



WHITE - DATERS & ASSOCIATES, INC.

24 Rahling Circle

Little Rock, Arkansas 72223

Phone: 501-821- 1667

www.whitedaters.com

August 25, 2026

Mr. Tracy Spillman- City Planner
City Services Building
700 W 29th Street
North Little Rock, AR 72114

RE: Stone Bank - Lot 2, Block 1 North Shore Business Park

Mr. Spillman,

Attached are 8 copies of the Site Plan for the above captioned project. Stone Bank plans on constructing another bank building at the site.

Please place this item on the agenda for the October 13, 2026 Planning Commission meeting.

Thank you for your assistance. Please contact me if you need any additional information.

Sincerely,

Ben Wells, P.E., S.I.

Encl: Revised Site Plan – 8 copies
Check List- 8 copies

Submittal of Site Plan Review - 8 hard copy sets + a copy on a CD

12/2/2020

(this checklist is to be **completely filled out by applicant** before submittal)

Each set to contain all of the following:

- ☒ 1 (8) Drawings, folded to 10x12 or smaller
- ☒ 2 (8) Letter of requests, stating any variance (one letter paper clipped to each set)
- ☒ 3 (8) Site Plan Review checklists (one checklist paper clipped to each set) (omission of any required items may cause postponement or refusal)
- ☒ 4 (1) CD - Letter, checklist, & drawings should be combined into one .pdf file (**not** all separate files)

Title Block to include:

- ☒ 5 Title "Site Plan Review"
- ☒ 6 Name of subdivision
- ☒ 7 Lot and block numbers
- ☒ 8 Date of drawing

Required Items on all Site Plan Review

- ☒ 9 Graphic scale
- ☒ 10 North arrow
- ☒ 11 Legal description
- ☒ 12 Vicinity map
- ☒ 13 Engineers / Surveyors name and address
- ☒ 14 Developers name and address
- ☒ 15 Owners name and address
- ☒ 16 Names of abutting subdivisions/owners
- ☒ 17 Street names
- ☒ 18 Street centerlines with right-of-way widths
- ☒ 19 Boundary lines with dimensions
- ☒ 20 Utility easements
- ☒ 21 Building setbacks
- ☒ 22 Section corners or other monuments

- ☒ 23 Zoning within and around plat
- ☒ 24 FEMA Panel Number with 100 year elevation
- ☐ 25 Flood Plain / wetlands contours
- ☒ 26 Area in acres on each lot
- ☒ 27 Sign location, edge 5' from property line
- ☒ 28 Screened dumpster location
- ☐ 29 Sidewalk location
- ☒ 30 Building outline with square footage
- ☒ 31 Street trees, 30' on center
- ☐ 32 Shade trees, 1 per 6 parking spaces
- ☒ 33 Required landscaping and buffers
- ☒ 34 First floor elevation
- ☒ 35 Concrete driveways in right-of-way
- ☒ 36 Nearest fire hydrant(s)
- ☒ 37 Water / sewer lines
- ☒ 38 Parking lot layout

Required Items if applicable:

- ☒ 39 Fire flow / water pressure
- ☒ 40 Finished grading plan
- ☐ 41 Municipal, County or Section lines
- ☐ 42 Phase map, if staging is planned
- ☐ 43 Storm water detention easement
- ☐ 44 Other easements _____
- ☐ 45 Hillside cut proposal
- ☐

Site Plan Review Fees = \$200



City of North Little Rock

Engineering Department

500 West 13th Street, North Little Rock, AR 72114

Engineering Site Plan Review Checklist

Answer every question (Yes, No or Not Applicable).

1. Are storm drainage facilities designed (or will be designed) in accordance with not less than a one in 25-year rainfall design frequency, or in the Central Business District (CBD), where a one in 50-year rainfall design frequency is used?

Yes

2. Does Owner/Engineer plan to provide on-site detention of storm water run-off?

No

If no, Owner/Engineer must either pay storm water in-lieu fee (\$5000/acre for non-residential or \$500/acre residential) or demonstrate to City Engineering that on-site detention is not required. Note: Stormwater in-lieu fee is subject to approval by City Engineering.

3. Is the on-site detention facility or other appropriate and approved means to control the increased runoff from development designed to accommodate the 25-year storm?

Yes

4. Is the proposed project property in a designated Federal Emergency Management Agency (FEMA) Special Flood Hazard Areas (SFHAs)?

Yes

If yes, provide FEMA Flood Insurance Rate Map (FIRM) with the proposed Project property located on map.

For proposed project within FEMA floodplain Zone AE, provide elevation of FEMA 100-year floodplain _____.

If proposed project is within Zone A, coordinate required FEMA 100-year floodplain elevation with City Engineer.

5. Is the first floor of any proposed buildings or building additions a minimum of 1' above FEMA 100-year floodplain?

No

6. Is the proposed project property in a previously undeveloped area?

Yes

7. Are there any known wetlands located on this property?

No

8. Do the existing or proposed sidewalks comply with CNLR regulations? (contact the City Engineer for regulations)

No

If not, explain.

Sidewalk requirement waived with preliminary plat

9. Are proposed driveways concrete in the City Right-of-Way?

Yes

10. Are proposed commercial/industrial driveways further than 40' from intersecting streets or 10' from adjoining property lines?

Yes

11. Are proposed commercial/industrial driveways further than 40 feet from other existing/proposed drives?

Yes

12. Are the location of driveways regulated by an Access Management Plan? (Refer to the Master Street Plan document for list and regulations for access plans).

No

13. Are cross drains in the street Right-of-Way (ROW) reinforced concrete pipe (RCP) with concrete headwalls? (use of concrete flared end sections will be determined on a case by case basis with City Engineering)

No

14. Is a grading plan with proposed finished contours or spot elevations shown for the proposed development?

Yes

15. Are utilities/mains (water, sewer, electric, etc) labeled and shown as existing or proposed improvements?

Yes

16. Are utility service lines to the proposed development shown?

No

17. Is the proposed project located in steep and rugged terrain where: (1) the slope is steeper than a vertical rise of 1 foot for each 4 feet of horizontal distance (4:1 slope) prior to the alteration; *or* (2) the final grade is steeper than a 4:1 slope between abutting lots or tracts of land?

Yes

If yes, Owner/Engineer shall follow the requirements of the "CNLR Regulation to Control Development and Subdivision of Land, Article 14 - Hillside Regulations" and coordinate with City Engineering prior to Subdivision Review Meeting.

18. For the proposed project, check applicable permits required for the proposed project:



CNLR Stormwater Permit (required for all proposed projects).



CNLR Floodplain Development Permit (required for all proposed projects in FEMA Special Flood Hazard Areas).



Arkansas Department of Environmental Quality (ADEQ) Stormwater Permit.



AHTD permit for driveway or utility work within the State Rights-of-Way (ROW).



Arkansas Department of Health approval for water and sewer facilities.



Corps of Engineers (COE) 404 Clearance/Permit.

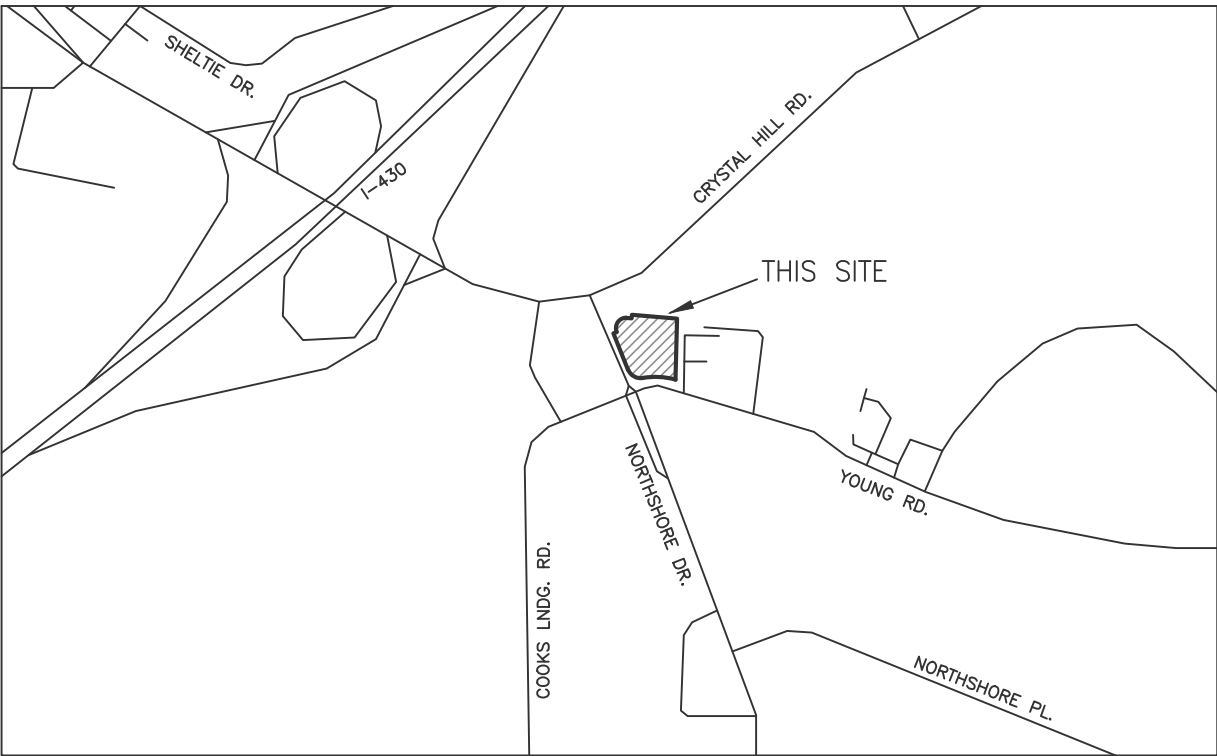
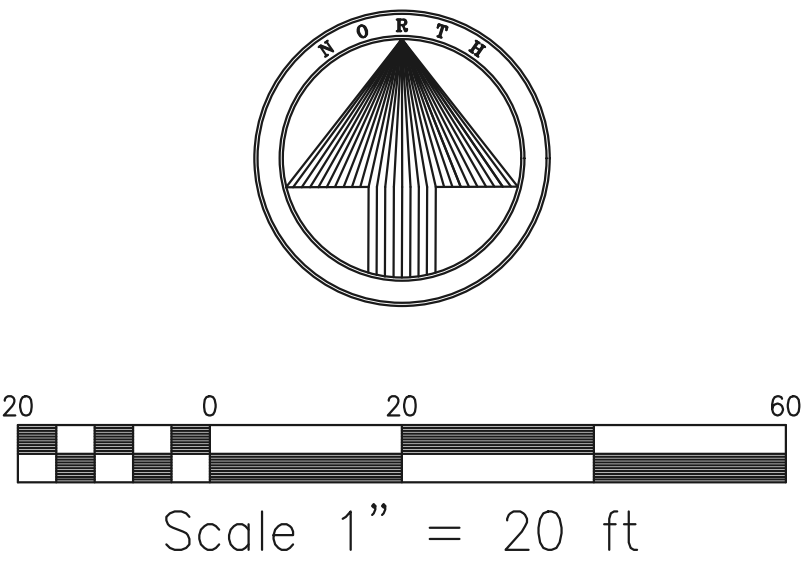
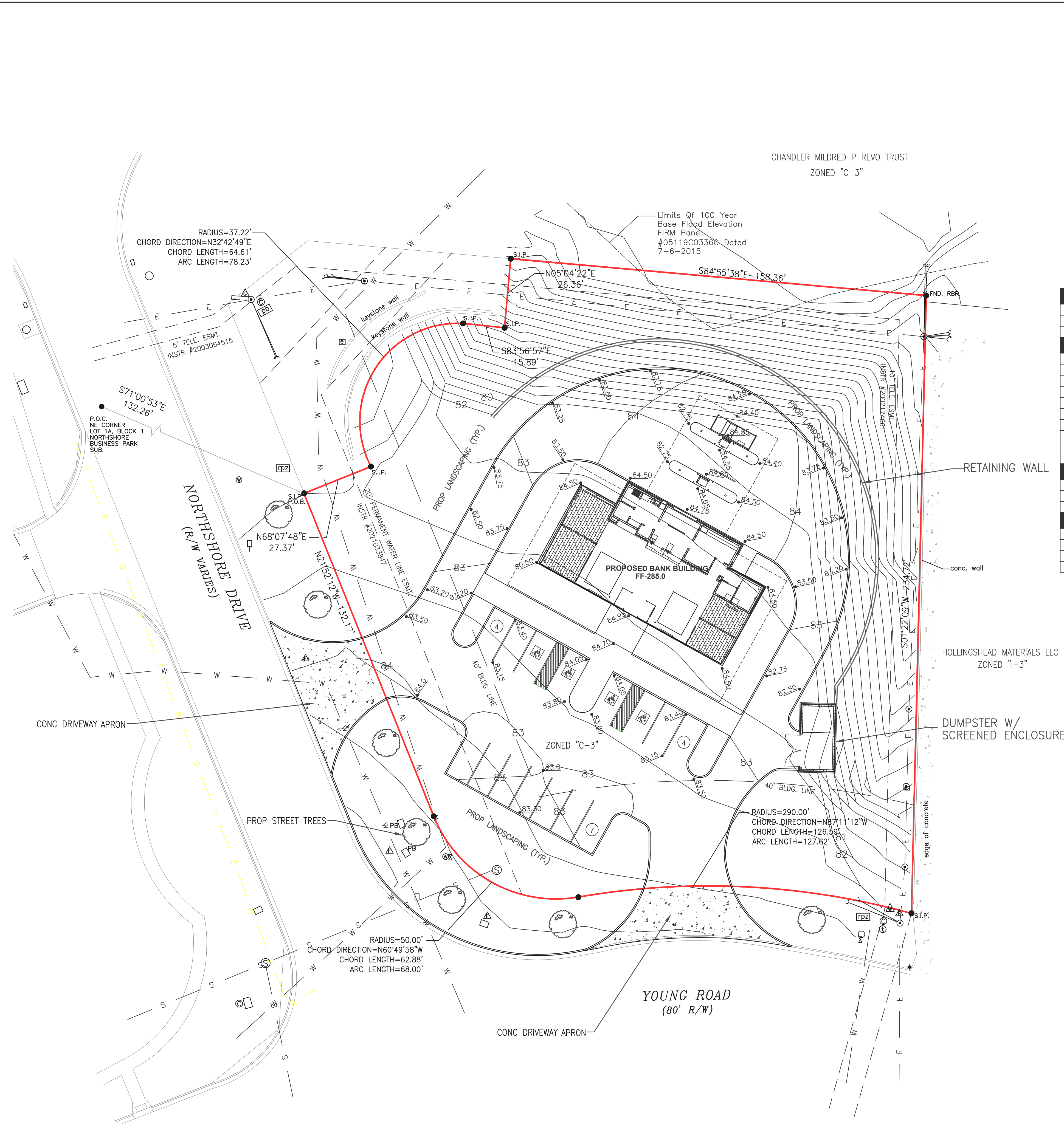
All applicable Permits checked above shall be obtained prior to receiving a Construction Building Permit.

List any other applicable State or Federal permits required.

Note to Owner:

CNLR Excavation Permit is required for excavations/street cuts within the City's ROW.

CNLR Barricade Permit is required for lane closures or maintenance of traffic within City's ROW.



JURISDICTION		CITY OF NORTH LITTLE ROCK	
ZONING DISTRICT		C3 - GENERAL COMMERCIAL DISTRICT	
PERMITTED USES		GENERAL COMMERCIAL, RETAIL, AND OFFICE	
		REQ'D	PROVIDED
FRONT SETBACK		40'-0"	72'-0"
SIDE SETBACK		0'-0"	58'-0"
REAR SETBACK		20'-0"	20'-0"
MAX HEIGHT		45'-0"	28'-0"
MIN LOT AREA		10,000 SF	46,926 SF
MAX LOT COVERAGE		50% SF	7%
1. YARD SETBACKS SHALL BE MEASURED FROM THE PROPERTY LINE OR PROJECTED MASTER STREET PLAN ROW, WHICHEVER IS GREATER.			
2. WHERE PLATTED BUILDING LINES CONFLICT WITH THE REQUIRED YARD SETBACK, THE MOST STRINGENT SHALL APPLY.			
LEVEL 1		+/- 3,200 SF	
TOTAL		+/- 3,200 SF	
LOT DESCRIPTION		REQ'D	PROVIDED
TOTAL		11	15

1. 1 SPACE PER 300 SF OF GROSS FLOOR AREA OF THAT USE
2. RIGHT ANGLE PARKING TO BE 9'-0" X 18'-0" WITH 24 PARKING AISLE
1. TREES SHALL BE PLANTED AT ONE (1) PER SIX (6) PARKING SPACES.
2. ALL TREES LOCATED WITHIN THE PARKING AREA SHALL BE PLANTED ON CURBED LANDSCAPE ISLAND. PER TREE, SHALL BE ATLEAST EIGHT (8) FEET WIDE AND AT LEAST EIGHTEEN (18) FEET DEEP.

GENERAL NOTES:

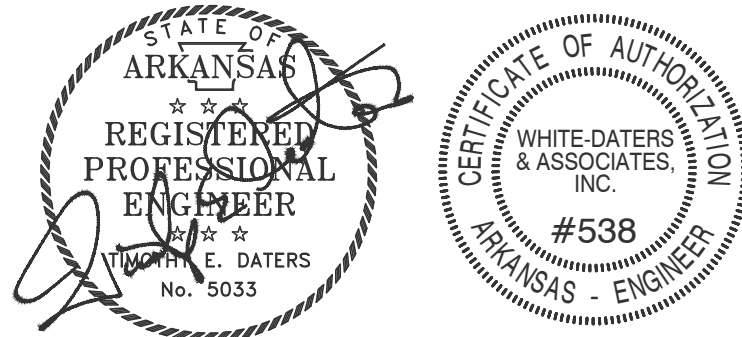
1. MAXIMUM STATIC WATER PRESSURE = 110 PSI
MINIMUM RESIDUAL WATER PRESSURE = 88 PSI
2. A PORTION OF THIS PROPERTY IS BELOW THE 100 YEAR FLOOD ELEVATION AS SHOWN ON THE FLOODWAY, FLOOD BOUNDARY AND FLOOD INSURANCE WORK MAP FOR PULASKI COUNTY, ARKANSAS. FIRM PANEL #05119C0336G DATED 7-6-2015
3. NO STREET SIDEWALK REQUIRED PER APPROVED PRELIMINARY PLAT.
4. NO STORMWATER DETENTION REQUIRED PER APPROVED PRELIMINARY PLAT.

LEGAL DESCRIPTION:

A PART OF THE SOUTH 1/2 OF THE NW1/4 OF SECTION 13, T-2-N, R-13-W, NORTH LITTLE ROCK, PULASKI COUNTY, ARKANSAS, MORE PARTICULARLY DESCRIBED AS FOLLOWS;

COMMENCING AT THE NE CORNER OF LOT 1A, BLOCK 1, NORTHSORE BUSINESS PARK SUBDIVISION, NORTH LITTLE ROCK, PULASKI COUNTY, ARKANSAS, SAID POINT ALSO LYING ON THE WEST RIGHT-OF-WAY LINE OF NORTHSORE DRIVE; THENCE S71°00'53"E, 132.26 FT. TO A POINT ON THE EAST RIGHT-OF-WAY LINE OF NORTHSORE DRIVE, SAID POINT ALSO BEING THE POINT OF BEGINNING; THENCE LEAVING SAID EAST RIGHT-OF-WAY, N68°07'48"E, 27.37 FT.; THENCE ALONG THE ARC OF A 37.22 FT. RADIUS CURVE TO THE RIGHT HAVING A CHORD BEARING AND DISTANCE OF N32°42'49"E, 64.61 FT.; THENCE S83°56'57"E, 15.89 FT.; THENCE N05°04'22"E, 26.36 FT.; THENCE S84°55'38"E, 158.36 FT.; THENCE S01°22'09"W 243.72 FT. TO A POINT ON THE NORTH RIGHT-OF-WAY LINE OF YOUNG ROAD; THENCE WEST ALONG SAID NORTH RIGHT OF WAY LINE, ALONG THE ARC OF A 290.00 FT. RADIUS CURVE TO THE LEFT HAVING A CHORD BEARING AND DISTANCE, N87°11'12"W, 126.59 FT.; THENCE LEAVING SAID NORTH RIGHT-OF-WAY LINE ALONG THE ARC OF A 50.00 FT. RADIUS CURVE TO THE RIGHT HAVING A CHORD BEARING AND DISTANCE OF N60°49'58"W, 62.88 FT. TO A POINT ON THE EAST RIGHT-OF-WAY LINE OF NORTHSORE DRIVE; THENCE NORTH ALONG SAID EAST RIGHT-OF-WAY LINE, N21°52'12"W, 132.17, TO THE POINT OF BEGINNING, CONTAINING 46,926 SQ. FT. OR 1.07 ACRES MORE OR LESS.

OWNER: PFEIFER FAMILY LTD PTNSP
4801 NORTHSORE DR.
NORTH LITTLE ROCK, AR 72118
PHONE: 501-681-5762



W WHITE-DATERS & ASSOCIATES, INC.
D CIVIL ENGINEERING, LAND PLANNING & DEVELOPMENT, SURVEYING
A 24 RAHLING CIRCLE LITTLE ROCK, ARKANSAS 72223

Survey By: Drawn By: Checked By: Approved By:

SITE PLAN REVIEW

STONE BANK

LOT 2, BLOCK 1
NORTHSORE BUSINESS PARK
SUBDIVISION

PART OF THE NW1/4 OF SECTION 13, T-2-N, R-13-W

NORTH LITTLE ROCK, ARKANSAS

Revised
Date 08-25-26
Scale Hor. Vert.
1"=20'
Sheet of
Job No.