



THOMAS ENGINEERING COMPANY

civil engineers

land surveyors

3810 LOOKOUT RD

NORTH LITTLE ROCK, AR 72116
NATIONAL SOCIETY OF PROFESSIONAL ENGINEERS

(501)753-4463

August 25, 2026

Ms. Donna James
Assistant Planning Director
North Little Rock Planning Department
120 Main Street
North Little Rock, AR 72114

RE: Lakewood Village
2820 Lakewood Village Dr
North Little Rock, AR 72116
Preliminary Plat And Site Plan Review Application

Dear Ms. James:

Please accept this letter to serve as our application for the above reference submittal. We wish to be placed on October 13th, 2026, Planning Commission Meeting Agenda. We are submitting the site plan for the proposed development of a retain building (with 4 sperate units) and additional parking in Lakewood Village for review. This property is currently zoned C3 (General Commercial District). We are also submitting a the preliminary plat for Lakewood Village, Block A, Lot 2 R-5 and Lot L with this submission.

Enclosed please find a check for the review fee in the amount of \$450.00.

If you have any questions, please give me a call.

Sincerely,

Thomas R. Pownall, P.E.
Vice President

Submittal of Preliminary Plat or Replat - 8 hard copy sets + a copy on a CD

01/02/2019

(this checklist is to be **completely filled out by applicant** before submittal)

Each set to contain all of the following:

- | | |
|---|---|
| ☐ 1 (8) Drawings, folded to 10x12 or smaller | ☐ 23 Zoning within and around plat |
| ☐ 2 (8) Letter of requests, stating any waivers
(one checklist <u>paper clipped</u> to each set) | ☐ 24 FEMA Panel Number with 100 year elevation |
| ☐ 3 (8) Preliminary Plat checklists
(one checklist <u>paper clipped</u> to each set)
(omission of any required items may
cause postponement or refusal) | ☐ 25 Flood Plain / wetlands contours |
| ☐ 4 (1) CD - Letter, checklist & drawings should be
combined into one .pdf file (not all separate files) | ☐ 26 Area in acres on each lot |
| | ☐ 27 Total acreage of subdivision |
| | ☐ 28 Contour Intervals |

Title Block to include:

- | | |
|---|---|
| ☐ 5 Title "Preliminary Plat" or "Replat" | ☐ 29 Preliminary Engineers Certificate |
| ☐ 6 Name of subdivision | ☐ 30 Preliminary Surveyors Certificate |
| ☐ 7 Lot and block numbers | ☐ 31 Preliminary Plat Approval Certificate |
| ☐ 8 Date of drawing | |

Required Items on all Preliminary Plats

- ☐ 9 Graphic scale
- ☐ 10 North arrow
- ☐ 11 Legal description
- ☐ 12 Vicinity map
- ☐ 13 Engineers / Surveyors name and address
- ☐ 14 Developers name and address
- ☐ 15 Owners name and address
- ☐ 16 Names of abutting subdivisions/owners
- ☐ 17 Street names
- ☐ 18 Street centerlines with right-of-way widths
- ☐ 19 Boundary lines with dimensions
- ☐ 20 Utility easements
- ☐ 21 Building setbacks
- ☐ 22 Section corners or other monuments

Required Items if applicable:

- ☐ 32 Municipal, County or Section lines
- ☐ 33 Phase map, if staging is planned
- ☐ 34 Storm water detention easement
- ☐ 35 Other easements _____
- ☐ 36 Natural features
- ☐ 37 Cultural features
- ☐ 38 Linear feet of new streets

Preliminary Plat Fees = \$250

Replat Fees = \$250

Submittal of Site Plan Review - 8 hard copy sets + a copy on a CD

12/2/2020

(this checklist is to be **completely filled out by applicant** before submittal)

Each set to contain all of the following:

- | | |
|--|---|
| ☐ 1 (8) Drawings, folded to 10x12 or smaller | ☐ 23 Zoning within and around plat |
| ☐ 2 (8) Letter of requests, stating any variance (one letter paper clipped to each set) | ☐ 24 FEMA Panel Number with 100 year elevation |
| ☐ 3 (8) Site Plan Review checklists (one checklist <u>paper clipped</u> to each set) (omission of any required items may cause postponement or refusal) | ☐ 25 Flood Plain / wetlands contours |
| ☐ 4 (1) CD - Letter, checklist, & drawings should be combined into one .pdf file (not all separate files) | ☐ 26 Area in acres on each lot |
| | ☐ 27 Sign location, edge 5' from property line |
| | ☐ 28 Screened dumpster location |
| | ☐ 29 Sidewalk location |
| | ☐ 30 Building outline with square footage |
| | ☐ 31 Street trees, 30' on center |
| | ☐ 32 Shade trees, 1 per 6 parking spaces |
| | ☐ 33 Required landscaping and buffers |
| | ☐ 34 First floor elevation |
| | ☐ 35 Concrete driveways in right-of-way |
| | ☐ 36 Nearest fire hydrant(s) |
| | ☐ 37 Water / sewer lines |
| | ☐ 38 Parking lot layout |

Title Block to include:

- | |
|---|
| ☐ 5 Title "Site Plan Review" |
| ☐ 6 Name of subdivision |
| ☐ 7 Lot and block numbers |
| ☐ 8 Date of drawing |

Required Items on all Site Plan Review

- | |
|---|
| ☐ 9 Graphic scale |
| ☐ 10 North arrow |
| ☐ 11 Legal description |
| ☐ 12 Vicinity map |
| ☐ 13 Engineers / Surveyors name and address |
| ☐ 14 Developers name and address |
| ☐ 15 Owners name and address |
| ☐ 16 Names of abutting subdivisions/owners |
| ☐ 17 Street names |
| ☐ 18 Street centerlines with right-of-way widths |
| ☐ 19 Boundary lines with dimensions |
| ☐ 20 Utility easements |
| ☐ 21 Building setbacks |
| ☐ 22 Section corners or other monuments |

Required Items if applicable:

- | |
|--|
| ☐ 39 Fire flow / water pressure |
| ☐ 40 Finished grading plan |
| ☐ 41 Municipal, County or Section lines |
| ☐ 42 Phase map, if staging is planned |
| ☐ 43 Storm water detention easement |
| ☐ 44 Other easements _____ |
| ☐ 45 Hillside cut proposal |
| ☐ |

Site Plan Review Fees = \$200



City of North Little Rock

Engineering Department

500 West 13th Street, North Little Rock, AR 72114

Engineering Site Plan Review Checklist

Answer every question (Yes, No or Not Applicable).

1. Are storm drainage facilities designed (or will be designed) in accordance with not less than a one in 25-year rainfall design frequency, or in the Central Business District (CBD), where a one in 50-year rainfall design frequency is used?

Circle: Yes or No or NA

2. Does Owner/Engineer plan to provide on-site detention of storm water run-off?

Circle: Yes or No or NA

If no, Owner/Engineer must either pay storm water in-lieu fee (\$5000/acre for non-residential or \$500/acre residential) or demonstrate to City Engineering that on-site detention is not required. Note: Stormwater in-lieu fee is subject to approval by City Engineering.

3. Is the on-site detention facility or other appropriate and approved means to control the increased runoff from development designed to accommodate the 25-year storm?

Circle: Yes or No or NA

4. Is the proposed project property in a designated Federal Emergency Management Agency (FEMA) Special Flood Hazard Areas (SFHAs)?

Circle: Yes or No

If yes, provide FEMA Flood Insurance Rate Map (FIRM) with the proposed Project property located on map.

For proposed project within FEMA floodplain Zone AE, provide elevation of FEMA 100-year floodplain _____.

If proposed project is within Zone A, coordinate required FEMA 100-year floodplain elevation with City Engineer.

5. Is the first floor of any proposed buildings or building additions a minimum of 1' above FEMA 100-year floodplain?

Circle: Yes or No or NA

6. Is the proposed project property in a previously undeveloped area?

Circle: Yes or No

7. Are there any known wetlands located on this property?

Circle: Yes or No

8. Do the existing or proposed sidewalks comply with CNLR regulations? (contact the City Engineer for regulations)

Circle: Yes or No or NA

If not, explain.

9. Are proposed driveways concrete in the City Right-of-Way?

Circle: Yes or No or NA

10. Are proposed commercial/industrial driveways further than 40' from intersecting streets or 10' from adjoining property lines?

Circle: Yes or No or NA

11. Are proposed commercial/industrial driveways further than 40 feet from other existing/proposed drives?

Circle: Yes or No or NA

12. Are the location of driveways regulated by an Access Management Plan? (Refer to the Master Street Plan document for list and regulations for access plans).

Circle: Yes or No

13. Are cross drains in the street Right-of-Way (ROW) reinforced concrete pipe (RCP) with concrete headwalls? (use of concrete flared end sections will be determined on a case by case basis with City Engineering)

Circle: Yes or No or NA

14. Is a grading plan with proposed finished contours or spot elevations shown for the proposed development?

Circle: Yes or No

15. Are utilities/mains (water, sewer, electric, etc) labeled and shown as existing or proposed improvements?

Circle: Yes or No or NA

16. Are utility service lines to the proposed development shown?

Circle: Yes or No or NA

17. Is the proposed project located in steep and rugged terrain where: (1) the slope is steeper than a vertical rise of 1 foot for each 4 feet of horizontal distance (4:1 slope) prior to the alteration; *or* (2) the final grade is steeper than a 4:1 slope between abutting lots or tracts of land?

Circle: Yes or No

If yes, Owner/Engineer shall follow the requirements of the "CNLR Regulation to Control Development and Subdivision of Land, Article 14 - Hillside Regulations" and coordinate with City Engineering prior to Subdivision Review Meeting.

18. For the proposed project, check applicable permits required for the proposed project:

- _____ CNLR Stormwater Permit (required for all proposed projects).
- _____ CNLR Floodplain Development Permit (required for all proposed projects in FEMA Special Flood Hazard Areas).
- _____ Arkansas Department of Environmental Quality (ADEQ) Stormwater Permit.
- _____ AHTD permit for driveway or utility work within the State Rights-of-Way (ROW).
- _____ Arkansas Department of Health approval for water and sewer facilities.
- _____ Corps of Engineers (COE) 404 Clearance/Permit.

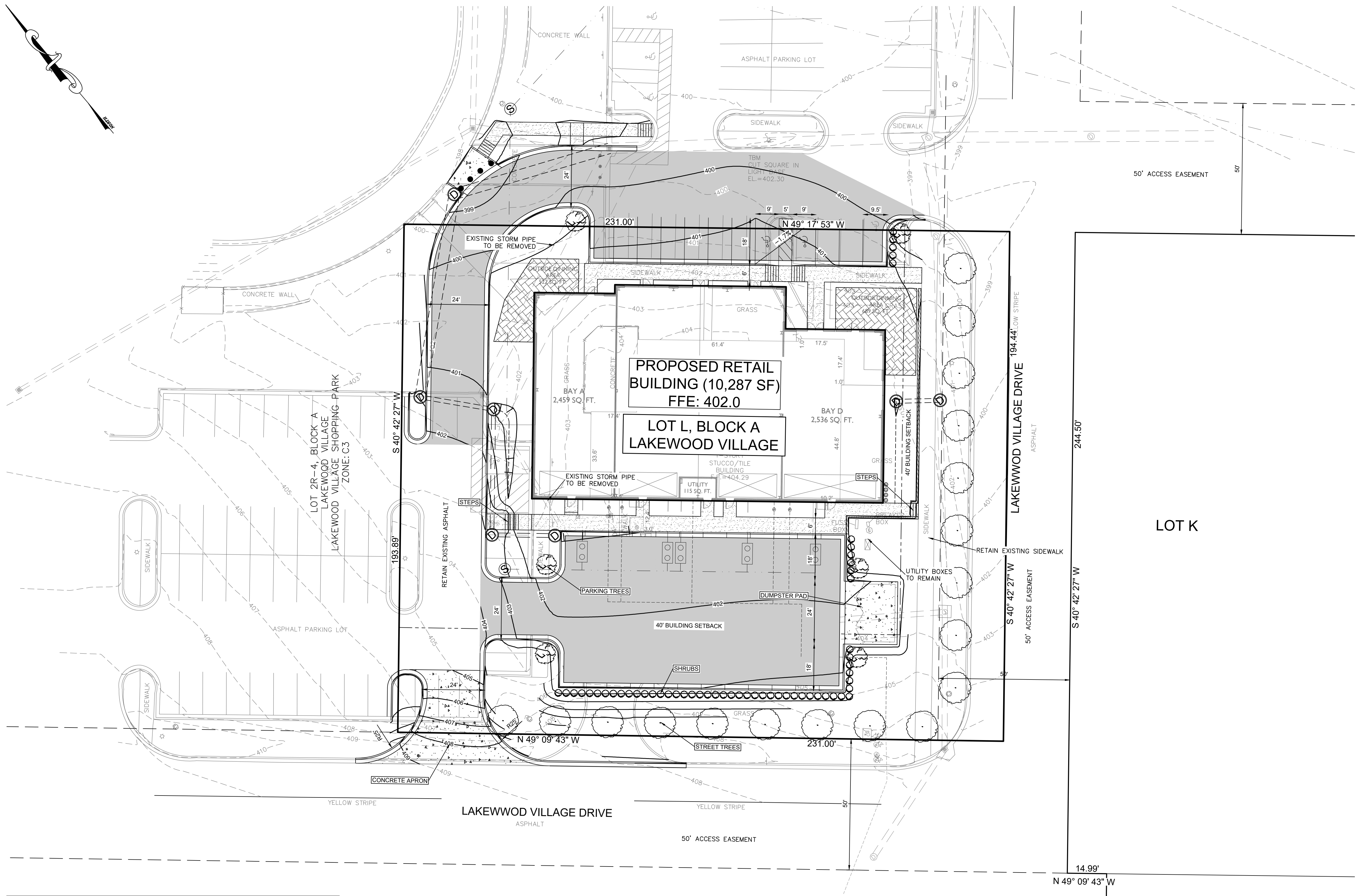
All applicable Permits checked above shall be obtained prior to receiving a Construction Building Permit.

List any other applicable State or Federal permits required.

Note to Owner:

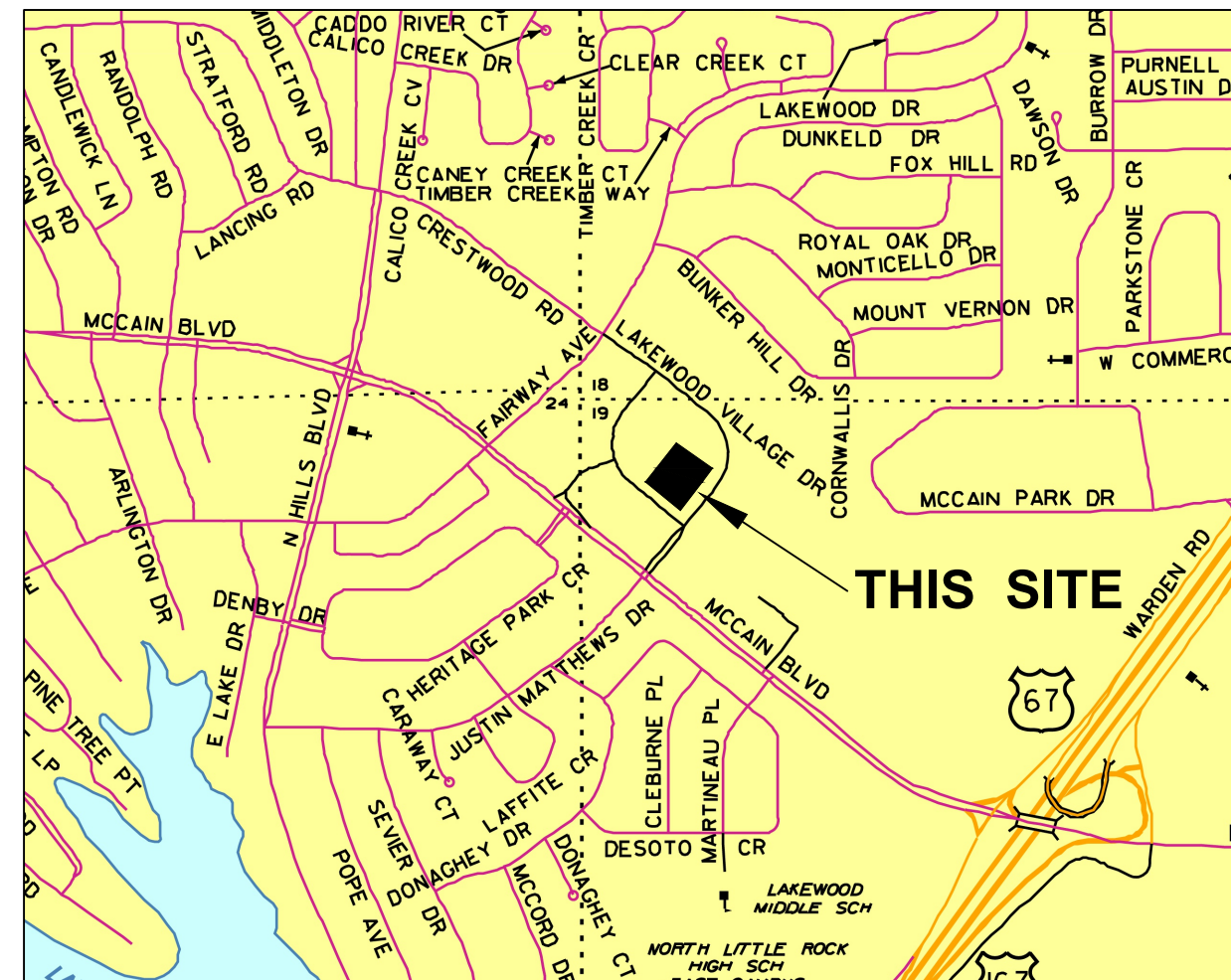
CNLR Excavation Permit is required for excavations/street cuts within the City's ROW.

CNLR Barricade Permit is required for lane closures or maintenance of traffic within City's ROW.



- SURVEY LEGENDS**
- PROPERTY LINE
 - BUILDING LINE
 - EASEMENT
 - SANITARY SEWER LINE
 - OVERHEAD ELECTRIC LINE
 - WATER LINE
 - STORM DRAIN LINE
 - FENCE - CHAIN LINK
 - FENCE - DECORATIVE IRON
 - LIGHT POLE
 - UTILITY POLE & GUY
 - SANITARY SEWER MANHOLE
 - FOUND SURVEY MARKER AS DESCRIBED
 - CALCULATED POINT
 - MAILBOX
 - WATER VALVE
 - FIRE HYDRANT
 - ROOF DRAIN
 - BOLLARD
 - ELECTRIC BOX
 - DRAINAGE BOX AS DESCRIBED
 - TELEPHONE MHPULLBOX
 - WATER METER
 - SIGN
 - GAS METER
 - TRAFFIC SIGNAL POLE

- SITE LEGENDS**
- SHOWS CONCRETE SIDEWALK
 - SHOWS STANDARD DUTY CONCRETE PAVEMENT
 - SHOWS STANDARD DUTY ASPHALT PAVEMENT
 - SHOWS OUTDOOR DINING AREA
 - SHOWS GRADING WALL
 - PARKING LOT SHADE TREE
RED OAK OR TREE FROM TABLE B OR C
2.5" MINIMUM CALIPER
 - STREET TREE
TRIDENT MAPLE OR TREE FROM TABLE D
2.5" MINIMUM CALIPER
 - DWARF YAUPOIN HOLLY
IN 4' 0" LANDSCAPE BED
SPACED 3' 0" ON CENTER
18" MINIMUM HEIGHT AT INSTALLATION



VICINITY MAP

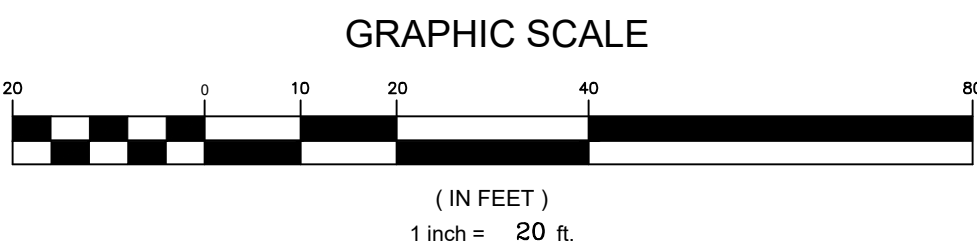
- SITE PLAN REVIEW NOTES**
- SITE CONTAINS A PROPOSED RETAIN BUILDING.
 - BASIS OF BEARINGS: ARKANSAS STATE PLANE, NORTH ZONE (NAD 83)
 - THIS PROPERTY IS NOT SHOWN IN THE 100 YEAR FLOOD PLAIN ON THE FLOOD INSURANCE RATE MAP COMMUNITY PANEL NUMBER 050182 0361 G DATED JULY 6, 2015
 - THIS PROPERTY IS ZONED C3 (GENERAL COMMERCIAL DISTRICT)
 - PARCEL CONTAINS 1.03 ACRES, MORE OR LESS.
 - SETBACKS SHOWN FOR THIS SITE:
40' FRONT
0' SIDE
20' REAR

PARKING	
REGULAR	34 SPACES
ACCESSIBLE	02 SPACES
TOTAL PROVIDED	36 SPACES

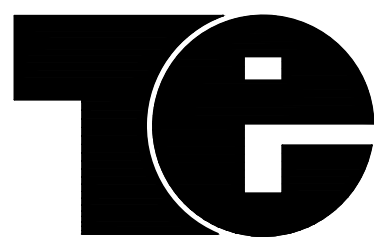
LEGAL DESCRIPTION
PART OF LOT 2R-4, BLOCK A
LAKEWOOD VILLAGE ADDITION
NORTH LITTLE ROCK, AR

OWNER/DEVELOPER
LAKEWOOD VILLAGE SHOPPING PARK
2851 LAKEWOOD VILLAGE DR
NORTH LITTLE ROCK, AR 72116

PROJECT ADDRESS
2851 LAKEWOOD VILLAGE DR
NORTH LITTLE ROCK, AR 72116



PRELIMINARY PLAN -
NOT FOR CONSTRUCTION



THOMAS
ENGINEERING
COMPANY

3810 LOOKOUT ROAD, N. LITTLE ROCK, AR. 72116
TEL: 501-753-4463 FAX: 501-753-6814

SITE PLAN REVIEW
PROPOSED RETAIL BUILDING
LAKEWOOD VILLAGE
NORTH LITTLE ROCK, AR

APPROVED	DRAWN BY	DATE	SHEET NO.
		08.25.2026	2.0
SCALE 1" = 20'			