



THOMAS ENGINEERING COMPANY

civil engineers

land surveyors

3810 LOOKOUT RD

NORTH LITTLE ROCK, AR 72116
NATIONAL SOCIETY OF PROFESSIONAL ENGINEERS

(501)753-4463

August 25, 2026

Ms. Donna James
Assistant Planning Director
North Little Rock Planning Department
120 Main Street
North Little Rock, AR 72114

RE: North Little Rock Wastewater
7400 Baucum Pike
North Little Rock, AR 72117
Site Plan Review Application

Dear Ms. James:

Please accept this letter to serve as our application for the above reference submittal. We wish to be placed on October 13th, 2026, Planning Commission Meeting Agenda. We are submitting the site plan for the proposed development of an office building and additional parking in North Little Rock Wastewater for review. This property is currently zoned PI (Public/Institutional District).

Enclosed please find a check for the review fee in the amount of \$200.00.

If you have any questions, please give me a call.

Sincerely,

Thomas R. Pownall, P.E.
Vice President

Submittal of Site Plan Review - 8 hard copy sets + a copy on a CD

12/2/2020

(this checklist is to be **completely filled out by applicant** before submittal)

Each set to contain all of the following:

- | | |
|--|---|
| ☐ 1 (8) Drawings, folded to 10x12 or smaller | ☐ 23 Zoning within and around plat |
| ☐ 2 (8) Letter of requests, stating any variance (one letter paper clipped to each set) | ☐ 24 FEMA Panel Number with 100 year elevation |
| ☐ 3 (8) Site Plan Review checklists (one checklist <u>paper clipped</u> to each set) (omission of any required items may cause postponement or refusal) | ☐ 25 Flood Plain / wetlands contours |
| ☐ 4 (1) CD - Letter, checklist, & drawings should be combined into one .pdf file (not all separate files) | ☐ 26 Area in acres on each lot |
| | ☐ 27 Sign location, edge 5' from property line |
| | ☐ 28 Screened dumpster location |
| | ☐ 29 Sidewalk location |
| | ☐ 30 Building outline with square footage |
| | ☐ 31 Street trees, 30' on center |
| | ☐ 32 Shade trees, 1 per 6 parking spaces |
| | ☐ 33 Required landscaping and buffers |
| | ☐ 34 First floor elevation |
| | ☐ 35 Concrete driveways in right-of-way |
| | ☐ 36 Nearest fire hydrant(s) |
| | ☐ 37 Water / sewer lines |
| | ☐ 38 Parking lot layout |

Title Block to include:

- | |
|---|
| ☐ 5 Title "Site Plan Review" |
| ☐ 6 Name of subdivision |
| ☐ 7 Lot and block numbers |
| ☐ 8 Date of drawing |

Required Items on all Site Plan Review

- | |
|---|
| ☐ 9 Graphic scale |
| ☐ 10 North arrow |
| ☐ 11 Legal description |
| ☐ 12 Vicinity map |
| ☐ 13 Engineers / Surveyors name and address |
| ☐ 14 Developers name and address |
| ☐ 15 Owners name and address |
| ☐ 16 Names of abutting subdivisions/owners |
| ☐ 17 Street names |
| ☐ 18 Street centerlines with right-of-way widths |
| ☐ 19 Boundary lines with dimensions |
| ☐ 20 Utility easements |
| ☐ 21 Building setbacks |
| ☐ 22 Section corners or other monuments |

Required Items if applicable:

- | |
|--|
| ☐ 39 Fire flow / water pressure |
| ☐ 40 Finished grading plan |
| ☐ 41 Municipal, County or Section lines |
| ☐ 42 Phase map, if staging is planned |
| ☐ 43 Storm water detention easement |
| ☐ 44 Other easements _____ |
| ☐ 45 Hillside cut proposal |
| ☐ |

Site Plan Review Fees = \$200



City of North Little Rock

Engineering Department

500 West 13th Street, North Little Rock, AR 72114

Engineering Site Plan Review Checklist

Answer every question (Yes, No or Not Applicable).

1. Are storm drainage facilities designed (or will be designed) in accordance with not less than a one in 25-year rainfall design frequency, or in the Central Business District (CBD), where a one in 50-year rainfall design frequency is used?

Circle: Yes or No or NA

2. Does Owner/Engineer plan to provide on-site detention of storm water run-off?

Circle: Yes or No or NA

If no, Owner/Engineer must either pay storm water in-lieu fee (\$5000/acre for non-residential or \$500/acre residential) or demonstrate to City Engineering that on-site detention is not required. Note: Stormwater in-lieu fee is subject to approval by City Engineering.

3. Is the on-site detention facility or other appropriate and approved means to control the increased runoff from development designed to accommodate the 25-year storm?

Circle: Yes or No or NA

4. Is the proposed project property in a designated Federal Emergency Management Agency (FEMA) Special Flood Hazard Areas (SFHAs)?

Circle: Yes or No

If yes, provide FEMA Flood Insurance Rate Map (FIRM) with the proposed Project property located on map.

For proposed project within FEMA floodplain Zone AE, provide elevation of FEMA 100-year floodplain _____.

If proposed project is within Zone A, coordinate required FEMA 100-year floodplain elevation with City Engineer.

5. Is the first floor of any proposed buildings or building additions a minimum of 1' above FEMA 100-year floodplain?

Circle: Yes or No or NA

6. Is the proposed project property in a previously undeveloped area?

Circle: Yes or No

7. Are there any known wetlands located on this property?

Circle: Yes or No

8. Do the existing or proposed sidewalks comply with CNLR regulations? (contact the City Engineer for regulations)

Circle: Yes or No or NA

If not, explain.

9. Are proposed driveways concrete in the City Right-of-Way?

Circle: Yes or No or NA

10. Are proposed commercial/industrial driveways further than 40' from intersecting streets or 10' from adjoining property lines?

Circle: Yes or No or NA

11. Are proposed commercial/industrial driveways further than 40 feet from other existing/proposed drives?

Circle: Yes or No or NA

12. Are the location of driveways regulated by an Access Management Plan? (Refer to the Master Street Plan document for list and regulations for access plans).

Circle: Yes or No

13. Are cross drains in the street Right-of-Way (ROW) reinforced concrete pipe (RCP) with concrete headwalls? (use of concrete flared end sections will be determined on a case by case basis with City Engineering)

Circle: Yes or No or NA

14. Is a grading plan with proposed finished contours or spot elevations shown for the proposed development?

Circle: Yes or No

15. Are utilities/mains (water, sewer, electric, etc) labeled and shown as existing or proposed improvements?

Circle: Yes or No or NA

16. Are utility service lines to the proposed development shown?

Circle: Yes or No or NA

17. Is the proposed project located in steep and rugged terrain where: (1) the slope is steeper than a vertical rise of 1 foot for each 4 feet of horizontal distance (4:1 slope) prior to the alteration; *or* (2) the final grade is steeper than a 4:1 slope between abutting lots or tracts of land?

Circle: Yes or No

If yes, Owner/Engineer shall follow the requirements of the "CNLR Regulation to Control Development and Subdivision of Land, Article 14 - Hillside Regulations" and coordinate with City Engineering prior to Subdivision Review Meeting.

18. For the proposed project, check applicable permits required for the proposed project:

- _____ CNLR Stormwater Permit (required for all proposed projects).
- _____ CNLR Floodplain Development Permit (required for all proposed projects in FEMA Special Flood Hazard Areas).
- _____ Arkansas Department of Environmental Quality (ADEQ) Stormwater Permit.
- _____ AHTD permit for driveway or utility work within the State Rights-of-Way (ROW).
- _____ Arkansas Department of Health approval for water and sewer facilities.
- _____ Corps of Engineers (COE) 404 Clearance/Permit.

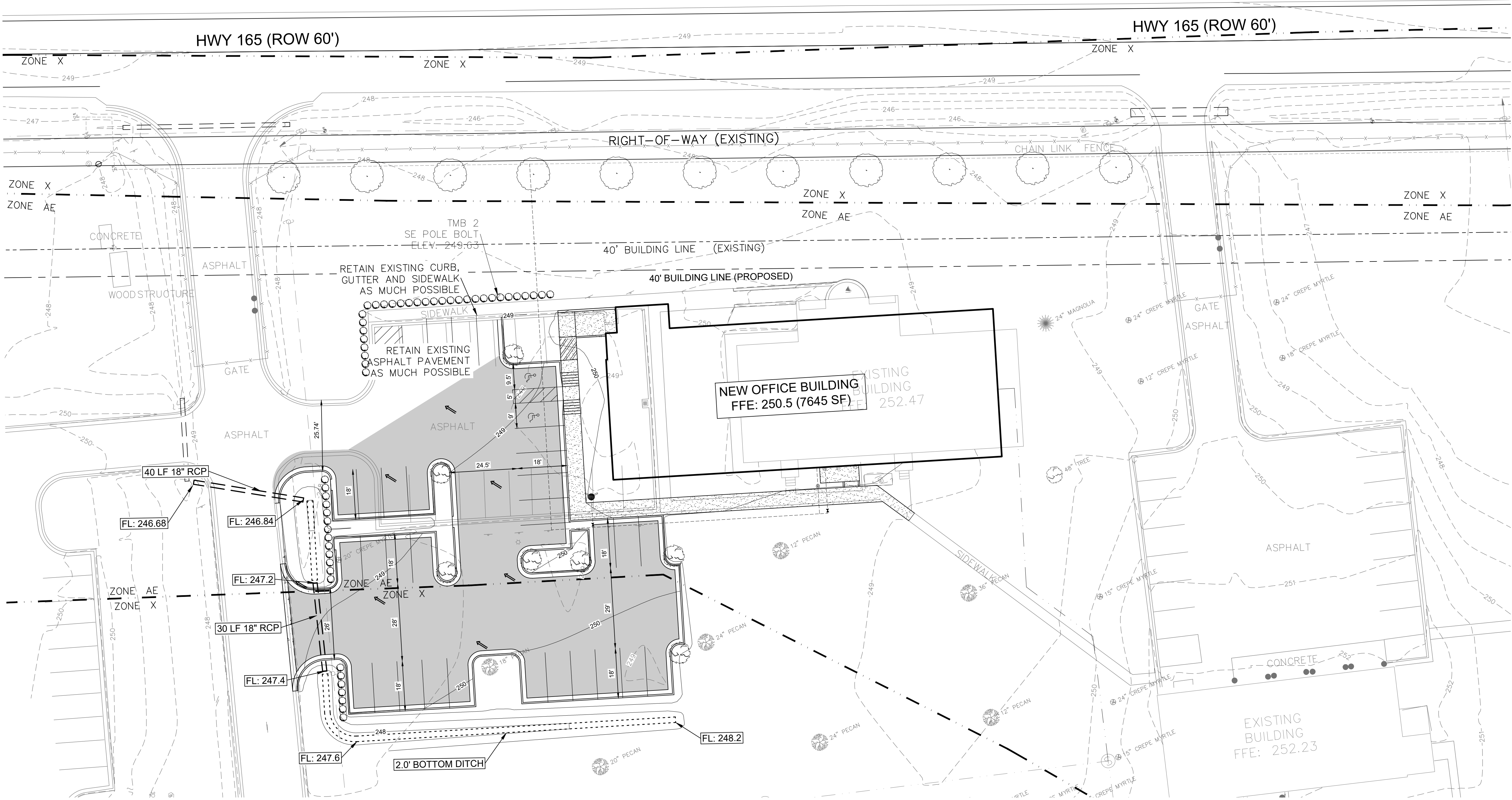
All applicable Permits checked above shall be obtained prior to receiving a Construction Building Permit.

List any other applicable State or Federal permits required.

Note to Owner:

CNLR Excavation Permit is required for excavations/street cuts within the City's ROW.

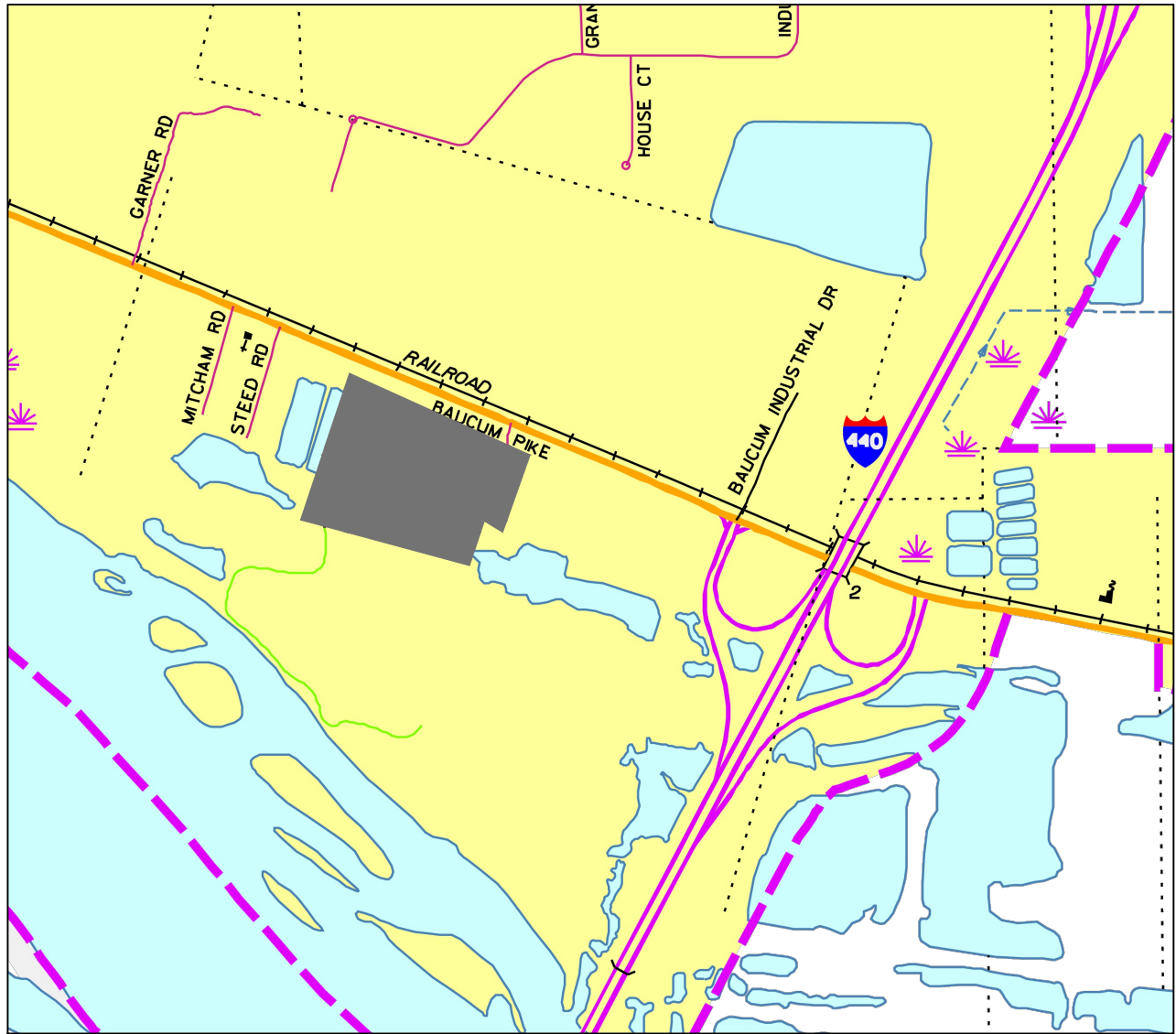
CNLR Barricade Permit is required for lane closures or maintenance of traffic within City's ROW.



SURVEY LEGENDS	
	PROPERTY LINE
	BUILDING LINE
	EASEMENT
	SANITARY SEWER LINE
	OVERHEAD ELECTRIC LINE
	WATER LINE
	STORM DRAIN LINE
	FENCE - CHAIN LINK
	FENCE - DECORATIVE IRON
	LIGHT POLE
	UTILITY POLE & GUY
	SANITARY SEWER MANHOLE
	FOUND SURVEY MARKER AS DESCRIBED
	CALCULATED POINT
	MAILBOX
	WATER VALVE
	FIRE HYDRANT
	ROOF DRAIN
	BOLLARD
	ELECTRIC BOX
	DRAINAGE BOX AS DESCRIBED
	TELEPHONE MHPULLBOX
	WATER METER
	SIGN
	GAS METER
	TRAFFIC SIGNAL POLE

SITE LEGENDS	
	SHOWS CONCRETE SIDEWALK
	SHOWS STANDARD DUTY CONCRETE PAVEMENT
	SHOWS STANDARD DUTY ASPHALT PAVEMENT
	PARKING LOT SHADE TREE RED OAK OR TREE FROM TABLE B OR C 2.5" MINIMUM CALIPER
	STREET TREE TRIDENT MAPLE OR TREE FROM TABLE D 2.5" MINIMUM CALIPER
	DWARF YAUPON HOLLY IN 4'-0" LANDSCAPE BED SPACED 3.0' ON CENTER 18" MINIMUM HEIGHT AT INSTALLATION

GRADING LEGENDS	
	EXISTING CONTOURS
	PROPOSED CONTOURS
	PROPOSED SPOT ELEVATION GUTTER
	PROPOSED SPOT ELEVATION FINISHED GRADE
	EXISTING SPOT ELEVATION
	DRAINAGE ARROW
NOTE: SPOT ELEVATIONS FINISHED GRADE UNLESS OTHERWISE SHOWN.	



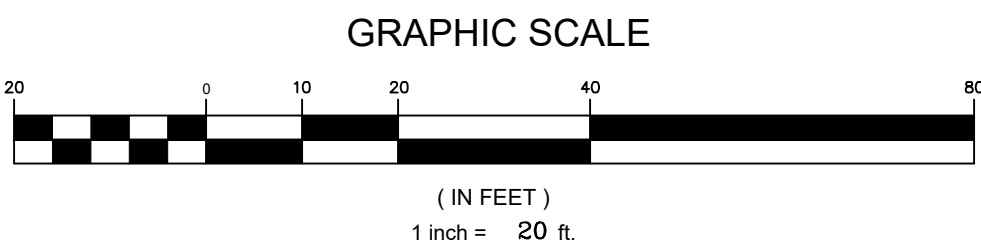
- SITE PLAN REVIEW NOTES**
- SITE CONTAINS A PROPOSED OFFICE BUILDING AND ASSOCIATED PARKING.
 - BASIS OF BEARINGS: ARKANSAS STATE PLANE, NORTH ZONE (PAGIS).
 - PROPERTY IS SHOWN IN THE 100 YEAR FLOOD PLAIN ON THE FLOOD INSURANCE RATE MAP COMMUNITY PANEL NUMBER 05119C0364G DATED JULY 6, 2015.
 - THIS PROPERTY IS ZONED P1 (PUBLIC/INSTITUTIONAL DISTRICT)
 - PARCEL CONTAINS 50.90 ACRES, MORE OR LESS.
 - SETBACKS SHOWN FOR THIS SITE:
40' FRONT
0' SIDE
0' REAR

PARKING	
REGULAR	31 SPACES
ACCESSIBLE	02 SPACES
TOTAL PROVIDED	33 SPACES

LEGAL DESCRIPTION
PART OF THE SPANISH LAND GRANT NO. 497 IN TOWNSHIP 1, RANGE 11 WEST, PULASKI COUNTY, ARKANSAS

OWNER/ DEVELOPER
CITY OF NORTH LITTLE ROCK
PO BOX 5757
NORTH LITTLE ROCK, AR 72117

PROJECT ADDRESS
7400 BAUCUM PIKE,
NORTH LITTLE ROCK, AR 72117



PRELIMINARY PLAN -
NOT FOR CONSTRUCTION

THOMAS ENGINEERING COMPANY
3810 LOOKOUT ROAD, N. LITTLE ROCK, AR. 72116
TEL: 501-753-4463 FAX: 501-753-6814

SITE PLAN REVIEW NEW OFFICE BUILDING NORTH LITTLE ROCK WASTE WATER 7400 BAUCUM PIKE NORTH LITTLE ROCK, ARKANSAS			
APPROVED	DRAWN BY MNH	DATE 08.26.2026	SHEET NO. 1.0
SCALE 1" = 20'			