location of the proposed sign on the site plan.
  - b. All signs require a permit and separate review.
9. Meet the requirements of the Fire Marshal, including:
- a. Provide an approved fire protection plan.
  - b. Meet the requirements of the 2021 Arkansas Fire Prevention Code including:
    - i. Gates securing fire apparatus access roads will have a minimum width of 20 feet. (Volume 1 Appendix D 103.5)
    - ii. Gates shall have an approved means of emergency operation. (Volume 1 Section 503.6)
  - c. Roads will support 85,000 lbs. (NLR Ordinance 9267)
10. Meet the requirements of CAW.
11. Meet the requirements of NLR Wastewater, including:
- a. Please state use of facility. A grease interceptor is required if facility has food service.
  - b. Please submit a full set of plans to NLRW for review and approval prior to construction.



## Item #7

### SD2024-28 MCNEIL ADD PRE PLAT & SPR, 1401 MCNEIL DRIVE, BLDG. 6

---

1. Engineering requirements on detention:
  - a. Option to pay the drainage in-lieu of fee of \$5000/acre instead of providing onsite detention.
2. Permit requirements/approvals submitted before a building permit will be issued:
  - a. A signed and recorded plat must be on file with the Planning Department.
  - b. Prior to construction, Owner's Engineer shall submit stormwater design report for review and approval by the City Engineer. Stormwater plans and detention calculations are to be approved by City Engineer and a written approval provided to Planning Department. Drainage submittal shall include, as a minimum, the following:
    - i. Proposed pipe material specifications.
    - ii. Proposed trench and bedding details, materials and specifications.
  - c. Provide CNLR Grading Permit application to City Engineer with grading plans.
  - d. Provide CNLR Stormwater Permit application to City Engineer with half size erosion control plan showing silt fence, storm inlet protection, and drainage details.
  - e. Provide CNLR driveway/curb cut permit application to City Engineer.
  - f. Provide copy of Arkansas Department of Environmental Quality (ADEQ) Stormwater Permit to City Engineer.
3. Planning requirements before the plat will be signed:
  - a. Plat will be submitted to NLR Planning Department in CAD compatible DXF and/or DWG format, tied to Arkansas State Plane Coordinates.
  - b. Provide street trees or provide a bond.
4. Meet the requirements of Community Planning, including:
  - a. Provide the standard requirements of Zoning and Development Regulations.
  - b. Provide dumpster location. Dumpster to have masonry screening on 3 sides and a solid gate covering.
  - c. No fence is to be within the front of the building. All variances must be approved by the Board of Zoning Adjustment prior to installation.
  - d. All exterior lighting shall be shielded and not encroach onto neighboring properties.
5. Meet the requirements of the Master Street Plan.
6. Meet the requirements of the Screening and Landscaping ordinance, including:
  - a. All disturbed areas are to be sodded, fertilized, watered and mulched.
  - b. Any new site development must comply with the City's minimal landscape and buffer ordinance requirements.
  - c. Street trees are to be chosen from Section 7.5 of the North Little Rock zoning code Trees from Table B shall be spaced every thirty (30) feet to achieve the required number of trees; trees from Table C shall be spaced every twenty-five (25) feet; or trees from Table D shall be used if beneath overhead power lines and spaced every fifteen (15) feet.
    - i. Provide street trees along the McNeil Dr right-of-way to correspond with the development area.
  - d. All disturbed areas are to be sodded, fertilized, watered, and mulched. Ground cover shall be selected from Section 7.5 of the North Little Rock zoning code. Plant materials / turf from Table J, or mulch of shredded bark or stone shall be applied in all landscaped areas.
  - e. Plant material shall be irrigated by an automatic underground irrigation system.
  - f. Landscape plans to be revised prior to the May 2024 Planning Commission Hearing.
7. Meet the following requirements concerning signage:
  - a. All signs require a permit and separate review.
8. Meet the requirements of the Fire Marshal, including:
  - a. Meet the requirements of the 2021 Arkansas Fire Prevention Code including:



- i. Group S-1 storage facilities used for the repair of commercial motor vehicles where the fire area exceeds 5000 square feet shall have an automatic fire sprinkler system. (Volume 2 Section 903.2.9.1)
  - ii. Buildings used for the storage of commercial motor vehicles where the fire area exceeds 5000 square feet shall be provided with an automatic fire sprinkler system. (Volume 2 Section 903.2.10.1)
  - iii. Fire barriers separating an occupancy into different fire areas shall have a fire resistance rating of not less than that indicated in Table 707.3.10, 3 hour rating. (Volume 2 Table 707.3.10)
  - iv. Gates securing fire apparatus access roads will have a minimum width of 20 feet. (Volume 1 Appendix D 103.5)
  - v. Gates shall have an approved means of emergency operation. (Volume 1 Section 503.6)
  - vi. Fire Apparatus access roads shall have an unobstructed width of not less than 20 feet. (Volume 1 Section 503.2.1)
  - vii. Fire Apparatus access roads shall extend to within 150 feet of all portions of the exterior walls of the first story of the building. (Volume 1 Section 503.1.1)
  - viii. Dead end roads in excess of 150 feet shall be provided with width and turnaround provisions in accordance with Table D103.4. (Volume 1 Appendix D103.4)
  - b. Fire Apparatus access roads will support 85,000 lbs. (NLR Ordinance 9267)
9. Meet the requirements of CAW.
10. Meet the requirements of NLR Wastewater, including:
- a. No public sanitary sewer is available to property.



THIS SITE

VICINITY MAP

**PRELIMINARY PLAT RELEASE**  
 THIS PRELIMINARY PLAT IS NOT A CONTRACT AND DOES NOT REPRESENT A COMMITMENT BY THE ENGINEER OR SURVEYOR. IT IS SUBJECT TO THE FINAL PLAT AND RECORDING REQUIREMENTS. ANY CHANGES TO THIS PLAT MUST BE APPROVED BY THE ENGINEER AND SURVEYOR.

**DATE:** JANUARY 17, 2024  
**PROJECT:** PULASKI COUNTY, ARKANSAS

**GENERAL NOTES:**  
 1. ALL DIMENSIONS ARE IN FEET AND INCHES.  
 2. ALL DIMENSIONS ARE TO THE CENTER OF THE ROAD UNLESS OTHERWISE NOTED.  
 3. ALL DIMENSIONS ARE TO THE CENTER OF THE ROAD UNLESS OTHERWISE NOTED.

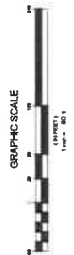
**DATE:** JANUARY 17, 2024  
**PROJECT:** PULASKI COUNTY, ARKANSAS

**GENERAL NOTES:**  
 1. ALL DIMENSIONS ARE IN FEET AND INCHES.  
 2. ALL DIMENSIONS ARE TO THE CENTER OF THE ROAD UNLESS OTHERWISE NOTED.  
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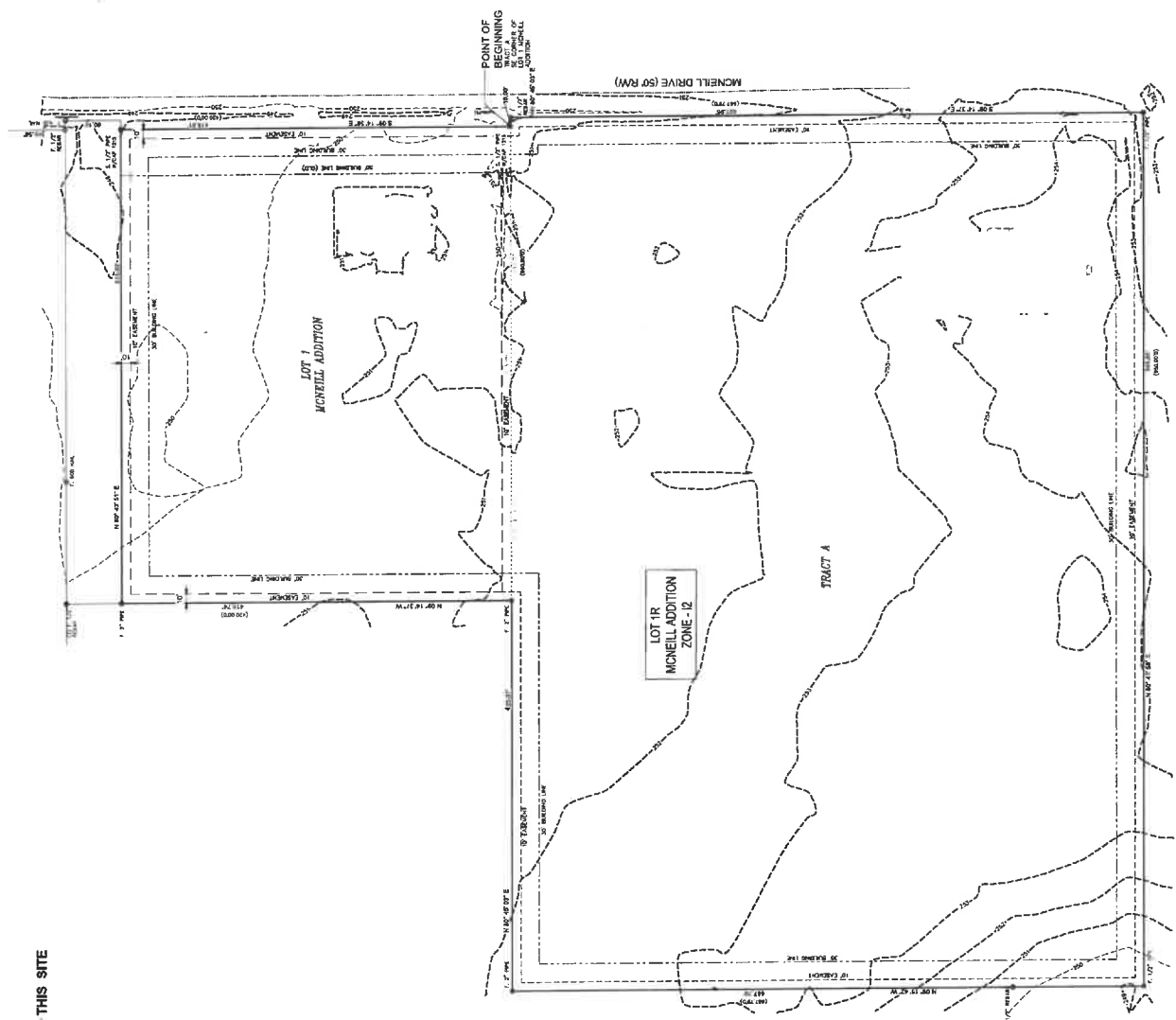
**DATE:** JANUARY 17, 2024  
**PROJECT:** PULASKI COUNTY, ARKANSAS

**SUBMITTAL NOTES:**  
 1. ALL DIMENSIONS ARE IN FEET AND INCHES.  
 2. ALL DIMENSIONS ARE TO THE CENTER OF THE ROAD UNLESS OTHERWISE NOTED.  
 3. ALL DIMENSIONS ARE TO THE CENTER OF THE ROAD UNLESS OTHERWISE NOTED.

FOR USE AND BENEFIT OF  
 P.A.M. TRANSPORT, INC.



GRAPHIC SCALE



**LEGEND**  
 PROPERTY EASEMENTS  
 EASEMENT OF THE CITY OF PULASKI COUNTY  
 EASEMENT OF THE CITY OF PULASKI COUNTY  
 EASEMENT OF THE CITY OF PULASKI COUNTY  
 EASEMENT OF THE CITY OF PULASKI COUNTY  
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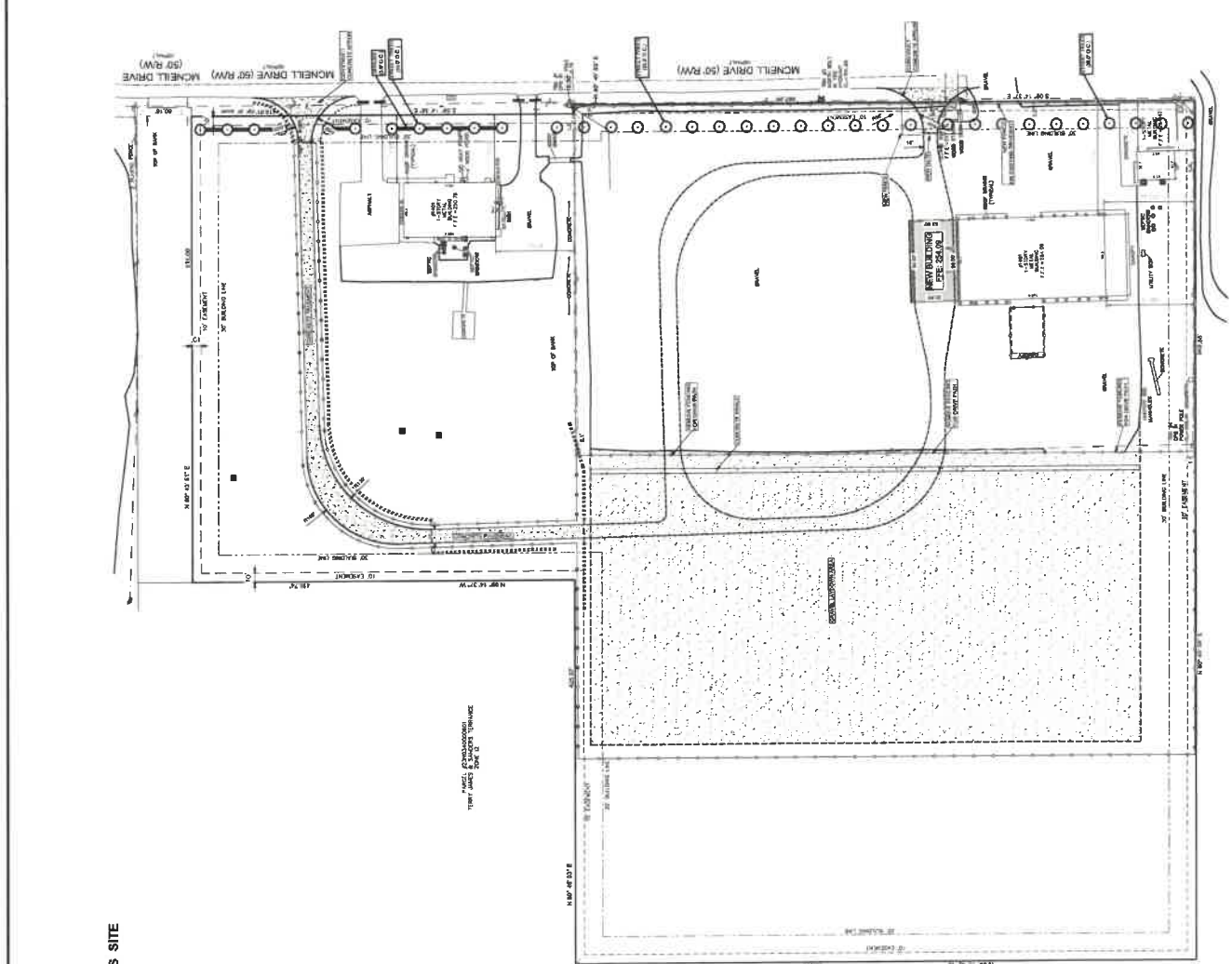
**LEGAL DESCRIPTION:**  
 PART OF THE SOUTH 1/4 OF SECTION 34, TOWNSHIP 2 NORTH, RANGE 11 WEST, PULASKI COUNTY, ARKANSAS, BEING A REPLAT OF LOT 1R, MCNEILL ADDITION AND OTHER LANDS, AS SHOWN ON PLAT RECORDED IN PLAT NO. 147, RECORD 50, PULASKI COUNTY, ARKANSAS.

**PRELIMINARY PLAT OF**  
**LOT 1R, MCNEILL ADDITION**  
**(BEING A REPLAT OF LOT 1R, MCNEILL ADDITION AND**  
**OTHER LANDS)**  
**IN THE CITY OF NORTH LITTLE ROCK,**  
**SECTION 34 TOWNSHIP 2 NORTH, RANGE 11 WEST,**  
**PULASKI COUNTY, ARKANSAS**



**THOMAS ENGINEERING COMPANY**  
 1000 UNIVERSITY BLVD., SUITE 400, PULASKI COUNTY, ARKANSAS 72454  
 TEL: 501-772-0000 FAX: 501-772-0001

**PRELIMINARY PLAT**  
 LOT 1R, MCNEILL ADDITION & PART OF 1/2 OF SECTION 34, TOWNSHIP 2 NORTH, RANGE 11 WEST, PULASKI COUNTY, ARKANSAS.  
 DRAWN BY: [Name] DATE: [Date]  
 CHECKED BY: [Name] DATE: [Date]  
 SCALE: AS SHOWN  
 SHEET NO. 1 OF 1



**LEGEND**

---	PROPERTY LINE
---	EXISTING ROADS
---	NEW ROADS
---	PROPOSED IMPROVEMENTS
---	OVERPASS/UNDERPASS
---	STREET LIGHTS
---	UTILITY LINES
---	PROPOSED IMPROVEMENTS
---	PROPOSED IMPROVEMENTS

- SYMBOLS**
- 1. LIGHT FIXTURE
  - 2. LIGHT FIXTURE
  - 3. LIGHT FIXTURE
  - 4. LIGHT FIXTURE
  - 5. LIGHT FIXTURE
  - 6. LIGHT FIXTURE
  - 7. LIGHT FIXTURE
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  - 11. LIGHT FIXTURE
  - 12. LIGHT FIXTURE
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  - 16. LIGHT FIXTURE
  - 17. LIGHT FIXTURE
  - 18. LIGHT FIXTURE
  - 19. LIGHT FIXTURE
  - 20. LIGHT FIXTURE
- NOTES**
1. SEE LOCATION MAP FOR THE PROJECT WITH ADJACENT LOTS AND SUBMITTALS TO THE LOCAL AGENCIES.
  2. SEE CITY MAP FOR THE PROJECT WITH ADJACENT LOTS AND SUBMITTALS TO THE LOCAL AGENCIES.
  3. THE PROPOSED IMPROVEMENTS ARE SUBJECT TO THE LOCAL AGENCIES APPROVAL.
  4. SEE CITY MAP FOR THE PROJECT WITH ADJACENT LOTS AND SUBMITTALS TO THE LOCAL AGENCIES.
  5. THE PROJECT IS SUBJECT TO THE LOCAL AGENCIES APPROVAL.
  6. SEE CITY MAP FOR THE PROJECT WITH ADJACENT LOTS AND SUBMITTALS TO THE LOCAL AGENCIES.
  7. THE PROJECT IS SUBJECT TO THE LOCAL AGENCIES APPROVAL.
  8. SEE CITY MAP FOR THE PROJECT WITH ADJACENT LOTS AND SUBMITTALS TO THE LOCAL AGENCIES.
  9. THE PROJECT IS SUBJECT TO THE LOCAL AGENCIES APPROVAL.
  10. SEE CITY MAP FOR THE PROJECT WITH ADJACENT LOTS AND SUBMITTALS TO THE LOCAL AGENCIES.
  11. THE PROJECT IS SUBJECT TO THE LOCAL AGENCIES APPROVAL.
  12. SEE CITY MAP FOR THE PROJECT WITH ADJACENT LOTS AND SUBMITTALS TO THE LOCAL AGENCIES.
  13. THE PROJECT IS SUBJECT TO THE LOCAL AGENCIES APPROVAL.
  14. SEE CITY MAP FOR THE PROJECT WITH ADJACENT LOTS AND SUBMITTALS TO THE LOCAL AGENCIES.
  15. THE PROJECT IS SUBJECT TO THE LOCAL AGENCIES APPROVAL.
  16. SEE CITY MAP FOR THE PROJECT WITH ADJACENT LOTS AND SUBMITTALS TO THE LOCAL AGENCIES.
  17. THE PROJECT IS SUBJECT TO THE LOCAL AGENCIES APPROVAL.
  18. SEE CITY MAP FOR THE PROJECT WITH ADJACENT LOTS AND SUBMITTALS TO THE LOCAL AGENCIES.
  19. THE PROJECT IS SUBJECT TO THE LOCAL AGENCIES APPROVAL.
  20. SEE CITY MAP FOR THE PROJECT WITH ADJACENT LOTS AND SUBMITTALS TO THE LOCAL AGENCIES.

**LEGEND**

- 1. LIGHT FIXTURE
- 2. LIGHT FIXTURE
- 3. LIGHT FIXTURE
- 4. LIGHT FIXTURE
- 5. LIGHT FIXTURE
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- 14. LIGHT FIXTURE
- 15. LIGHT FIXTURE
- 16. LIGHT FIXTURE
- 17. LIGHT FIXTURE
- 18. LIGHT FIXTURE
- 19. LIGHT FIXTURE
- 20. LIGHT FIXTURE

**LEGEND**

- 1. LIGHT FIXTURE
- 2. LIGHT FIXTURE
- 3. LIGHT FIXTURE
- 4. LIGHT FIXTURE
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- 15. LIGHT FIXTURE
- 16. LIGHT FIXTURE
- 17. LIGHT FIXTURE
- 18. LIGHT FIXTURE
- 19. LIGHT FIXTURE
- 20. LIGHT FIXTURE

PRELIMINARY PLAN - NOT FOR CONSTRUCTION

**THOMAS ENGINEERING COMPANY**

3910 LOCKPORT ROAD, LITTLE ROCK, AR 72118  
TEL: 501-725-4638 FAX: 501-725-8514

**DATE** 3/25/2024  
**SCALE**  
**APPROVED**  
**DRAWN BY**  
**PROJECT NO.**

SITE PLAN REVIEW  
LOT 15, MCNEILL ADDITION  
NORTH LITTLE ROCK, ARKANSAS

SHEET NO. 2.0

**Item #8**  
**Rezoning #2024-09**

---

**Request:** A rezoning from R3 to R4 to allow construction of a duplex and allow an existing garage apartment to remain on the lot

**Location of the Request:** 3105 N Pine Street, NLR, AR

**Applicant/Owner:** Tanner Capital Holdings LLC, Zeak Tanner

**P.C. Background:** 1<sup>st</sup> time on the agenda

**Site Characteristics:** The site contains a garage apartment located to the rear of the property. A building permit for renovation of the garage apartment was approved in May of 2023. There is currently an occupant within the apartment. To the north is a single family home, located on a separate lot, which is also owned by Tanner Capital Holdings.

**Master Street Plan:** N Pine Street is classified as a local street on the Master Street Plan. There are no dedicated bikeways located in the immediate area.

**Surrounding Zoning & Uses**

<u>Direction</u>	<u>Surrounding Zoning</u>	<u>Surrounding Uses</u>
North	R3	Single Family
South	R3	Single Family
East	R2	Single Family
West	CPH	Convenience Store

**Background:**

- Compatible with previous actions?** No, there does not appear to be lots developed with a density as proposed within the area.
- Neighborhood Position/Comment?** Staff has received a number of phone calls with questions regarding the proposed development request, many of which have expressed opposition to the request.
- Effect on public service and utilities?** There should be minimal impact on public services or utilities with the development of the two additional units.
- Legal Consideration/Reasonableness?** The request is somewhat out of character for the immediate neighborhood.
- Will the approval have a stabilizing effect on surrounding properties?** No, the neighborhood is developed with single family homes and a scattering of accessory dwelling units and/or duplex units. The density of the development could potentially impact the neighborhood in a negative manner.

6. **Is the site of adequate size for the development?** No, the lot area is insufficient to meet the minimum criteria requirements for development of 3 units per the R4 zoning district.
7. **Will this set a precedent for future rezoning?** Possibly, the rezoning could set precedent for future request to allow more than one or two family residential units on lots within the neighborhood.
8. **Should a different zoning classification be requested?** No, to allow the development of any additional units on this lot requires approval of a rezoning to R4.

**Summary:**

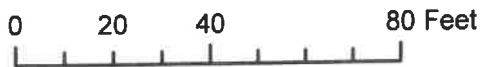
The applicant is seeking approval of a rezoning to allow future construction of additional units on the lot and maintain an existing garage apartment located on the rear of the lot. The Zoning Ordinance requires a minimum of 3,500 square feet of lot area for each of the first 3 dwelling units plus 1,000 square feet for each additional dwelling unit. The lot is a 50' by 140' lot containing 7,000 square feet. To allow the development of the lot with 3 units would require a lot area of 10,500 square feet. Staff does not support the applicant's request.

# Rezone Case #2024-09



Ortho Map

1 inch = 40 feet



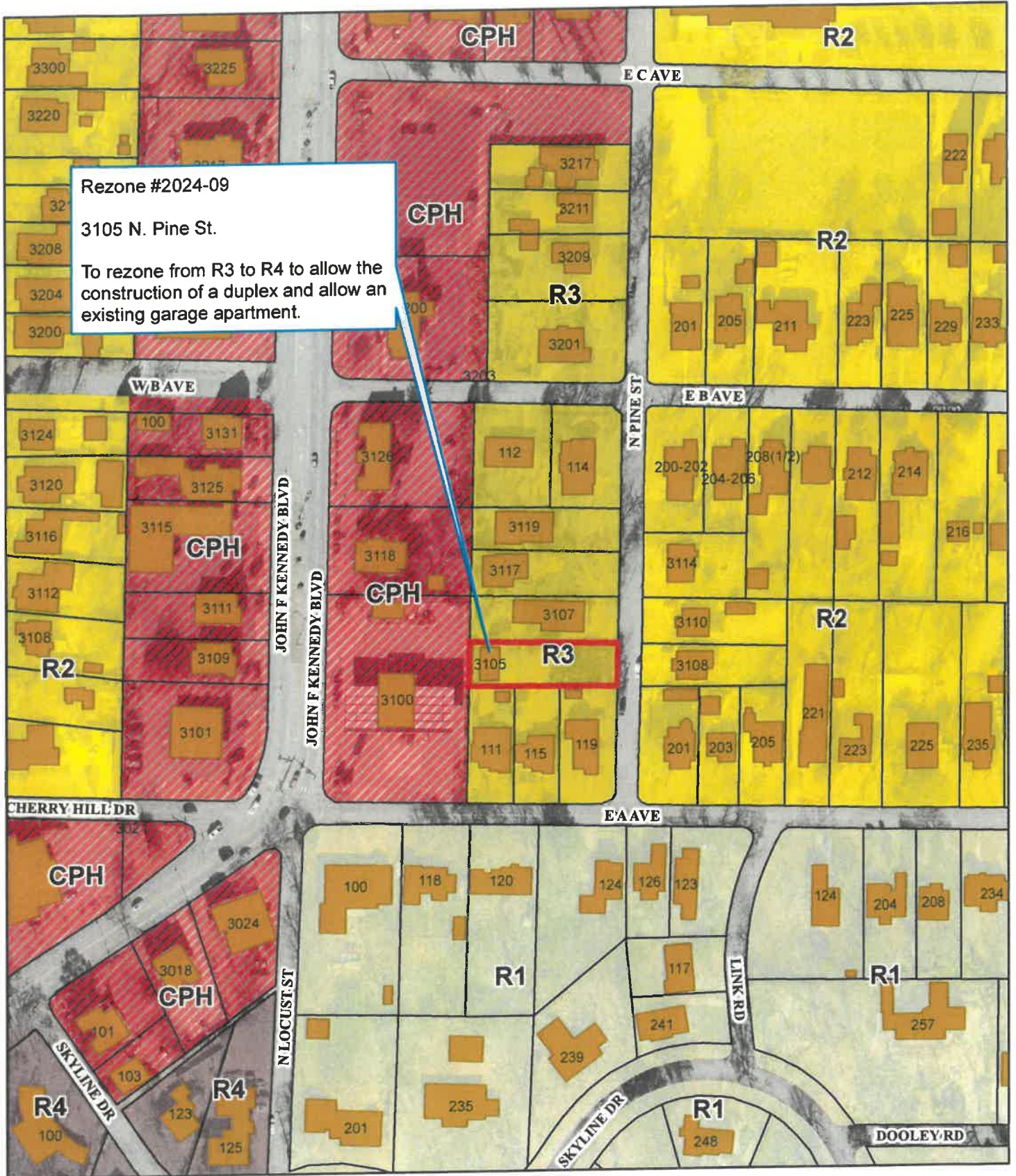
Date: 4/17/2024

# Rezone Case #2024-09

Rezone #2024-09

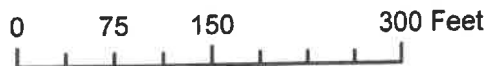
3105 N. Pine St.

To rezone from R3 to R4 to allow the construction of a duplex and allow an existing garage apartment.

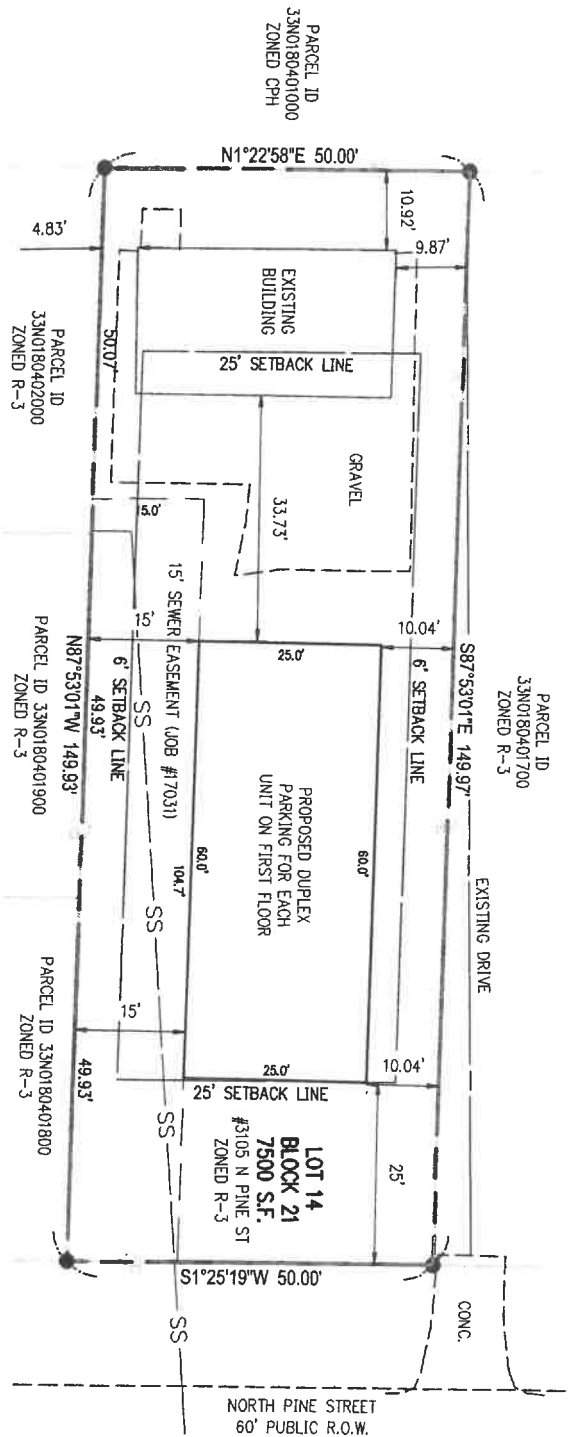


Zoning Map

1 inch = 150 feet



Date: 4/17/2024



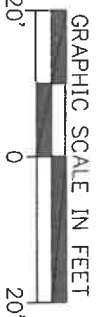
**LEGAL DESCRIPTION**  
 LOT 14 OF BLOCK 21 OF PARK HILL ADDITION, AS RECORDED IN PULASKI COUNTY, ARKANSAS, AS SHOWN ON A PLAT OF RECORD, RECORDS OF THE CIRCUIT CLERK OF PULASKI COUNTY, ARKANSAS.

**DRAWING LEGEND**

- PROPERTY LINE
- ASPHALT/CONCRETE/GRAVEL
- BUILDING SETBACK LINES
- EASEMENT LINES
- EXISTING SEWER LINE
- PROPOSED IMPROVEMENTS
- SET 5/8" REBAR WITH CAP, I.S. #1755
- CALCULATED POINT
- FOUND IRON PIN (AS NOTED)

**FLOOD ZONE NOTE**

BY GRAPHIC PLOTTING ONLY, THE PROPERTY SHOWN ON THIS SURVEY IS WITHIN ZONE X, ZONE X BEING AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN, AS PER FEMA FIRM MAP COMMUNITY PANEL NUMBER 05085C0092D, DATED JUNE 16, 2006, BASED UPON SURVEYOR'S INTERPRETATION OF THE LOCATION OF THE FLOOD HAZARD BOUNDARY LIMITS IN RELATION TO THE PROPERTY LINES.



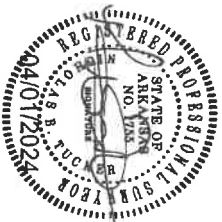
**BASIS OF BEARING**

STATE PLANE COORDINATE SYSTEM,  
 ARKANSAS NORTH ZONE, NAD 83  
 U.S. SURVEY FOOT  
 BEARINGS: GRID  
 DISTANCES: GROUND  
 SCALE FACTOR: 1.000032928982  
 CONVERGENCE ANGLE:  
 -0° 09' 03.38897690"  
 \*\*VALUES TAKEN AT NEIC LOT\*\*

**SURVEY CERTIFICATION**

FOR THE USE AND BENEFIT OF TANNER CAPITAL HOLDINGS LLC:  
 THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE MOST CURRENT ARKANSAS STATE MINIMUM STANDARDS FOR SURVEYS OF THIS TYPE. THE FIELD WORK WAS COMPLETED UNDER MY SUPERVISION ON 03/29/2024.

DATE OF PLAT OR MAP: 04/01/2024  
 NICHOLAS TUCKER, I.S. #1755



STATE PLAT CODE: PLATTED SUBDIVISION

PRELIMINARY PLOT PLAN  
 LOT 14 OF BLOCK 21  
 PARK HILL ADDITION  
 3105 N PINE STREET  
 PREPARED FOR:  
 TANNER CAPITAL HOLDINGS LLC  
 NORTH LITTLE ROCK, PULASKI COUNTY ARKANSAS



PROJECT NO.	DESCRIPTION	DATE
24-0194		
ISSUE DATE:		
DRAWN BY:		
APPROVE BY:		
SHEET NO.:		

P.O. Box 1021  
 Cabot, Arkansas 72023  
 phone: 501.266.7158  
 www.tuckersurveying.com  
 © 2022  
 TUCKER LAND SURVEYING, INC.



March 1, 2024

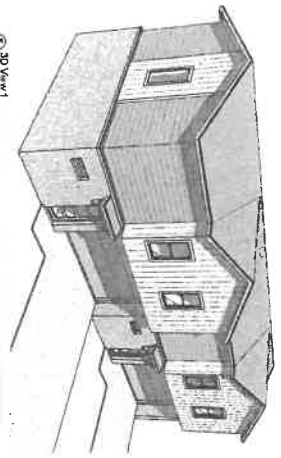
Tanner Capital Holdings, LLC  
Owner Zeke Tanner  
3107 North Pine  
North Little Rock, Arkansas 72116

City of North Little Rock,

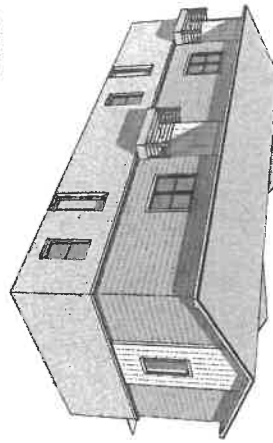
I am looking to build a duplex at the address of 3105 N Pine, North Little Rock, Arkansas 72116. On the back of the property there is a 2 story shop / accessory dwelling. I use this building to let friends and family stay up top as well as a storage shed on bottom. It has been brought completely up to code in 2023. The property is currently zoned R-3 / duplex zoning. Because of the accessory, a duplex can not be built without rezoning. I am requesting to rezone this property to r-4 so that a duplex can be built.

Sincerely,

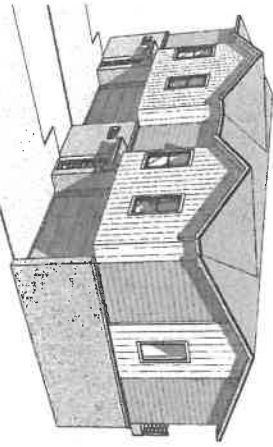
Zeke Tanner  
Tanner Capital Holdings, LLC  
501-944-7038  
zeketanner@comcast.net



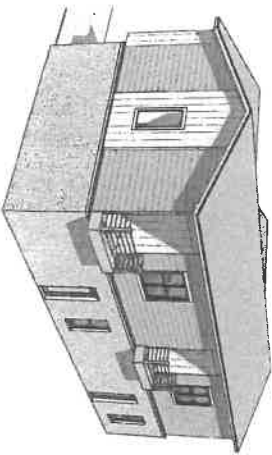
⑤ 3D View 1



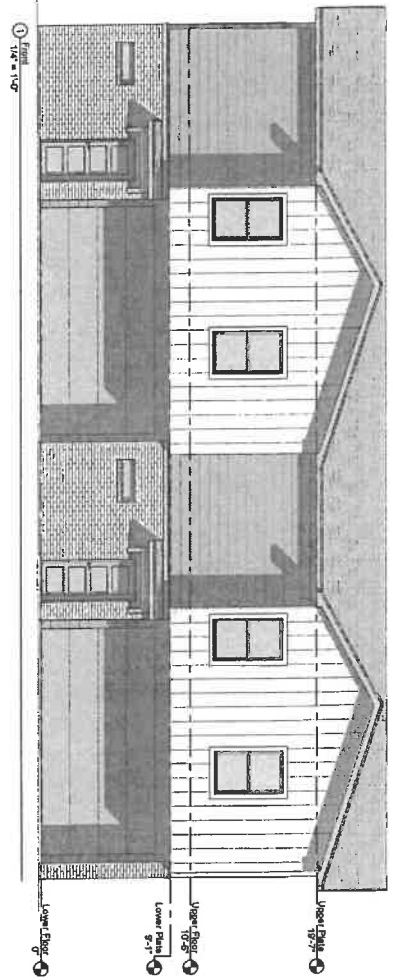
⑥ 3D View 2



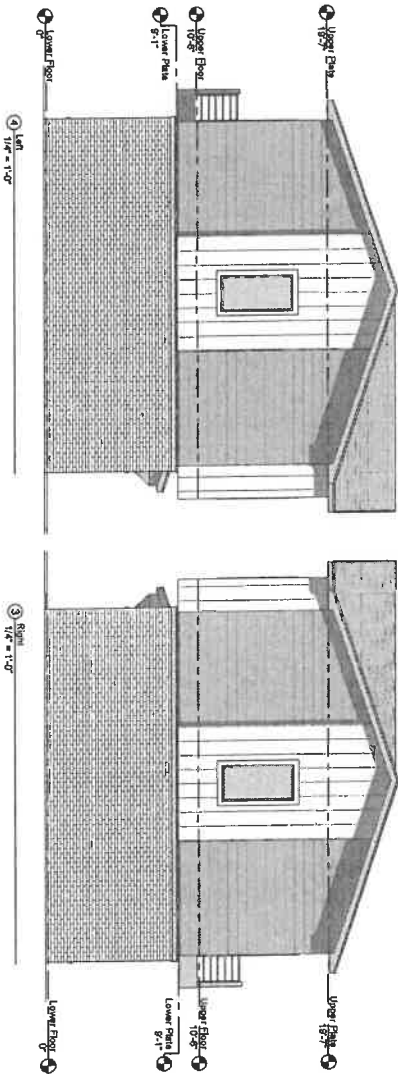
⑦ 3D View 3



⑧ 3D View 4

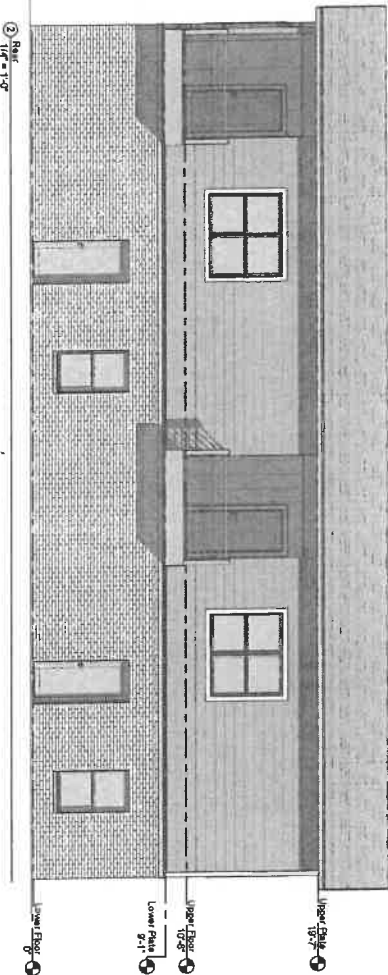


① Front  
1/4" = 1'-0"



② Left  
1/4" = 1'-0"

③ Right  
1/4" = 1'-0"



④ Rear  
1/4" = 1'-0"



# HD Homes

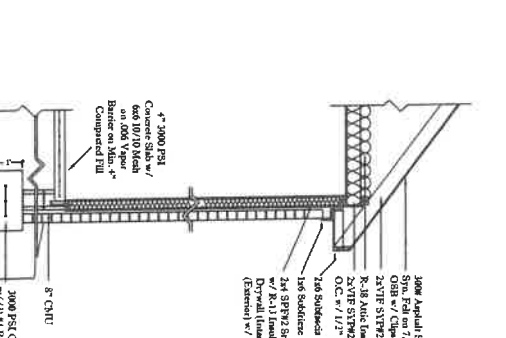
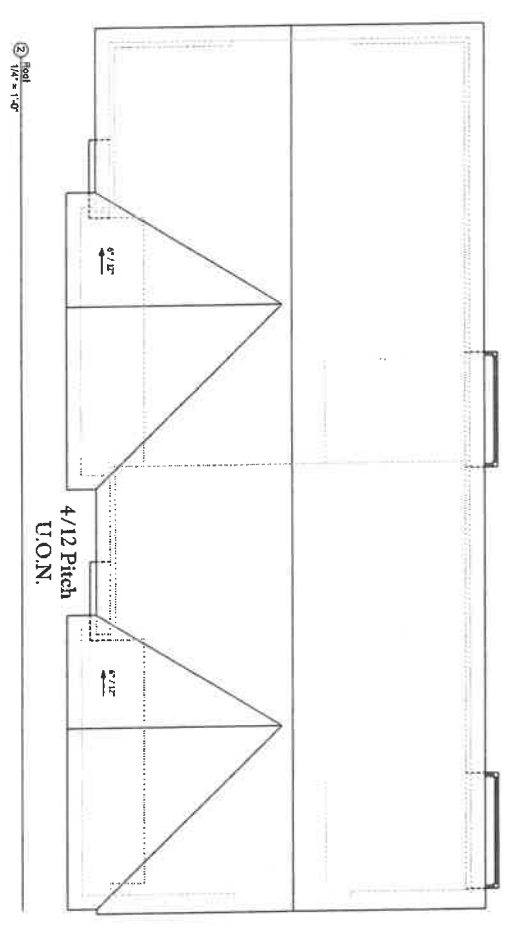
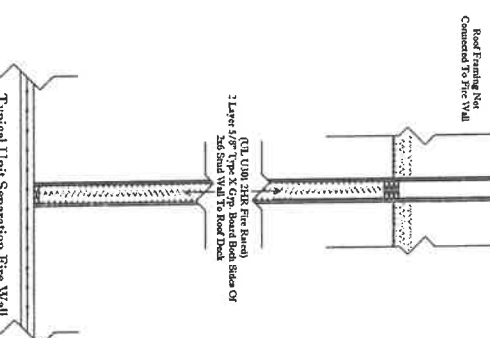
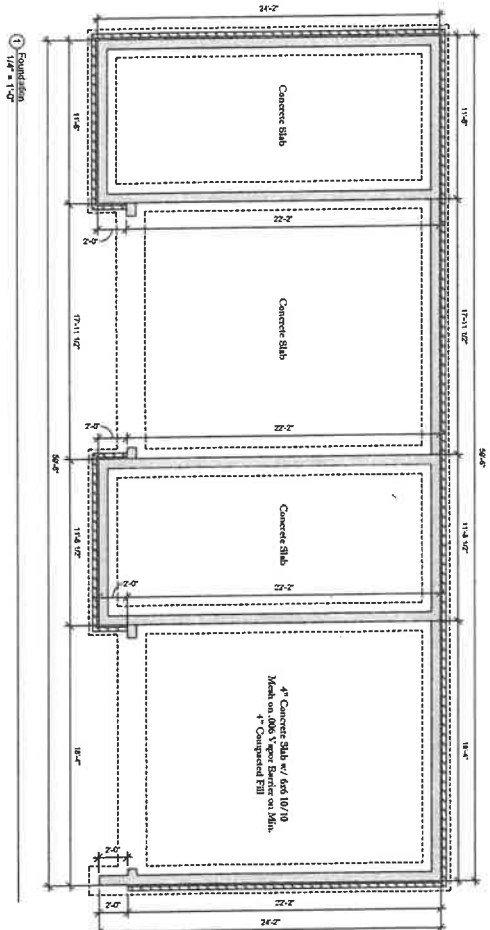
## Lot TBD

### Elevations

Project Number: HD2024J7  
 Date: 4/2/24  
 Drawn By: D'Drury  
 Checked By: D'Penny

**A2**

Scale: 1/4" = 1'-0"



HD Homes

Lot TBD

As Indicated

Project Number: H10282437

Date: 4/2/24

Drawn By: DPeary

Checked By: DPeary

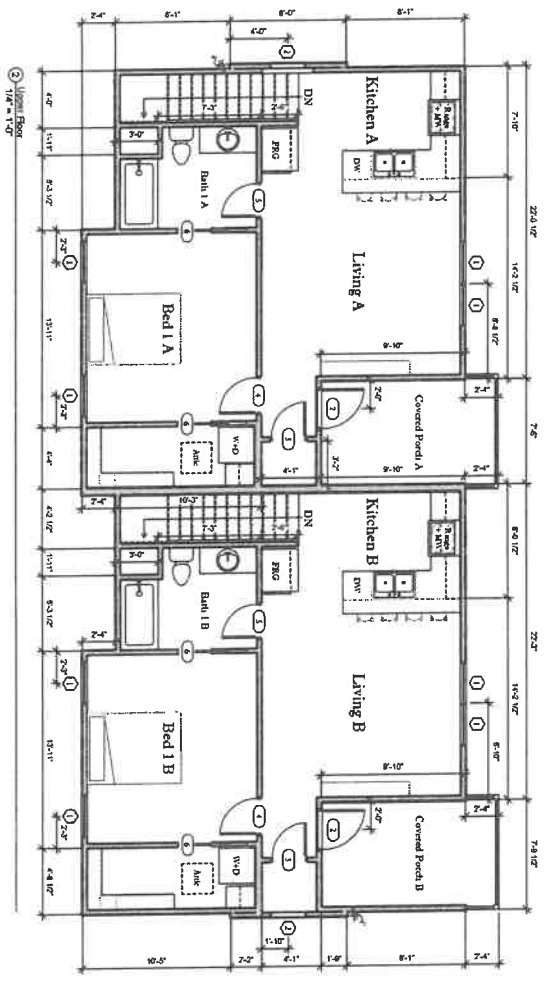
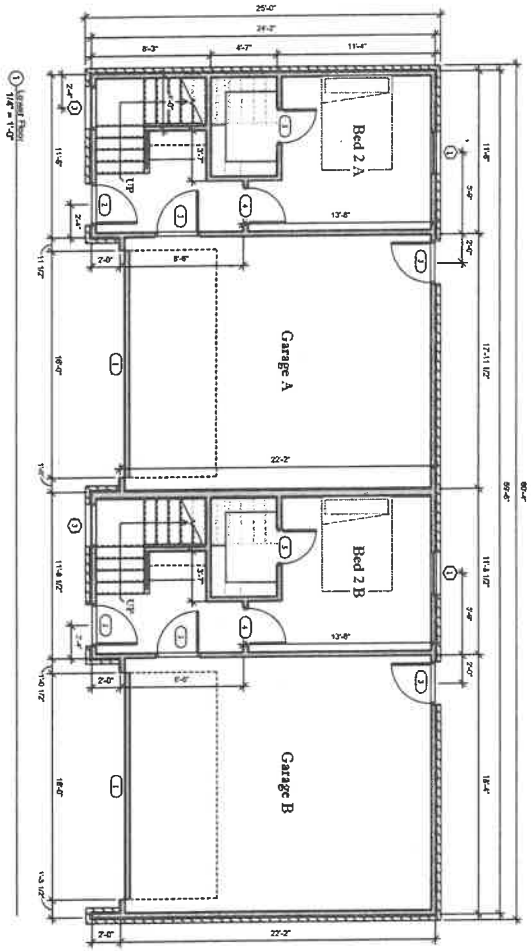
A3

Scale: 1/4\"/>

4/2/2024 12:35:31 PM

Building	
Lower Floor H/C	560 SQFT
Upper Floor H/C	1,000 SQFT
Total H/C	1,560 SQFT
Total H/C w/ Veneer	(1,900 SQFT)
Garage	810 SQFT
Basement Covered Area	180 SQFT
Total Under Roof	2,890 SQFT
TUR w/ Veneer	(2,890 SQFT)
Util	
Lower Floor H/C	290 SQFT
Upper Floor H/C	680 SQFT
Total H/C	970 SQFT
Total H/C w/ Veneer	(950 SQFT)
Garage	405 SQFT
Basement Covered Area	70 SQFT
Total Under Roof	1,410 SQFT
TUR w/ Veneer	(1,410 SQFT)
9' Ceilings	

Door Schedule	
1	1-6x8-0 Double
2	1-6x8-0 Full Lite
3	1-6x6-4 Laminated
4	1-6x6-4
5	1-6x6-4
6	1-6x6-4 Pocket
Grand total: 34	
Window Schedule	
1	1-6x6-0 SH
2	1-6x6-0 PV
3	1-6x12-0 PV
Grand total: 11	



# HD Homes

## Lot TBD



Floor Plan	
Project Number	HD00137
Date	4/2/24
Drawn By	D'Henry
Checked By	D'Henry
<b>A1</b>	
Scale	1/4" = 1'-0"

**Item #9**  
**Case # - SU2024-07**

---

**Request:** A Special Use to allow the addition of outdoor sports fields for the existing school located in an R2 zone

**Location of the Request:** 4500 N Hills Blvd, NLR, AR

**Applicant/Owner:** First Pentecostal Church of Jesus Christ

**P.C. Background:** 1<sup>st</sup> time on the agenda for this request – The Board of Zoning Adjustment approved a variance to allow the placement of a front yard fence along North Hills Blvd at their August 31, 2023 public hearing.

**Site Characteristics:** The property is the second parcel located from the southeast corner of North Hills Blvd and McCain Blvd and Fairway Ave. The main access to the site is from North Hills Blvd with two separate driveways on the north and south sides of the property. There is a secondary access point at the rear of the property to the east located off of Fairway Ave. The property is occupied by The First Pentecostal Church of Jesus Christ and also utilized by Calvary Academy's upper school. The properties north of the church are occupied by a convenience store with gas pumps on the southwest corner of North Hills and McCain, a now closed Walgreens Pharmacy, on the southeast corner and a First Security Bank branch fronting McCain Blvd. The properties south and east of the property are single family homes facing Fairway Ave while a multifamily apartment complex is located across North Hills Blvd to the west. The sites topography slopes to the south and the finished floor of the southwest corner of the building is set approximately 15-feet above the street level.

**Master Street Plan:** The Master Street Plan indicates North Hills Blvd as a Minor Arterial and there is a shared Bike Lane located on North Hills Blvd.

**Surrounding Zoning and Uses**

<b><u>Direction</u></b>	<b><u>Surrounding Zoning</u></b>	<b><u>Surrounding Uses</u></b>
North	C3	General Commercial
South	R4	Single Family
East	R4/R1	Commercial & Single Family
West	R4	Multi Family

**Background:**

1. **Compatible with previous actions?** Yes, to allow the addition of outdoor playing fields requires approval of a Special Use within the R2 zoning Districts.
2. **Neighborhood Position/Comment?** None at the time of printing.
3. **Effect on public service and utilities?** There should be minimal effect on public services and utilities.
4. **Legal Consideration/Reasonableness?** The request to allow the outdoor playing field to serve the school is a reasonable request.

5. **Will the approval have a stabilizing effect on surrounding properties?** The utilization of the outdoor playing fields by the school should have minimal impact on surrounding properties.
6. **Is the site of adequate size for the development?** The site is adequate in size to allow the addition of the playing fields.
7. **Will this set a precedent for future rezoning?** No, the request is a Special Use to allow the outdoor playing fields to serve the school.
8. **Should a different zoning classification be requested?** No, to allow a school and appurtenances within the R2 zoning district requires approval of a Special Use.

**Summary:** The applicant is seeking approval to allow the addition of outdoor sports fields to support basketball, volleyball and pickle-ball on the Calvary Upper School Campus. The plan indicates 3 pickle-ball courts, one volleyball court and one basketball court located along the eastern portion of the site. All the construction will take place within an area which is currently grass covered. The plan indicates the placement of a 3' – 5' tall retaining wall with the volleyball, basketball and 2 pickle-ball courts located below the wall. The remaining pickle-ball court is indicated at grade adjacent to the existing southeastern driveway.

The courts will have lighting which will be directed downward and into the site. Staff recommends the maximum pole height be limited to 20-feet to eliminate over-spilling of light onto neighboring property. The hours for use of the sports fields are proposed from 9 am to 9 pm daily. The use of the fields will be limited to the First Pentecostal Church of Jesus Christ Church Youth and the Upper and Lower Academy students. The applicant has indicated a screening fence will be installed along the perimeters abutting the residential properties.

**Conditions to Consider:**

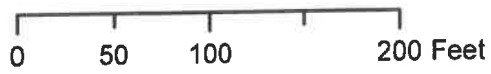
1. The hours of use are limited to 9 am to 9 pm daily.
2. All lighting is to be directed downward and into the site with a maximum pole height of 20-feet.
3. The use of the sports field is limited to First Pentecostal Church of Jesus Christ Church Youth and the Upper and Lower Academy students.
4. A screening fence is required adjacent to the sports fields adjacent to the single family homes.
5. Any structures located on the lot shall meet all applicable Federal, State, County, and City requirements and codes.
6. Applicant shall meet all applicable Federal, State, County, and City requirements
7. Applicant/owner understands that failure to comply with these conditions may result in loss of the Conditional Use and/or loss of Business License and/or removal of Electric Power Meter.

# Special Use #2024-07



Ortho Map

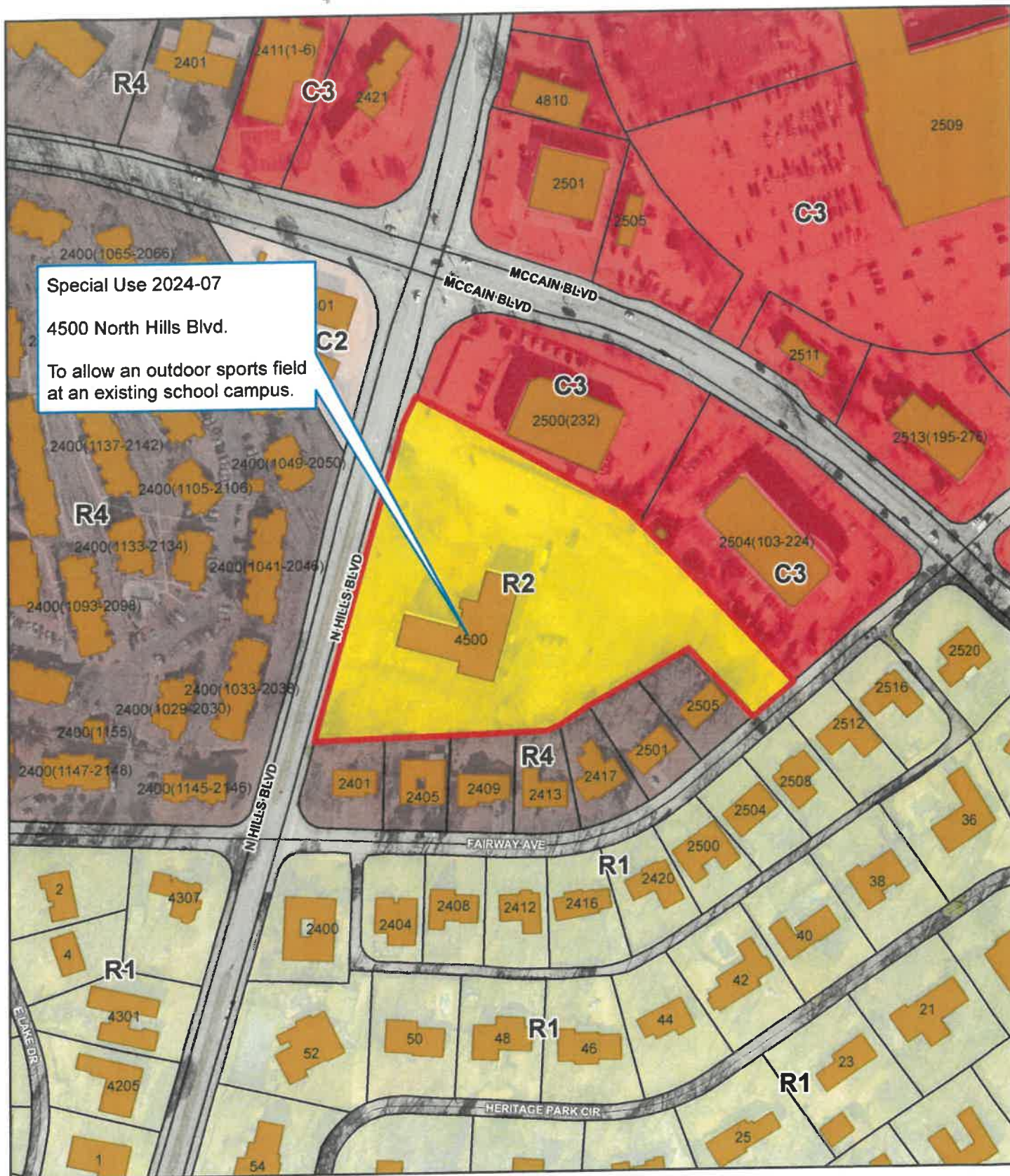
1 inch = 100 feet



Date: 4/17/2024

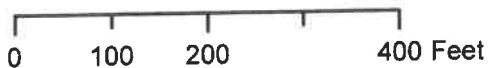
Not an actual survey

# Special Use #2024-07



Zoning Map

1 inch = 200 feet



Date: 4/17/2024

Not an actual survey







# FIRST PENTECOSTAL CHURCH OF JESUS CHRIST, INC.

March 26, 2024

RE: Application for Special Use

Mr. Shawn Spencer, Planning Director  
North Little Rock Planning Department  
700 West 29<sup>th</sup> Street  
North Little Rock, AR 72114

Dear Mr. Spencer:

We are requesting to build sports fields for basketball, volleyball, and pickleball on the upper school campus located at 4500 North Hills Boulevard, diagrams of which are included.

Georgia Best is authorized to sign the application for the rezoning/special use on behalf of the church.

Thank you for your help in this matter, and please do not hesitate to call if there are any questions.

Sincerely,

A handwritten signature in black ink, appearing to read "J. Nathan Holmes". The signature is written in a cursive style with a small flourish at the end.

Pastor J. Nathan Holmes

**James, Donna**

---

**From:** Georgia Best <gbest@fpcnlr.com>  
**Sent:** Monday, April 29, 2024 1:26 PM  
**To:** James, Donna  
**Subject:** Re: 4500 N Hills Blvd

**CAUTION:** This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Will there be lighting YES

Will anyone other than the school utilize the sports fields YES (CHURCH YOUTH)

Will there be other schools coming to the school to “compete” NO

Will there be any “screening”, fencing or shrubs adjacent to the residential homes to the east YES

What are the hours the sports fields will be utilized (9AM - 9 PM)

On Mon, Apr 29, 2024 at 10:12 AM <[DJames@nlr.ar.gov](mailto:DJames@nlr.ar.gov)> wrote:

Few questions on the new sports fields

Will there be lighting

Will anyone other than the school utilize the sports fields

Will there be other schools coming to the school to “compete”

Will there be any “screening”, fencing or shrubs adjacent to the residential homes to the east

What are the hours the sports fields will be utilized

Donna James

Assistant Director of Planning

City of North Little Rock