



JOE WHITE & ASSOCIATES, INC.
CIVIL ENGINEERING - CONSULTING SERVICES - LAND SURVEYING

August 25, 2026

Ms. Donna James
City of North Little Rock
Community Planning
515 West Pershing Street
North Little Rock, AR 72214

RE: 7616 North Hills Blvd.
Lot 1, Block 3000, Indian Hills Addition
Site Plan Review

Ms. James,

Please accept this letter to serve as our application for the above referenced submittal. Attached are 8 copies of the cover letter, check list, and site plan review.

This property is located at 7616 North Hills Blvd. The proposed project includes the construction of a 5-plex townhome building with associated parking and sidewalks. The property is served by Central Arkansas Water and North Little Rock Wastewater Utility.

Please place this item on the next available Planning Commission agenda. Do not hesitate to call with any questions you may have.

Sincerely,

Jacob T. White, P.E.

Submittal of Site Plan Review - 8 hard copy sets + a copy on a CD

12/2/2020

(this checklist is to be **completely filled out by applicant** before submittal)

Each set to contain all of the following:

- | | |
|--|---|
| ☐ 1 (8) Drawings, folded to 10x12 or smaller | ☐ 23 Zoning within and around plat |
| ☐ 2 (8) Letter of requests, stating any variance (one letter paper clipped to each set) | ☐ 24 FEMA Panel Number with 100 year elevation |
| ☐ 3 (8) Site Plan Review checklists (one checklist <u>paper clipped</u> to each set) (omission of any required items may cause postponement or refusal) | ☐ 25 Flood Plain / wetlands contours |
| ☐ 4 (1) CD - Letter, checklist, & drawings should be combined into one .pdf file (not all separate files) | ☐ 26 Area in acres on each lot |
| | ☐ 27 Sign location, edge 5' from property line |
| | ☐ 28 Screened dumpster location |
| | ☐ 29 Sidewalk location |
| | ☐ 30 Building outline with square footage |
| | ☐ 31 Street trees, 30' on center |
| | ☐ 32 Shade trees, 1 per 6 parking spaces |
| | ☐ 33 Required landscaping and buffers |
| | ☐ 34 First floor elevation |
| | ☐ 35 Concrete driveways in right-of-way |
| | ☐ 36 Nearest fire hydrant(s) |
| | ☐ 37 Water / sewer lines |
| | ☐ 38 Parking lot layout |

Title Block to include:

- | |
|---|
| ☐ 5 Title "Site Plan Review" |
| ☐ 6 Name of subdivision |
| ☐ 7 Lot and block numbers |
| ☐ 8 Date of drawing |

Required Items on all Site Plan Review

- | |
|---|
| ☐ 9 Graphic scale |
| ☐ 10 North arrow |
| ☐ 11 Legal description |
| ☐ 12 Vicinity map |
| ☐ 13 Engineers / Surveyors name and address |
| ☐ 14 Developers name and address |
| ☐ 15 Owners name and address |
| ☐ 16 Names of abutting subdivisions/owners |
| ☐ 17 Street names |
| ☐ 18 Street centerlines with right-of-way widths |
| ☐ 19 Boundary lines with dimensions |
| ☐ 20 Utility easements |
| ☐ 21 Building setbacks |
| ☐ 22 Section corners or other monuments |

Required Items if applicable:

- | |
|--|
| ☐ 39 Fire flow / water pressure |
| ☐ 40 Finished grading plan |
| ☐ 41 Municipal, County or Section lines |
| ☐ 42 Phase map, if staging is planned |
| ☐ 43 Storm water detention easement |
| ☐ 44 Other easements _____ |
| ☐ 45 Hillside cut proposal |
| ☐ |

Site Plan Review Fees = \$200



City of North Little Rock

Engineering Department

500 West 13th Street, North Little Rock, AR 72114

Engineering Site Plan Review Checklist

Answer every question (Yes, No or Not Applicable).

1. Are storm drainage facilities designed (or will be designed) in accordance with not less than a one in 25-year rainfall design frequency, or in the Central Business District (CBD), where a one in 50-year rainfall design frequency is used?

Circle: Yes or No or NA

2. Does Owner/Engineer plan to provide on-site detention of storm water run-off?

Circle: Yes or No or NA

If no, Owner/Engineer must either pay storm water in-lieu fee (\$5000/acre for non-residential or \$500/acre residential) or demonstrate to City Engineering that on-site detention is not required. Note: Stormwater in-lieu fee is subject to approval by City Engineering.

3. Is the on-site detention facility or other appropriate and approved means to control the increased runoff from development designed to accommodate the 25-year storm?

Circle: Yes or No or NA

4. Is the proposed project property in a designated Federal Emergency Management Agency (FEMA) Special Flood Hazard Areas (SFHAs)?

Circle: Yes or No

If yes, provide FEMA Flood Insurance Rate Map (FIRM) with the proposed Project property located on map.

For proposed project within FEMA floodplain Zone AE, provide elevation of FEMA 100-year floodplain _____.

If proposed project is within Zone A, coordinate required FEMA 100-year floodplain elevation with City Engineer.

5. Is the first floor of any proposed buildings or building additions a minimum of 1' above FEMA 100-year floodplain?

Circle: Yes or No or NA

6. Is the proposed project property in a previously undeveloped area?

Circle: Yes or No

7. Are there any known wetlands located on this property?

Circle: Yes or No

8. Do the existing or proposed sidewalks comply with CNLR regulations? (contact the City Engineer for regulations)

Circle: Yes or No or NA

If not, explain.

9. Are proposed driveways concrete in the City Right-of-Way?

Circle: Yes or No or NA

10. Are proposed commercial/industrial driveways further than 40' from intersecting streets or 10' from adjoining property lines?

Circle: Yes or No or NA

11. Are proposed commercial/industrial driveways further than 40 feet from other existing/proposed drives?

Circle: Yes or No or NA

12. Are the location of driveways regulated by an Access Management Plan? (Refer to the Master Street Plan document for list and regulations for access plans).

Circle: Yes or No

13. Are cross drains in the street Right-of-Way (ROW) reinforced concrete pipe (RCP) with concrete headwalls? (use of concrete flared end sections will be determined on a case by case basis with City Engineering)

Circle: Yes or No or NA

14. Is a grading plan with proposed finished contours or spot elevations shown for the proposed development?

Circle: Yes or No

15. Are utilities/mains (water, sewer, electric, etc) labeled and shown as existing or proposed improvements?

Circle: Yes or No or NA

16. Are utility service lines to the proposed development shown?

Circle: Yes or No or NA

17. Is the proposed project located in steep and rugged terrain where: (1) the slope is steeper than a vertical rise of 1 foot for each 4 feet of horizontal distance (4:1 slope) prior to the alteration; *or* (2) the final grade is steeper than a 4:1 slope between abutting lots or tracts of land?

Circle: Yes or No

If yes, Owner/Engineer shall follow the requirements of the "CNLR Regulation to Control Development and Subdivision of Land, Article 14 - Hillside Regulations" and coordinate with City Engineering prior to Subdivision Review Meeting.

18. For the proposed project, check applicable permits required for the proposed project:

- _____ CNLR Stormwater Permit (required for all proposed projects).
- _____ CNLR Floodplain Development Permit (required for all proposed projects in FEMA Special Flood Hazard Areas).
- _____ Arkansas Department of Environmental Quality (ADEQ) Stormwater Permit.
- _____ AHTD permit for driveway or utility work within the State Rights-of-Way (ROW).
- _____ Arkansas Department of Health approval for water and sewer facilities.
- _____ Corps of Engineers (COE) 404 Clearance/Permit.

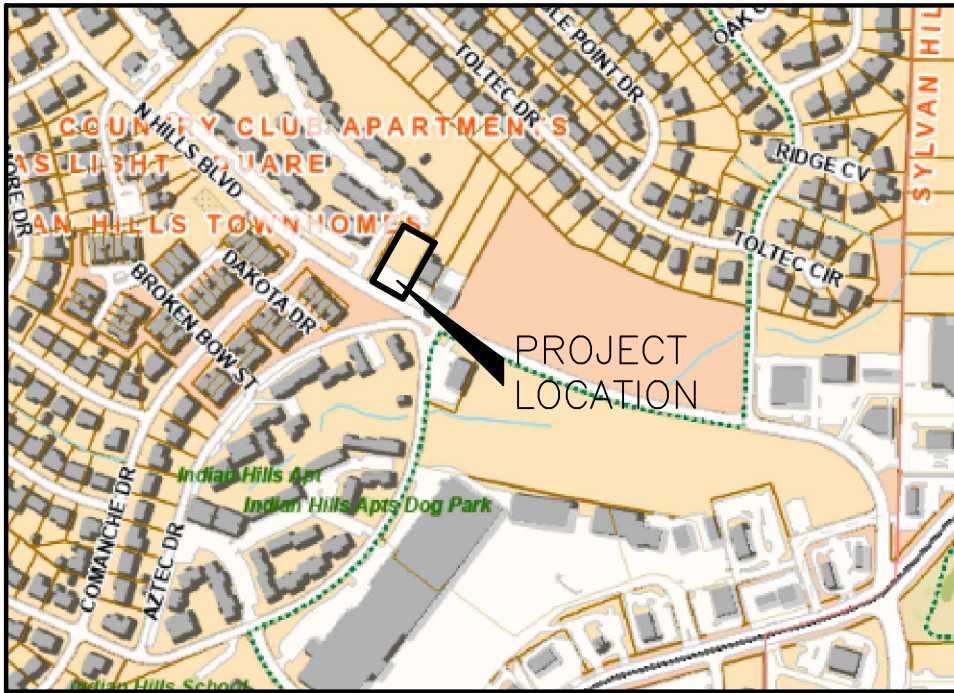
All applicable Permits checked above shall be obtained prior to receiving a Construction Building Permit.

List any other applicable State or Federal permits required.

Note to Owner:

CNLR Excavation Permit is required for excavations/street cuts within the City's ROW.

CNLR Barricade Permit is required for lane closures or maintenance of traffic within City's ROW.



VICINITY MAP
(1"=600')

LEGEND

	FOUND AS NOTED
	SET 1/2" IRON PIN
	WATER VALVE
	FIRE HYDRANT
	WATER METER
	RPZ
	ELECTRIC TRANSFORMER
	ELECTRIC BOX
	FIBER-OPTIC SIGN
	GAS METER
	BURIED GAS MARKER
	POWER POLE
	GUY WIRE
	LIGHT POLE
	GROUND LIGHT
	BOLLARD POLE
	SANITARY SEWER MANHOLE
	DRAINAGE MANHOLE
	SEWER OR DRAIN CLEAN-OUTS
	TELEPHONE RISER
	TELEPHONE SIGN
	CABLE RISER
	JUNCTION BOX-DRAINAGE
	CURB INLET-DRAINAGE
	GRATE INLET-DRAINAGE
	REINFORCED CONCRETE PIPE
	CORRUGATED METAL PIPE
	SIGN
	HANDICAP PARKING
	H.C. HANDICAP RAMP
	CONCRETE
	CHAIN LINK FENCE
	WOOD FENCE
	OVERHEAD POWER
	(UG) UNDERGROUND ELECTRIC
	(UG) UNDERGROUND GAS
	(UG) UNDERGROUND FIBER OPTIC
	(UG) UNDERGROUND TELEPHONE
	(UG) UNDERGROUND WATER
	(UG) UNDERGROUND SEWER

NOTES:

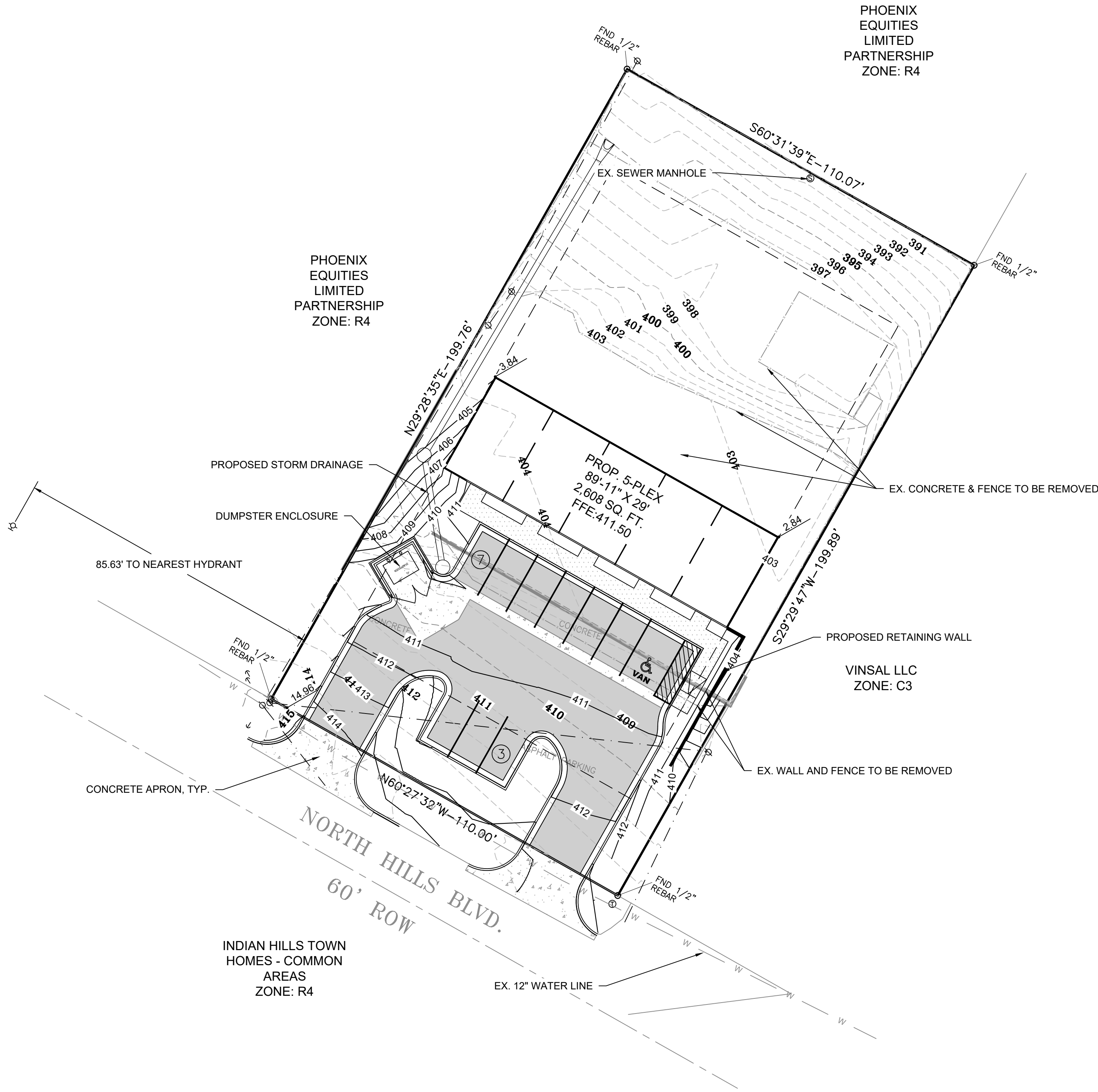
1. ADDRESS OF PROPERTY: 7616 NORTH HILLS BLVD.
N. LITTLE ROCK, AR 72116
2. BASIS OF BEARINGS: ARKASAS STATE PLANE COORDINATE SYSTEM
NORTH ZONE, NAD 83
3. AREA OF PROPERTY: 21,988.1116 SF / 0.5047 +/- ACRES
4. ZONING OF PROPERTY: R4 (RESIDENTIAL)
5. UTILITIES ARE SHOWN PER OBSERVED EVIDENCE TOGETHER WITH EVIDENCE FROM GIS INFORMATION FROM UTILITY COMPANIES. HOWEVER, LACKING EXCAVATION, THE EXACT LOCATION OF UNDERGROUND FEATURES CANNOT BE ACCURATELY, COMPLETELY, AND RELIABLY DEPICTED.
6. OWNER/DEVELOPER: ZEKE TANNER CONSTRUCTION LLC
3107 N. PINE ST.
NORTH LITTLE ROCK, AR, 72116-8828
7. PARKING SUMMARY:
REQUIRED: 2 SPACES PER UNIT
PROVIDED: 10 PARKING SPACES
7. LANDSCAPING SHALL MEET THE REQUIREMENTS OF THE CITY OF NORTH LITTLE ROCK SCREENING AND LANDSCAPING ORDINANCE.

FLOOD INFORMATION:

NO PORTION OF THIS PROPERTY IS LOCATED WITHIN THE 100 YEAR FLOOD BOUNDARY, AS SHOWN ON THE FLOODWAY, FLOOD BOUNDARY AND FLOOD INSURANCE WORK MAP FOR NORTH LITTLE ROCK, ARKANSAS.
(FIRM COMMUNITY PANEL # 05119C0342G, JULY 6, 2015)

LEGAL DESCRIPTION

LOT 1, BLOCK 3000, INDIAN HILLS ADDITION TO THE CITY OF LITTLE ROCK, PULASKI COUNTY, ARKANSAS, AND BEING SHOWN ON PLAT RECORDED AS PLAT NO. A-13, RECORDS OF PULASKI COUNTY, ARKANSAS



PHOENIX
EQUITIES
LIMITED
PARTNERSHIP
ZONE: R4

PHOENIX
EQUITIES
LIMITED
PARTNERSHIP
ZONE: R4

VINSAL LLC
ZONE: C3

INDIAN HILLS TOWN
HOMES - COMMON
AREAS
ZONE: R4

SITE PLAN REVIEW

LOT 1, BLOCK 3000
INDIAN HILLS ADDITION
TO THE CITY OF LITTLE ROCK
PULASKI COUNTY, ARKANSAS

Little Rock, Pulaski County, Arkansas



JOE WHITE & ASSOCIATES, INC.

CIVIL ENGINEERING - CONSULTING SERVICES - LAND SURVEYING
25 RAHLING CIRCLE, SUITE A-2 LITTLE ROCK, ARKANSAS 72223
PHONE: (501) 214-9141

DATE: 08-25-2026

SCALE: 1" = 20'

PROJECT NUMBER: 26-287L



CERTIFICATE OF AUTHORIZATION



DATE	DESCRIPTION	BY
	REVISION	

