

1	05-01-06	AS PER CITY COMMENTS	LDJ
REVISION	DATE	DESCRIPTION	

[illegible]

DAY & ASSOCIATES LAND SURVEYING

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FOR USE AND BENEFIT OF:
CALICO CREEK MANAGEMENT

PROPERTY ADDRESS:
1100 E. 12th Street, North Little Rock, AR
Pulaski County, Arkansas

DATE: 6/30/26

DRAWN BY: M. GILL BOWEN

CHECKED BY: V. DAY

FERGUSON LITTLE ROCK, AR
PREPARED FOR
FERGUSON ENTERPRISES

824 EAST 12TH STREET, NORTH LITTLE ROCK, AR 72114

TOPOGRAPHIC SURVEY BY OTHERS

KHA PROJECT	SCALE	AS SHOWN	DESIGNED BY	MLS	DRAWN BY	TBT	CHECKED BY	CWM
013145007								
DATE								
07/28/2026								

NOT FOR CONSTRUCTION

Kimley»»Horn

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CONTRACTOR IS SOLELY RESPONSIBLE TO VERIFY WHAT PART OF THE BUILDING THE ARCHITECT'S FOOTPRINT REPRESENTS (E.G. SLAB, WALL, WINDOW, DOOR, ETC.) OF ANY DEVIATIONS ITS FINAL POSITION ON THE SITE BASED ON THE FINAL ARCHITECTURAL FOOTPRINT, CIVIL DIMENSION CONTROL PLAN, SURVEY BOUNDARY AND/OR PLAT. ANY DIFFERENCES FOUND SHALL BE REPORTED TO KIMBERLY CLARK.

32. ALL CONSTRUCTION SHALL COMPLY WITH THE PROJECT'S FINAL GEOTECHNICAL REPORT (OR LATEST EDITION), INCLUDING SUBSEQUENT ADDENDUMS.

33. CONTRACTOR IS RESPONSIBLE FOR ALL MATERIALS TESTING AND CERTIFICATION, UNLESS SPECIFIED OTHERWISE BY OWNER. ALL MATERIALS TESTING SHALL BE COORDINATED WITH THE APPROPRIATE TESTING AGENCY. MATERIALS TESTING SHALL INCLUDE COMPRESSIONS AND GEOTECHNICAL REPORT. TESTING SHALL BE PERFORMED BY AN APPROVED INDEPENDENT AGENCY FOR TESTING MATERIALS. OWNER SHALL APPROVE THE AGENCY NOMINATED BY THE CONTRACTOR FOR MATERIALS TESTING.

34. ALL COPIES OF MATERIALS TEST RESULTS SHALL BE SENT TO THE OWNER, ENGINEER AND ARCHITECT DIRECTLY FROM THE TESTING AGENCY.

35. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO SHOW, BY THE STANDARD TESTING PROCEDURES OF THE MATERIALS, THAT THE WORK CONSTRUCTED MEETS THE PROJECT REQUIREMENTS AND CITY SPECIFICATIONS.

36. DUE TO THE POTENTIAL FOR DIFFERENTIAL SOIL MOVEMENT ADJACENT TO THE BUILDING, THE CONTRACTOR SHALL ADHERE TO GEOTECHNICAL RECOMMENDATIONS FOR MATERIALS TESTING AND TESTING OFFICE TO FLATWORK ADJACENT TO THE PROPOSED BUILDING. THE OWNER AND CONTRACTOR ARE ADVISED TO OBTAIN A GEOTECHNICAL ENGINEER RECOMMENDATION SPECIFIC TO FLATWORK ADJACENT TO THE BUILDING.

37. ALL CONTRACTORS MUST CONFINE THEIR ACTIVITIES TO THE WORK AREA. NO ENCROACHMENTS OUTSIDE OF THE WORK AREA WILL BE ALLOWED. ANY VIOLATION OF THIS REQUIREMENT SHALL BE THE CONTRACTOR'S SOLE RESPONSIBILITY TO REPAIR.

38. THE CONTRACTOR SHALL PROTECT ALL EXISTING STRUCTURES, UTILITIES, MANHOLES, POLES, GUY WIRES, VALVE COVERS, VAULT LIDS AND ALL OTHER UTILITIES AND STRUCTURES. THE CONTRACTOR SHALL FACILITIES TO REMAIN AND SHALL REPAIR ANY DAMAGES AT NO COST TO THE OWNER.

39. THE CONTRACTOR SHALL IMMEDIATELY REPAIR OR REPLACE ANY PHYSICAL DAMAGE TO PRIVATE PROPERTY OR PUBLIC INFRASTRUCTURE, INCLUDING BUT NOT LIMITED TO: FENCES, WALLS, SIGNS, PAVEMENT, CURBS, UTILITIES, SIDEWALKS, GRASS, TREES, LANDSCAPING, AND LANDSCAPE TREES, ETC.. TO ORIGINAL CONDITION OR BETTER AT N COST TO THE OWNER.

40. ALL AREAS IN EXISTING RIGHT-OF-WAY DISTURBED BY SITE PREPARATION SHALL BE REPAIRED TO ORIGINAL CONDITION OR BETTER INCLUDING AS NECESSARY GRASS, LANDSCAPING, CURVES, AND PAVEMENT.

41. THE CONTRACTOR SHALL SALVAGE ALL EXISTING POWER POLES, SIGNS, AND UTILITIES, VALVES, METER, ETC., THAT ARE TO BE RELOCATED DURING CONSTRUCTION.

42. CONTRACTOR SHALL MAINTAIN ADEQUATE SITE DRAINAGE DURING ALL PHASES OF CONSTRUCTION, INCLUDING MAINTAINING EXISTING DITCHES AND DRAINAGE SYSTEMS.

43. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING AND SUBMITTING A TRENCH SAFETY PLAN, PREPARED BY A PROFESSIONAL ENGINEER, TO THE CITY ENGINEER. THE TRENCH SAFETY PLAN SHALL INCLUDE MAINTAINING TRENCH SAFETY REQUIREMENTS IN ACCORDANCE WITH CITY, STATE, AND FEDERAL REQUIREMENTS, INCLUDING OSHA FOR ALL TRENCHES. NO OPEN TRENCHES SHALL BE ALLOWED OVERNIGHT WITHOUT PROPER WARNING.

44. THE CONTRACTOR SHALL KEEP TRENCHES FREE FROM WATER.

45. SITE SAFETY IS SOLELY THE RESPONSIBILITY OF THE CONTRACTOR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL SAFETY SYSTEMS PERTAINING TO THE SAFETY OF THE CONTRACTOR OR ITS EMPLOYEES, AGENTS OR REPRESENTATIVES IN THE PERFORMANCE OF THE WORK. THE ENGINEER'S SEAL HEREON DOES NOT EXTEND TO ANY SUCH SAFETY SYSTEMS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE IMPLEMENTATION OF ALL REQUIRED SAFETY PROCEDURES AND PROGRAMS.

46. ALL MATERIALS TO BE USED IN OPERATION OR STORED ARE NOT INCLUDED IN THESE PLANS.

47. CONTRACTOR OFFICE AND STAGING AREA SHALL BE AGREED ON BY THE OWNER AND CONTRACTOR PRIOR TO BEGINNING OF CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING PERMITS FOR THE CONSTRUCTION OFFICE, TRAILER, STORAGE, AND STAGING OPERATIONS AND LOCATIONS.

48. ALL SIGNS, PAVEMENT MARKINGS, AND OTHER TRAFFIC CONTROL DEVICES SHALL CONFORM TO THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" FOR THE STATE OF ARKANSAS.

49. TOP RIM ELEVATIONS OF ALL EXISTING AND PROPOSED MANHOLES SHALL BE COORDINATED WITH TOP OF PAVEMENT OR FINISHED GRADE AND SHALL BE ADJUSTED TO BE FLUSH WITH THE ACTUAL FINISHED GRADE OF THE PAVEMENT.

50. CONTRACTOR SHALL ADJUST ALL EXISTING AND PROPOSED VALVES, FIRE HYDRANTS, AND OTHER UTILITY APPURTENANCES TO MATCH EXISTING FINISHED GRADE.

51. THE CONTRACTOR IS RESPONSIBLE FOR CONSTRUCTION SEQUENCING AND PHASING, AND SHALL CONTACT THE APPROPRIATE CITY OFFICIAL INCLUDING BUILDING OFFICIAL, ENGINEERING INSPECTOR, AND FIRE DEPARTMENT TO OBTAIN APPROVAL OF THE PHASING PLAN.

52. CONTRACTOR IS RESPONSIBLE FOR PREPARATION, SUBMITTAL, AND APPROVAL BY THE CITY AND/OR DOT OF A TRAFFIC CONTROL PLAN PRIOR TO THE START OF CONSTRUCTION, AND THEN THE IMPLEMENTATION OF THE PLAN.

53. CONTRACTOR SHALL KEEP A NEAT AND ACCURATE RECORD OF CONSTRUCTION, INCLUDING ANY DEVIATIONS OR VARIATIONS FROM THE PLANS.

54. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING AS-BUILT PLANS TO THE ENGINEER AND CITY IDENTIFYING ALL DEVIATIONS AND VARIATIONS FROM THESE PLANS MADE DURING CONSTRUCTION.

EROSION CONTROL.

1. THE CONTRACTOR SHALL COMPLY WITH ALL LOCAL, STATE, AND FEDERAL EROSION CONTROL AND WATER QUALITY REQUIREMENTS, LAWS AND ORDINANCES THAT APPLY TO THE CONSTRUCTION SITE LAND DISTURBANCE.

2. CONTRACTOR SHALL COMPLY WITH THE REQUIREMENTS OF THE "ARKANSAS GENERAL PERMIT".

3. EROSION CONTROL DEVICES SHOWN ON THE EROSION CONTROL PLAN FOR THE PROJECT SHALL BE INSTALLED PRIOR TO THE START OF LAND DISTURBANCE.

4. ALL EROSION CONTROL DEVICES ARE TO BE INSTALLED IN ACCORDANCE WITH THE APPROVED PLANS AND SPECIFICATIONS FOR THE PROJECT.

5. CONTRACTOR SHALL SOLELY BE RESPONSIBLE FOR INSTALLATION, MAINTENANCE, MODIFICATION, AND EFFECTIVE OPERATION OF ALL EROSION CONTROL DEVICES, BEST MANAGEMENT PRACTICES (BMPs), AND FOR UPDATING THE EROSION CONTROL PLAN DURING CONSTRUCTION AS NECESSARY UNDER CHANGING CONDITIONS.

6. CONTRACTOR SHALL DOCUMENT THE DATES OF INSTALLATION, MAINTENANCE OR MODIFICATION, AND REMOVAL FOR EACH BMP EMPLOYED IN THE STORM WATER POLLUTION PREVENTION PLAN (SWPPP) IF REQUIRED.

7. AS STORM SEWER INLETS ARE INSTALLED ON-SITE, TEMPORARY EROSION CONTROL DEVICES SHALL BE INSTALLED AT EACH INLET PER THE EROSION CONTROL PLAN.

8. THE EROSION CONTROL DEVICES SHALL REMAIN IN PLACE UNTIL THE AREA IT PROTECTS HAS BEEN PERMANENTLY STABILIZED.

9. CONTRACTOR SHALL PROVIDE ADEQUATE EROSION CONTROL DEVICES TO PREVENT EROSION.

10. CONTRACTOR SHALL OBSERVE THE EFFECTIVENESS OF THE EROSION CONTROL DEVICES AND MAKE FIELD ADJUSTMENTS AND MODIFICATIONS AS NECESSARY TO MAINTAIN EFFECTIVE EROSION CONTROL.

11. EROSION CONTROL DEVICES DO NOT EFFECTIVELY CONTROL EROSION, AND PREVENT SEDIMENTATION FROM WASHING OFF THE SITE, THEN THE CONTRACTOR SHALL NOTIFY THE ENGINEER.

12. OFF-SITE STORAGE AREAS (IF APPLICABLE) ARE CONSIDERED AS PART OF THE PROJECT SITE AND MUST ALSO COMPLY WITH THE EROSION CONTROL REQUIREMENTS FOR THE PROJECT. THE CONTRACTOR SHALL MAINTAIN THE EROSION CONTROL, EROSION AND SEDIMENTATION AND THE ESTABLISHMENT OF PERMANENT GROUND COVER ON DISTURBED AREAS PRIOR TO FINAL APPROVAL OF THE PROJECT. CONTRACTOR IS RESPONSIBLE FOR THE PROTECTION OF SWAMP AND WETLANDS AND THE EROSION BMP FOR ANY OFF-SITE THAT ARE NOT ANTICIPATED OR SHOWN ON THE EROSION CONTROL PLAN.

13. EROSION CONTROL DEVICES, SPOIL, AND STORAGE SHALL BE LOCATED SUCH THAT THEY WILL NOT ADVERSELY AFFECT STORM WATER QUALITY. PROTECTIVE MEASURE SHALL BE PROVIDED IF NEEDED TO ACCOMPLISH THIS REQUIREMENT, SUCH AS COVERING OR ENCIRCLING THE AREA WITH EROSION CONTROL DEVICES.

14. CONTRACTORS SHALL INSPECT ALL EROSION CONTROL DEVICES, BMPs, DISTURBED AREAS, AND VEHICLE ENTRY AND EXIT AREAS WEEKLY AND WITHIN 24 HOURS OF ALL INFILL, EXCAVATION, OR NEEDS OF WATER. THE CONTRACTOR SHALL BE INSTRUCTED IN THE SWPPP BOOKLET IF APPLICABLE, TO VERIFY THAT THE DEVICES AND

EROSION CONTROL PLAN ARE FUNCTIONING PROPERLY.

4. THE CONTRACTOR SHALL CONSTRUCT A STABILIZED CONSTRUCTION ENTRANCE AND EXIT ROADWAY TO ALL ACCESS AREAS TO THE SITE WITH CITY SPECIFICATIONS. THE CONTRACTOR SHALL ENSURE THAT ALL CONSTRUCTION TRAFFIC USES THE STABILIZED ENTRANCE AT ALL TIME FOR ALL INGRESS/EGRESS.

15. THE CONTRACTOR SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT THE TRACKING AND FLOWING OF SEDIMENT AND DIRT ONTO OFF-SITE ROADWAYS. ALL SEDIMENT AND DIRT FROM THE SITE THAT IS DEPOSITED ONTO AN OFF-SITE ROADWAY SHALL BE REMOVED IMMEDIATELY.

16. THE CONTRACTOR IS RESPONSIBLE FOR REMOVING ALL SILT AND DEBRIS FROM THE AFFECTED OFF-SITE ROADWAYS THAT ARE A RESULT OF THE CONSTRUCTION. THE CONTRACTOR SHALL MAINTAIN AT A MINIMUM, THIS SHOULD OCCUR ONCE PER DAY FOR THE OFF-SITE ROADWAYS.

17. WHEN WASHING OF VEHICLES IS REQUIRED TO REMOVE SEDIMENT PRIOR TO EXITING THE SITE, IT SHALL BE DONE IN AN AREA STABILIZED WITH CRUSHED STONE THAT DRAINS INTO AN APPROVED SEDIMENT TRAP BASIN.

18. THE CONTRACTOR SHALL INSTALL A TEMPORARY SEDIMENT BASIN FOR ANY ON-SITE DRAINAGE AREAS THAT ARE GREATER THAN 10 ACRES, PER ADEQ AND CITY STANDARDS. IF NO ENGINEERING DESIGN HAS BEEN PROVIDED FOR A SEDIMENTATION BASIN ON THESE PLANS, THEN THE CONTRACTOR SHALL ARRANGE FOR AN APPROPRIATE DESIGN TO BE PROVIDED.

19. ALL FINES IMPOSED FOR SEDIMENT OR DIRT DISCHARGED FROM THE PROJECT SHALL BE REMOVED FROM THE SITE.

20. WHEN SEDIMENT OR DIRT HAS CLOGGED THE CONSTRUCTION ENTRANCE VOID SPACES BETWEEN STONES OR DIRT IS BEING TRACKED ONTO A ROADWAY, THE AGGREGATE PAD MUST BE WASHED DOWN OR THE CONTRACTOR SHALL PROVIDE A WASH-OUT OPERATOR SHALL NOT BE ALLOWED TO DRAIN DIRECTLY OFF SITE WITHOUT FIRST FLOWING THROUGH ANOTHER BMP TO CONTROL SEDIMENTATION. PERIODIC INSPECTIONS SHALL BE REQUIRED TO MAINTAIN THE EFFECTIVENESS OF THE CONSTRUCTION ENTRANCE.

21. TEMPORARY SEEDING OR OTHER APPROVED STABILIZATION SHALL BE INITIATED WITHIN 14 DAYS OF THE LAST DISTURBANCE OF ANY AREA, AND THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE AREA IS EXPECTED WITHIN 21 DAYS OF THE LAST DISTURBANCE.

22. CONTRACTOR SHALL FOLLOW GOOD HOUSEKEEPING PRACTICES DURING CONSTRUCTION. ALLOWED WASH-OUT DIRT, LOOSE MATERIAL, AND TRUCKS AS CONSTRUCTION PROGRES.

23. UPON COMPLETION OF FINE GRADING, ALL SURFACES OF DISTURBED AREAS SHALL BE PERMANENTLY STABILIZED. STABILIZATION IS PROVIDED TO PREVENT EROSION AND TO PREVENT THE TRACKING OF IMPERVIOUS STRUCTURES, SUCH AS BUILDINGS, SIDEWALK, PAVEMENT, OR A UNIFORM PERENNIAL VEGETATIVE COVER.

24. AS THE CONCLUSION OF THE PROJECT, ALL INLETS, DRAIN PIPE, CHANNEL OF DRAINWAYS AND BORROW DITCHES AFFECTED BY THE CONSTRUCTION SHALL BE DREGDED, AND THE SEDIMENT GENERATED BY THE PROJECT SHALL BE REMOVED AND DISPOSED IN ACCORDANCE WITH THE ADEQ AND MS4 REGULATIONS.

25. IT IS ACKNOWLEDGED THAT NO ONE PLAN CAN BE PREPARED THAT WILL DEPICT ALL POSSIBLE CONTROL MEASURES NECESSARY FOR VARIOUS STAGES OF CONSTRUCTION. THE CONTRACTOR SHALL INCLUDE IN THE PLAN A PROVISION FOR THE CONTRACTOR TO PROVIDE CONTROL MEASURES NECESSARY TO COMPLY WITH CODES FOR THE DURATION OF THE CONSTRUCTION PROJECT.

STORM WATER DISCHARGE AUTHORIZATION:

1. CONTRACTOR SHALL COMPLY WITH ALL ADEQ STORM WATER POLLUTION PREVENTION REQUIREMENTS.

2. CONTRACTOR SHALL COMPLY WITH THE REQUIREMENTS OF THE GENERAL PERMIT TO DISCHARGE.

3. THE CONTRACTOR SHALL ENSURE THAT ALL PRIMARY OPERATORS ARE TRAINED TO CONDUCT THE REQUIRED DISCHARGE PRIOR TO COMMENCING CONSTRUCTION (IF APPLICABLE), OR IF UTILIZING ELECTRONIC SUBMITTAL, PRIOR TO COMMENCING CONSTRUCTION. ALL PRIMARY OPERATORS SHALL PROVIDE A COPY OF THE SIGNED NOI TO THE ADEQ AND MS4 (TYPICALLY THE CITY) RECEIVING DISCHARGE FROM THE SITE.

4. CONTRACTOR SHALL BE RESPONSIBLE FOR THE IMPLEMENTATION OF THE DISCHARGE PERMIT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING POSTING SITE NOTICE, INSPECTIONS, DOCUMENTATION, AND SUBMISSION OF ANY INFORMATION REQUIRED BY THE ADEQ (E.G. NOI).

5. ALL CONTRACTORS AND SUBCONTRACTORS PROVIDING SERVICES TO THE PROJECT SHALL BE REQUIRED TO OBTAIN A WRITTEN CONTRACTOR CERTIFICATION STATEMENT ACKNOWLEDGING THEIR RESPONSIBILITIES AS SPECIFIED IN THE SWPPP.

6. A DISCHARGE NOTIFICATION INCLUDING NOI, SITE NOTICE, CONTRACTOR CERTIFICATIONS, AND ANY REVISIONS, SHALL BE SUBMITTED TO THE CITY BY THE CONTRACTOR AND SHALL BE RETAINED ON-SITE DURING CONSTRUCTION.

7. A DISCHARGE TERMINATION (NOT) SHALL BE SUBMITTED TO ADEQ BY ANY PRIMARY OPERATOR WITHIN 30 DAYS AFTER ALL SOIL DISTURBING ACTIVITIES AT THE SITE HAVE BEEN COMPLETED AND A UNIFORM VEGETATIVE COVER HAS BEEN ESTABLISHED ON ALL UNPAVED AREAS AND SHALL BE RETAINED ON-SITE DURING CONSTRUCTION. IF AN OPERATIONAL CONTROL HAS OCCURRED, OR THE OPERATOR HAS OBTAINED ALTERNATIVE AUTHORIZATION UNDER A DIFFERENT PERMIT, THE CONTRACTOR SHALL NOTIFY THE ADEQ AND PROVIDE TO THE OPERATOR OF ANY MS4 RECEIVING DISCHARGE FROM THE SITE.

GRADING:

1. THE CONTRACTOR AND GRADING SUBCONTRACTOR SHALL VERIFY THE SUITABILITY OF EXISTING AND PROPOSED SITE CONDITIONS INCLUDING GRADES AND DIMENSIONS BEFORE START OF CONSTRUCTION. THE CIVIL ENGINEER SHALL BE RESPONSIBLE FOR THE GRADING DESIGN.

2. CONTRACTOR SHALL OBTAIN ANY REQUIRED GRADING PERMITS FROM THE CITY.

3. UNLESS OTHERWISE NOTED, PROPOSED CONTOURS AND SPOT ELEVATIONS SHALL BE NOTATED ABOVE A REFLECT TOP OF PAVEMENT SURFACE, IN LOCATIONS ALONG A CURB LINE, ADD 6-INCHES (OR THE HEIGHT OF THE CURB) TO THE PAVING GRADE FOR TOP OF CURB ELEVATION.

4. PROPOSED SPOT ELEVATIONS AND CONTOURS OUTSIDE THE PAVEMENT ARE TO TOP OF FINISHED GRADE.

5. PROPOSED CONTOURS ARE APPROXIMATE. PROPOSED SPOT ELEVATION AND DESIGNATED GRADIENT ARE TO BE USED IN CASE OF DISCREPANCY.

6. ALL FINISHED GRADES SHALL TRANSITION UNIFORMLY BETWEEN THE EXISTING AND PROPOSED GRADES.

7. CONTOURS AND SPOT GRADES SHOWN ARE ELEVATIONS OF TOP OF FINISHED SURFACE. WHEN PERFORMING THE GRADING OPERATIONS, THE CONTRACTOR SHALL PROVIDE AN APPROPRIATE ELEVATION HOLD-DOWN AND DESIGN TO PREVENT EROSION. THIS INCLUDES TOPSOILS, TOPSOILS, MULCH, STONE, LANDSCAPING, RIP-RAP AND ALL OTHER SURFACE MATERIALS THAT WILL CONTRIBUTE TO THE TOP OF FINISHED GRADE. FOR EXAMPLE, THE LIMITS OF EARTHWORK IN PAVED AREAS IS THE BOTTOM OF THE COTTON CURB.

8. NO REPRESENTATIONS OF EARTHWORK QUANTITIES OR SITE BALANCE ARE MADE BY THESE PLANS. THE CONTRACTOR SHALL PROVIDE THEIR OWN EARTHWORK QUANTITIES AND COSTS. ANY SIGNIFICANT VARIANCE FROM A BALANCED SITE SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE CIVIL ENGINEER.

9. THE CONTRACTOR AND EARTHWORK SHALL COMPLY WITH THE PROJECT'S FINAL GEOTECHNICAL REPORT (OR LATEST EDITION), INCLUDING SUBMITTED APPENDIX A.

10. ALL EARTHWORK UNCLASSIFIED AND SHALL INCLUDE ALL MATERIALS ENCOUNTERED, UNUSABLE EXCAVATED MATERIAL AND ALL WASTE RESULTING FROM SITE CLEARING AND GRUBBING SHALL BE REMOVED FROM THE SITE AND APPROPRIATELY DISPOSED BY THE CONTRACTOR AT THEIR OWN EXPENSE.

11. EROSION CONTROL DEVICES SHOWN ON THE EROSION CONTROL PLAN FOR THE PROJECT SHALL BE INSTALLED PRIOR TO THE START OF GRADING. THE CONTRACTOR SHALL PROVIDE THE ADEQ AND MS4 WITH NOTES, AND SWPPP FOR ADDITIONAL INFORMATION AND REQUIREMENTS.

12. BEFORE ANY EARTHWORK IS PERFORMED, THE CONTRACTOR SHALL STAKE OUT AND MARK THE LIMITS OF THE PROJECT'S PROPERTY LINE AND EARTHWORK LIMITS. THE CONTRACTOR SHALL PROVIDE THE NECESSARY ENGINEERING AND SURVEYING FOR LINE AND GRADE CONTROL POINTS RELATED TO EARTHWORK.

13. THE CONTRACTOR SHALL BE RESPONSIBLE FOR EXCAVATION MATERIALS IN A MANNER THAT ADHERES TO LOCAL, STATE AND FEDERAL LAWS AND REGULATIONS. THE CONTRACTOR SHALL KEEP A RECORD OF WHERE EXCESS EXCAVATION WAS DISPOSED, ALONG WITH THE RECEIVING EVIDENCE AND APPROVED DISPOSITION.

14. CONTRACTOR IS RESPONSIBLE FOR REMOVAL AND REPLACEMENT OF TOPSOIL AT THE COMPLETION OF FINE GRADING. CONTRACTOR SHALL ADEQUATELY MAINTAIN ARCHITECTURE PLANS FOR SPECIFICATIONS AND REQUIREMENTS FOR TOPSOIL.

15. CONTRACTOR SHALL MAINTAIN ADEQUATE SITE DRAINAGE DURING ALL PHASES OF CONSTRUCTION, INCLUDING MAINTAINING EXISTING DITCHES AND DRAINAGE DURING CONSTRUCTION.

16. NO EARTHWORK FILL SHALL BE PLACED IN ANY EXISTING DRAINAGE WAY, SLOPE, CHANNEL, DITCH, CREEK, OR FLOODPLAIN FOR ANY REASON OR ANY LENGTH OF TIME, UNLESS THESE PLANS SPECIFICALLY INDICATE OTHERWISE.

17. TEMPORARY CULVERTS MAY BE REQUIRED IN SOME LOCATIONS TO

CONCRETE RUN-OFF.

18. REFER TO DIMENSION CONTROL PLAN, AND PLAT FOR HORIZONTAL

19. THE CONTRACTOR SHALL CLEAR AND GRUB THE SITE AND PLACE, COMPACT, AND CONDITION FILL PER THE PROJECT GEOTECHNICAL ENGINEER'S SPECIFICATIONS. THE FILL MATERIAL TO BE USED SHALL BE APPROVED BY THE CITY AND/OR DOT STANDARD SPECIFICATIONS.

20. CONTRACTOR IS RESPONSIBLE FOR ALL SOLS TESTING AND CERTIFICATION, UNLESS SPECIFIED OTHERWISE BY OWNER. ALL SOLS TESTING SHALL BE COORDINATED WITH THE AGENCY TO SHOW THE CONTRACTOR'S FIELD AND ALL COMPLY WITH CITY STANDARD SPECIFICATIONS AND THE GEOTECHNICAL REPORT. SOLS TESTING SHALL BE PERFORMED BY AN APPROVED INDEPENDENT AGENCY FOR TESTING SOILS. THE OWNER SHALL APPROVE THE AGENCY NOMINATED BY THE CONTRACTOR FOR SOLS TESTING.

21. ALL COPIES OF SOLS TEST RESULTS SHALL BE SENT TO THE OWNER, ENGINEER AND ARCHITECT DIRECTLY FROM THE TESTING AGENCY.

22. THE CONTRACTOR SHALL ADHERE TO THE STANDARD TESTING PROCEDURES OF THE SOLS, THAT THE WORK CONSTRUCTED MEETS THE PROJECT REQUIREMENTS AND CITY SPECIFICATIONS.

23. THE SCOPE OF WORK FOR CIVIL IMPROVEMENT SHOWN ON THESE PLANS TERMINATES 5- FEET FROM THE BUILDING. CONTRACTOR SHALL REFER TO THE GEOTECHNICAL REPORT AND STRUCTURAL PLANS AND SPECIFICATIONS FOR FILL, CONDITIONING, AND PREPARATION IN THE BUILDING PAD.

24. DUE TO THE POTENTIAL FOR DIFFERENTIAL SOIL MOVEMENT ADJACENT TO THE BUILDING, THE CONTRACTOR SHALL ADHERE TO GEOTECHNICAL REPORT'S RECOMMENDATION FOR SUBGRADE PREPARATION SPECIFIC TO FLATWORK ADJACENT TO THE PROPOSED BUILDING. THE OWNER AND CONTRACTOR ARE ADVISED TO CONTACT A GEOTECHNICAL ENGINEER FOR RECOMMENDATION FOR FLATWORK ADJACENT TO THE BUILDING IF NONE IS CURRENTLY EXISTING.

25. CONTRACTOR SHALL ENSURE THAT SUFFICIENT POSITIVE SLOPE AWAY FROM THE BUILDING IS MAINTAINED THROUGHOUT THE LIFE OF THE PROPOSED BUILDING(S) DURING GRADING OPERATIONS AND IN THE FINAL CONDITION. IF THE CONTRACTOR OBSERVES THAT THIS WILL NOT BE ACHIEVED, THE CONTRACTOR SHALL CONTACT THE ENGINEER IMMEDIATELY.

26. THE CONTRACTOR SHALL TAKE ALL AVAILABLE PRECAUTIONS TO CONTROL DUST. CONTRACTOR SHALL CONTROL DUST BY SPRINKLING WATER OR OTHER MEANS APPROVED BY THE CITY, AT NO ADDITIONAL COST TO THE OWNER.

27. CONTRACTOR SHALL COORDINATE WITH THE UTILITY COMPANIES FOR ANY REQUIRED UTILITY ADJUSTMENTS AND/OR RELOCATIONS NEEDED TO ACCOMMODATE THE PROPOSED GRADING. THE CONTRACTOR SHALL BE RESPONSIBLE, INCLUDING THE UNKNOWN UTILITIES NOT SHOWN ON THESE PLANS. CONTRACTOR SHALL REFER TO THE GENERAL NOTES "OVERALL" SECTION THESE PLANS FOR ADDITIONAL INFORMATION.

28. EXISTING PLANS AND SURFACE ELEVATIONS ON THESE PLANS ARE APPROXIMATE. CONTRACTOR SHALL REPORT ANY DISCREPANCIES FOUND IN THE FIELD THAT AFFECT THE GRADING PLAN TO THE CIVIL ENGINEER IMMEDIATELY.

29. CONTRACTOR SHALL FIELD VERIFY ALL PROTECTED TREE LOCATIONS, INDIVIDUAL PROTECTED TREE CRITICAL ROOT ZONES, AND PROPOSED SITE GRADING, AND NOTIFY THE CIVIL ENGINEER AND LANDSCAPE ARCHITECT IMMEDIATELY. CONTRACTOR SHALL NOT REMOVE OR DAMAGE THE LANDSCAPE ARCHITECT PRIOR TO COMMENCING THE WORK.

30. TREE PROTECTION MEASURES SHALL BE INSTALLED IN ACCORDANCE WITH THE CITY AND/OR DOT STANDARD SPECIFICATIONS. CONTRACTOR SHALL APPROVE TREE PRESERVATION PLANS BY THE LANDSCAPE ARCHITECT PRIOR TO COMMENCING THE WORK.

31. CONTRACTOR SHALL REFER TO THE LANDSCAPING AND TREE PRESERVATION PLANS FOR ALL INFORMATION AND DETAILS REGARDING TREE PROTECTION MEASURES.

32. NO TREE SHALL BE REMOVED UNLESS A TREE REMOVAL PERMIT HAS BEEN ISSUED BY THE CITY, OR CITY HAS OTHERWISE CONFIRMED IN WRITING THAT ONE OR MORE TREES ARE TO BE REMOVED.

33. NO TREE SHALL BE REMOVED OR DAMAGED WITHOUT PRIOR AUTHORIZATION OF THE OWNER OR OWNER'S REPRESENTATIVE. EXISTING TREES SHALL BE PRESERVED WHENEVER POSSIBLE AND GRADING SHALL BE ADJUSTED TO MEMORIZE THEM.

34. AFTER PLACEMENT OF SUBGRADE AND PRIOR TO PLACEMENT OF PAVEMENT, CONTRACTOR SHALL TEST AND OBSERVE PAVEMENT AREAS FOR EVIDENCE OF POOR DRAINAGE AND PREPARED WALLS, WALLS, AND ALL AREAS SHALL ADEQUATELY DRAIN TOWARDS THE INTENDED STRUCTURE TO CONVEY STORMWATER RUNOFF. CONTRACTOR SHALL IMMEDIATELY NOTIFY OWNER AND ENGINEER IF ANY AREAS OF POOR DRAINAGE ARE DETECTED.

35. CONTRACTOR FIELD ADJUSTMENT OF PROPOSED SLOPE GRADES IS ALLOWED, IF THE APPROVAL OF THE CIVIL ENGINEER IS OBTAINED.

RETAINING WALLS:

1. RETAINING WALLS SHOWN ARE FOR THE SITE GRADING PURPOSES ONLY AND INCLUDE ONLY LOCATION AND SURFACE SLOPE ELEVATIONS AT THE INTERSECTION OF THE WALLS.

2. RETAINING WALL TYPE OR SYSTEM SHALL BE SELECTED BY THE OWNER. RETAINING WALL DESIGN SHALL BE PROVIDED BY OTHERS AND SHALL FIT IN THE WALL ZONE OR LOCATION SHOWN ON THESE PLANS.

3. STRUCTURAL DESIGN SHALL BE PROVIDED BY OTHERS. WALLS, RAILINGS, AND OTHER WALL SAFETY DEVICES SHALL BE PREPARED BY A LICENSED ENGINEER AND ARE NOT PART OF THIS PLAN SET.

4. RETAINING WALLS SHALL BE CONSTRUCTED TO MEET THE CITY GRADING PLAN AND SHALL ACCOUNT FOR ANY INFLUENCE ON ADJACENT BUILDING FOUNDATIONS, UTILITIES, PROPERTY LINES, AND OTHER CONSTRUCTION NOTES.

5. RETAINING WALL DESIGNER SHALL CONSULT THESE PLANS AND THE GEOTECHNICAL REPORT FOR POTENTIAL CONFLICTS.

PAVING:

1. ALL PAVING MATERIALS AND CONSTRUCTION SHALL BE IN ACCORDANCE WITH THESE PLANS, THE CITY AND/OR DOT STANDARD DETAILS AND SPECIFICATIONS, THE FINAL GEOTECHNICAL REPORT AND ALL ISSUED ADDENDUMS. THE CITY AND/OR DOT STANDARD SPECIFICATIONS, THE CITY AND/OR DOT SPECIFICATIONS SHALL GOVERN WHERE OTHER SPECIFICATIONS DO NOT EXIST, IN CASE OF CONFLICTING SPECIFICATIONS, THE MORE RESTRICTIVE SHALL GOVERN. THE CITY SPECIFICATION/DETAIL SHALL BE FOLLOWED.

2. ALL PRIVATE ON-SITE PAVING AND PAVING SUBGRADE SHALL COMPLY WITH THE PROJECT'S FINAL GEOTECHNICAL REPORT (OR LATEST ADDENDUM) AND THE CITY SPECIFICATIONS.

3. ALL FIRELANE PAVING AND PAVING SUBGRADE SHALL COMPLY WITH CITY STANDARDS AND DETAILS. IF THESE ARE DIFFERENT THAN THOSE IN THE GEOTECHNICAL REPORT, THEN THE MORE RESTRICTIVE SHALL BE FOLLOWED.

4. ALL PUBLIC PAVING AND PAVING SUBGRADE SHALL COMPLY WITH CITY STANDARD CONSTRUCTION DETAILS AND SPECIFICATIONS.

5. CONTRACTOR SHALL ADHERE TO THE STANDARD TESTING PROCEDURES FOR PAVING AND PAVING SUBGRADE, THAT THE WORK CONSTRUCTED MEETS THE PROJECT REQUIREMENTS AND CITY SPECIFICATIONS.

6. DUE TO THE POTENTIAL FOR DIFFERENTIAL SOIL MOVEMENT ADJACENT TO THE BUILDING, THE CONTRACTOR SHALL ADHERE TO GEOTECHNICAL REPORT'S RECOMMENDATION FOR SUBGRADE PREPARATION SPECIFIC TO FLATWORK ADJACENT TO THE BUILDING IF NONE IS CURRENTLY EXISTING.

7. CURB RAMPS ALONG PUBLIC STREETS AND IN THE PUBLIC RIGHT-OF-WAY SHALL BE CONSTRUCTED BASED ON THE CITY AND/OR DOT STANDARD SPECIFICATIONS AND SHALL BE FULL WIDTH AND FULL DEPTH OF THE CURB RAMP, NOT INCLUDING FLARES.

8. PRIVATE CURB RAMPS ON THE SITE (I.E. OUTSIDE PUBLIC STREET RIGHT-OF-WAY) SHALL CONFORM TO ADA STANDARDS AND SHALL HAVE A DETECTABLE WARNING SURFACE THAT IS FULL WIDTH AND FULL DEPTH OF THE CURB RAMP, NOT INCLUDING FLARES.

9. ALL ACCESSIBLE RAMPS, CURB RAMPS, STRIPING, AND PAVEMENT MARKINGS SHALL CONFORM TO ADA STANDARDS, LATEST EDITION.

10. CONSTRUCTION OF PAVING SHALL BE IN ACCORDANCE WITH THE FAIR HOUSING ACT DESIGN MANUAL BY THE US DEPARTMENT OF HOUSING AND URBAN DEVELOPMENT.

11. CONTRACTOR SHALL MATCH THE PROPOSED PAVEMENT TO MATCH EXISTING PAVEMENT WITH A SMOOTH, FLUSH, CONNECTION.

12. CONTRACTOR SHALL FURNISH AND INSTALL ALL PAVEMENT MARKINGS FOR FIRE LANE, PARKING, STALL, HANDICAPPED PARKING SYMBOLS, AND PARALLEL STRIPS WITHIN PARKING LOT AND AROUND BUILDINGS AS SHOWN ON THE PLANS. ALL PAINT AND PAVEMENT MARKINGS SHALL ADHERE TO CITY AND OWNER STANDARDS.

13. REFER TO GEOTECHNICAL REPORT FOR PAVING JOINT REQUIREMENTS FOR PRIVATE PAVEMENT.

15. REFER TO CITY STANDARD DETAILS AND SPECIFICATIONS FOR JOINT LAYOUT PLAN REQUIREMENTS FOR PUBLIC PAVING.

16. PAVING SHALL BE CONSTRUCTED TO MEET THE CITY AND/OR DOT STANDARD SPECIFICATIONS, THE CITY AND/OR DOT STANDARD SPECIFICATIONS, THE CITY AND/OR DOT SPECIFICATIONS SHALL GOVERN WHERE OTHER SPECIFICATIONS DO NOT EXIST, IN CASE OF CONFLICTING SPECIFICATIONS, THE MORE RESTRICTIVE SHALL GOVERN. THE CITY SPECIFICATION/DETAIL SHALL BE FOLLOWED.

BE SUPPORTED BY BAR CHAIRS. CONTRACTOR SHALL USE THE MORE STRINGENT OF THE CITY AND GEOTECHNICAL STANDARDS.

17. ALL JOINTS SHALL BE PROTECTED BY THE FOLLOWING:

18. THE MINIMUM LENGTH OF OFFSET JOINTS AT RADIUS POINTS SHALL BE 2 FEET.

19. CONTRACTOR SHALL SUBMIT A JOINTING PLAN TO THE ENGINEER AND OWNER PRIOR TO BEGINNING ANY JOINTING WORK.

20. ALL SAWCUTS SHALL BE FULL DEPTH FOR PAVEMENT REMOVAL AND CONNECTION TO EXISTING PAVEMENT.

21. FIRE LINES SHALL BE MARKED AND LABELED AS A FIRELINE PER CITY REQUIREMENTS.

22. UNLESS THE PLANS SPECIFICALLY DICTATE TO THE CONTRARY, ON-SITE AND OTHER DIRECTIONAL SIGNS SHALL BE ORIENTED SO THEY ARE EASILY VISIBLE TO THE ONCOMING TRAFFIC FOR WHICH THEY ARE INTENDED.

23. CONTRACTOR IS RESPONSIBLE FOR INSTALLING NECESSARY CONDUIT FOR LIGHTING, IRRIGATION, ETC. PRIOR TO PLACEMENT OF PAVEMENT. ALL CONSTRUCTION INCIDENTS (CIVIL, MEP, LANDSCAPE, IRRIGATION, AND ARCHITECT) SHALL BE CONSULTED.

24. BEFORE PLACING PAVEMENT, CONTRACTOR SHALL VERIFY THAT SUB-GRADING AND CONSTRUCTION DETAILS AND SPECIFICATIONS EXIST TO AND FROM EVERY DOOR AND ALONG SIDEWALKS, ACCESSIBLE PARKING SPACES, ACCESSIBLE RAMP, ACCESSIBLE RIVERS, IN NO CASE SHALL AN ACCESSIBLE SIDEWALK CROSS SLOPE EXCEED 2.0 PERCENT. IN NO CASE SHALL LONGITUDINAL SIDEWALK SLOPE EXCEED 5.0 PERCENT. ACCESSIBLE PARKING SPACES AND ACCESS AISLES SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION.

25. CONTRACTOR SHALL TAKE FIELD SLOPE MEASUREMENTS ON FINISHED SUBGRADE AND FORM BOARDS PRIOR TO PLACING PAVEMENT TO VERIFY THAT ADA/AAS SLOPE REQUIREMENTS ARE PROVIDED. CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING THE NECESSARY EXCESSIVE SLOPES ARE ENCOUNTERED. NO CONTRACTOR CHANGE ORDERS WILL BE ACCEPTED FOR ADA AND AAS SLOPE COMPLIANCE ISSUES.

STORM DRAINAGE:

1. ALL STORM SEWER MATERIALS AND CONSTRUCTION SHALL COMPLY WITH CITY STANDARD CONSTRUCTION DETAILS AND SPECIFICATIONS.

2. THE SITE UTILITY CONTRACTOR SHALL PROVIDE ALL MATERIALS AND APPURTENANCES NECESSARY FOR COMPLETE INSTALLATION OF THE STORM SEWER.

3. THE CONTRACTOR SHALL FIELD VERIFY THE SIZE, CONDITION, HORIZONTAL, AND VERTICAL LOCATIONS OF ALL EXISTING STORM SEWER FACILITIES THAT ARE TO BE CONNECTED TO, PRIOR TO START OF CONSTRUCTION. THE CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY CONFLICTS DISCOVERED.

4. THE CONTRACTOR SHALL VERIFY AND COORDINATE ALL DIMENSIONS SHOWN, INCLUDING THE HORIZONTAL AND VERTICAL SEPARATION OF ALL EXISTING UTILITY AND GRATE LOCATIONS AND ALL UTILITIES CROSSING THE STORM SEWER.

5. FLOW LINE, TOP-OF-CURB, RIM, THROAT, AND GRATE ELEVATIONS OF EXISTING STORM SEWER SHALL BE OBTAINED PRIOR TO GRADING PLAN AND FIELD CONDITIONS PRIOR TO THEIR INSTALLATION.

6. ALL PUBLIC STORM SEWER CONSTRUCTION, PIPE, STRUCTURES, AND FITTINGS SHALL ADHERE TO CITY STANDARD DETAILS AND SPECIFICATIONS. CONTRACTOR SHALL ARRANGE FOR REQUIRED CITY INSPECTIONS.

7. ALL PRIVATE STORM SEWER CONSTRUCTION, PIPE, STRUCTURES, AND FITTINGS SHALL ADHERE TO CITY STANDARD DETAILS AND SPECIFICATIONS. CONTRACTOR SHALL ARRANGE FOR REQUIRED CITY INSPECTIONS.

8. ALL PVC TO RCP CONNECTIONS AND ALL STORM PIPE CONNECTIONS ENTERING STRUCTURES OR OTHER STORM PIPES SHALL HAVE A 4" MINIMUM POLY BUTYLENE ADAPTER TO ASSURE THE CONNECTION IS WATERTIGHT.

9. ALL PUBLIC STORM SEWER LINES SHALL BE MINIMUM CLASS III RCP. PRIVATE STORM SEWER LINES SHALL BE MINIMUM CLASS III RCP OR GREATER SHALL BE CLASS III RCP OR OTHER APPROVED MATERIAL.

10. WHERE COVER EXCEEDS 20-FEET OR IS LESS THAN 1.5-FEET, CLASS IV RCP SHALL BE USED.

11. IF CONTRACTOR PROPOSES TO USE HDPE OR PVC IN LIEU OF RCP FOR PRIVATE STORM SEWER, CONTRACTOR SHALL SUBMIT TECHNICAL DATA TO THE OWNER, ENGINEER AND CITY ENGINEER/INSPECTOR FOR APPROVAL. IF THE MATERIAL, ANY PROPOSED HDPE AND PVC SHALL BE WATER TIGHT.

12. THE CONTRACTOR SHALL PROVIDE CONSTRUCTION SURVEYING FOR ALL STORM SEWER LINES.

13. THE CONTRACTOR SHALL PROVIDE STORM SEWER LINES, PUBLIC OR PRIVATE, SHALL BE PER CITY STANDARD DETAILS.

14. ALL WYE CONNECTIONS AND PIPE BENDS ARE TO BE PREFABRICATED AND INSTALLED PER MANUFACTURER'S SPECIFICATIONS.

15. USE 18" FOOT POINTS WITH WEAVERED ENDS IF RADIUS OF STORM SEWER IS LESS THAN 100 FEET.

16. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING AND SUBMITTING TO THE CITY ENGINEER AND CITY ENGINEER/INSPECTOR FOR APPROVAL IN THE STATE OF ARKANSAS, TO THE CITY PRIOR TO CONSTRUCTION. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING TRENCH SAFETY REQUIREMENTS IN ACCORDANCE WITH CITY, STATE, AND FEDERAL REQUIREMENTS. INSPECTION AND INSPECTION OF TRENCHES SHALL BE ALLOWED OVERNIGHT WITHOUT PRIOR WRITTEN APPROVAL OF THE CITY.

17. THE CONTRACTOR SHALL KEEP TRENCHES FREE FROM WATER.

18. ALL STRUCTURES, LIDS, GRATES, AND FRAMES SHALL BE HEAVY DUTY H-20 LOADED RATED.

WATER AND WASTEWATER:

1. ALL WATER AND WASTEWATER MATERIALS AND CONSTRUCTION SHALL COMPLY WITH CITY AND/OR UTILITY PROVIDER STANDARD CONSTRUCTION DETAILS AND SPECIFICATIONS.

2. CONTRACTOR SHALL FIELD VERIFY THE SIZE, CONDITION, HORIZONTAL, AND VERTICAL LOCATIONS OF ALL EXISTING WATER AND WASTEWATER FACILITIES THAT ARE TO BE CONNECTED TO, PRIOR TO START OF CONSTRUCTION. THE CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY CONFLICTS DISCOVERED.

3. CONTRACTOR SHALL VERIFY AND COORDINATE ALL DIMENSIONS SHOWN, INCLUDING THE HORIZONTAL AND VERTICAL LOCATION OF ALL UTILITY SERVICES ENTERING THE BUILDING.

4. THE CONTRACTOR SHALL FIELD VERIFY THE ELEVATION OF ALL UTILITY CROSSINGS PRIOR TO THE INSTALLATION OF ANY PIPE.

5. THE CONTRACTOR SHALL PROVIDE ALL MATERIALS AND APPURTENANCES NECESSARY FOR COMPLETE INSTALLATION OF THE WATER AND WASTEWATER IMPROVEMENTS.

6. ALL PUBLIC WATER AND WASTEWATER CONSTRUCTION, PIPE, STRUCTURES, AND FITTINGS SHALL ADHERE TO CITY PUBLIC WORKS AND/OR UTILITY PROVIDER STANDARD DETAILS AND SPECIFICATIONS. CONTRACTOR SHALL ARRANGE FOR REQUIRED CITY INSPECTIONS.

7. ALL PRIVATE WATER AND WASTEWATER CONSTRUCTION, PIPE, STRUCTURES, AND FITTINGS SHALL ADHERE TO THE APPLICABLE PLUMBING CODE. CONTRACTOR SHALL ARRANGE FOR REQUIRED CITY INSPECTIONS.

8. FIRE SPROINKLER LINES SHALL BE DESIGNED AND INSTALLED BY A LICENSED FIRE SPROINKLER CONTRACTOR, AND COMPLY TO THE APPLICABLE CODES AND INSPECTIONS REQUIRED. THESE PLANS WERE DESIGNED AND INSTALLED BY A LICENSED FIRE SPROINKLER CONTRACTOR. CONTRACTOR SHALL NOTIFY THE ENGINEER IF ANY DISCREPANCIES. EMBEDEDMENT FOR ALL WATER AND WASTEWATER LINES, PUBLIC OR PRIVATE, SHALL BE PER CITY AND/OR UTILITY PROVIDER STANDARD DETAILS AND SPECIFICATIONS.

9. CONTRACTOR SHALL TAKE REQUIRED SANITARY PRECAUTIONS, FOLLOWING ANY CITY, STATE, AND AWWA STANDARDS, TO KEEP WATER PIPES CLEAN AND CAPPED AT TIMES WHEN INSTALLATION IS NOT IN PROGRESS.

10. CONTRACTOR SHALL PROVIDE CONSTRUCTION SURVEYING FOR ALL WATER AND WASTEWATER LINES.

11. CONTRACTOR SHALL PROVIDE CONSTRUCTION SERVICES SHALL TERMINATE 5- FEET OUTSIDE THE BUILDING, UNLESS NOTED OTHERWISE.

12. CONTRACTOR SHALL COMPLY WITH CITY AND/OR UTILITY PROVIDER CONSTRUCTION DETAILS AND SPECIFICATIONS. CONTRACTOR SHALL SUBMIT THE AMOUNT OF PRIOR NOTICE THAT IS REQUIRED, AND SHALL COORDINATE DIRECTLY WITH THE APPROPRIATE CITY AND/OR UTILITY PROVIDER DEPARTMENT.

13. CONTRACTOR SHALL SEQUENCE WATER AND WASTEWATER CONSTRUCTION TO AVOID INTERRUPTION OF SERVICE TO SURROUNDING PROPERTIES.

14. CONTRACTOR SHALL MAINTAIN WATER SERVICE AND WASTEWATER SERVICE TO ALL CUSTOMERS THROUGHOUT CONSTRUCTION (IF NECESSARY, BY USE OF TEMPORARY METHODS APPROVED BY THE CITY AND OWNER). THIS WORK SHALL BE CONSIDERED SUBSIDIARY TO THE PROJECT AND NO DISRUPTION OF SERVICE TO ANY CUSTOMER WILL BE ALLOWED. THE CONTRACTOR IS RESPONSIBLE TO PROTECT ALL WATER AND WASTEWATER LINES CROSSING THE PROJECT. THE CONTRACTOR SHALL MAINTAIN ADEQUATE PROTECTION OF ALL EXISTING WATER MAINS, WATER SERVICES, SEWER MAINS, AND SANITARY SEWER SERVICES ARE SUBSIDIARY TO THE WORK, AND NO ADDITIONAL COMPENSATION SHALL BE ALLOWED.

15. CONTRACTOR SHALL BE RESPONSIBLE FOR CONSTRUCTED SUCH THAT THE COVERS ARE AT FINISHED SURFACE GRADE OF THE PROPOSED PAVEMENT.

16. IF HANDS OF ALL EXISTING WATER MAINS THAT ARE CUT, BUT NOT REMOVED, SHALL BE PLUGGED AND ABANDONED IN PLACE. THIS WORK SHALL BE CONSIDERED AS A SUBSIDIARY COST TO THE PROJECT AND

NO ADDITIONAL COMPENSATION SHALL BE ALLOWED.

19. ALL FIRE HYDRANTS, VALVES, TEES, BENDS, WYES, REDUCERS, FITTINGS, AND ALL OTHERS SHALL BE MECHANICALLY RESTRAINED AND/OR THROUST BLOCKED TO CITY STANDARDS.

20. CONTRACTOR SHALL INSTALL A FULL SEGMENT OF WATER OR WASTEWATER PIPE CENTERED AT ALL UTILITY CROSSINGS SO THAT THE JOINTS ARE GREATER THAN 9- FEET FROM THE CROSSING.

21. WATER AND WASTEWATER LINES SHALL BE KEPT TEN FEET (10') APART (PARALLEL), OR WHEN CROSSING TWENTY-FOUR INCHES (24") VERTICAL CLEARANCE (OUTSIDE EDGE OF PIPE TO OUTSIDE EDGE OF PIPE).

22. ALL VALVE BOXES LOCATED IN PAVEMENT SHALL BE LOADCLASS H-20 RATED FOR HEAVY DUTY TRAFFIC LOADING.

23. ALL WATER AND WASTEWATER SHALL BE TESTED IN ACCORDANCE WITH THE CITY, AWWA, AND STATE STANDARDS AND SPECIFICATIONS. AT A MINIMUM, THIS SHALL CONSIST OF THE FOLLOWING:

a. ALL WATERLINES SHALL BE HYDROSTATICALLY TESTED AND FLOW-ORATED BEFORE BEING PLACED INTO SERVICE. CONTRACTOR SHALL COORDINATE WITH THE CITY AND/OR UTILITY PROVIDER FOR THEIR REQUIRED PROCEDURES AND SHALL ALSO COMPLY WITH ARKANSAS REGULATIONS. AFTER COMPLETION OF THESE TESTS, A TELEVISION INSPECTION SHALL BE PERFORMED AND PROVIDED TO THE CITY AN OWNER ON A DVD.

b. WASTEWATER LINES AND MANHOLES SHALL BE PRESSURE TESTED. CONTRACTOR SHALL COORDINATE WITH THE CITY FOR THEIR REQUIRED PROCEDURES AND SHALL ALSO COMPLY WITH ARKANSAS REGULATIONS. AFTER COMPLETION OF THESE TESTS, A TELEVISION INSPECTION SHALL BE PERFORMED AND PROVIDED TO THE CITY AN OWNER ON A DVD.

24. CONTRACTOR SHALL PROVIDE CLEAN-OUTS FOR PRIVATE SANITARY SEWER LINES AT ALL CHANGES IN DIRECTION AND 100-FOOT INTERVALS, OR AS REQUIRED BY THE APPLICABLE PLUMBING CODE. LOW-DEVELOPMENT LOCATIONS IN PAVEMENT OR SIDEWALKS SHALL HAVE CAST IRON COVERS WITH FINISHED GRADE.

25. CONTRACTOR SHALL PROVIDE BACKWATER VALVES FOR PLUMBING FIXTURES AS REQUIRED BY THE APPLICABLE PLUMBING CODE (E.G. SINKS, TOILETS, SHOWERS, ETC.). BACKWATER VALVES SHALL BE THE MANHOLE COVER OF THE NEXT UPSTREAM MANHOLE IN THE PUBLIC SEWER). CONTRACTOR SHALL REVIEW BOTH MEP AND CIVIL PLANS TO CONFIRM WHERE THEY ARE REQUIRED.

26. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING AND SUBMITTING A TRENCH SAFETY PLAN, PREPARED BY A PROFESSIONAL ENGINEER, TO THE CITY PRIOR TO CONSTRUCTION. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING ALL CITY SPECIFIC REQUIREMENTS IN ACCORDANCE WITH CITY, STATE, AND FEDERAL REQUIREMENTS, INCLUDING OSHA FOR ALL TRENCHES. NO OPEN TRENCHES SHALL BE ALLOWED OVERNIGHT WITHOUT PRIOR WRITTEN APPROVAL OF THE CITY.

27. THE CONTRACTOR SHALL KEEP TRENCHES FREE FROM WATER.

30. ALL UTILITIES SHALL BE INSTALLED IN A TRENCH CONDITION IN ACCORDANCE WITH THE UTILITY PROVIDER TRENCHING DETAILS.

ABBREVIATIONS AND DEFINITIONS:

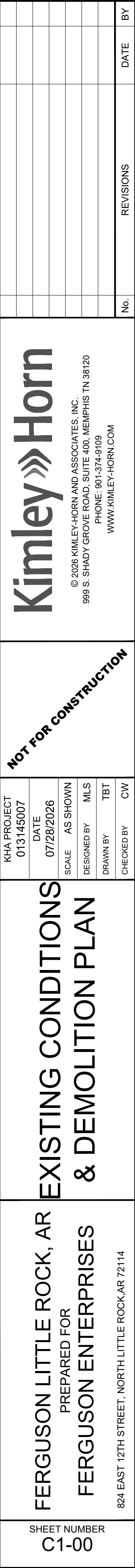
A	AREA
ADA	AMERICANS WITH DISABILITIES ACT
ADEQ	ARKANSAS DEPARTMENT OF ENVIRONMENTAL QUALITY
AWWA	AMERICAN WATER WORKS ASSOCIATION
B	BACK
BC	BEGIN CURB
BC	BACK OF CURB
BCR	BEGIN CURB RETURN
BMP	BEST MANAGEMENT PRACTICE
BOC	BACK OF CURB
BVCE	BEGIN VERTICAL CURVE ELEVATION
BVCS	BEGIN VERTICAL CURVE STATION
BW	BOTTOM OF WALL
CFS	CUBIC FEET PER SECOND
CITY	CITY, TOWN, OR OTHER APPLICABLE LOCAL GOVERNMENT JURISDICTION
C/L	CENTERLINE
CL	CENTERLINE
CONC	CONCRETE
CY	CUBIC YARD
DEMO	DEMOLITION
DG	DECOMPOSED GRANITE
DTL	DETAIL
EA	EACH
EC	END CURVE
ECR	END CURB RETURN
EG	EXISTING GROUND
EL	ELEVATION
ELEC	ELECTRIC / ELECTRICITY
ELEV	ELEVATION
EPA	UNITED STATES ENVIRONMENTAL PROTECTION AGENCY
ESMT	EASEMENT
EVCE	END VERTICAL CURVE ELEVATION
EVCS	END VERTICAL CURVE STATION
EX	EXISTING
F-F	FACE TO FACE
FG	FINISHED GRADE
FI	FIRE HYDRANT
FL	FLOW LINE
FOC	FACE OF CURB
FT	FEET
HGL	HYDRAULIC GRADE LINE
IE	INVERT ELEVATION
KH	KIMLEY-HORN AND ASSOCIATES, INC.
KHA	KIMLEY-HORN AND ASSOCIATES, INC.
LAT	LATERAL
LF	LINEAR FEET
LT	LEFT
MAX	MAXIMUM
ME	MATCH EXISTING ELEVATION
MH	MANHOLE
MIN	MINUTE / MINIMUM
NO	NUMBER
NOI	NOTICE OF INTENT, REF. STATE GENERAL PERMIT
NOT	NOTICE OF TERMINATION, REF. STATE GENERAL PERMIT
NTS	NOT TO SCALE
OC	ON CENTER
OFF	OFFSET
OSHA	OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION
POC	POINT OF CURVATURE
PCC	PORTLAND CEMENT CONCRETE / POINT OF COMPOUND CURVATURE
PGL	PROPOSED GRADE LINE
PI	POINT OF INFLECTION
PROP	PROPOSED
PRC	POINT OF REVERSE CURVATURE
PSI	POUNDS PER SQUARE INCH
PT	POINT OF TANGENCY
PVC	POINT-TO-POINT CHORD
PVI	POINT OF VERTICAL INFLECTION
PWMT	PAVEMENT
RCF	REINFORCED CONCRETE PIPE
ROW	RIGHT OF WAY
RT	RIGHT
SF	SQUARE FEET
SS	SANITARY SEWER
SSMH	SANITARY SEWER MANHOLE
ST	STATION
STD	STANDARD
SQ	SQUARE YARD
TC	TOP OF CURB
TEMP	TEMPORARY
DOT	STATE DEPARTMENT OF TRANSPORTATION
MUTCD	MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES
TW	TOP OF WALL
TYP	TYPICAL
UNO	UNLESS NOTED OTHERWISE
VC	VERTICAL CURVE
WTR	WATER
WW	WASTEWATER

[illegible]

DEMOLITION PLAN LEGEND

	LIMITS OF DISTURBANCE
	PROPERTY LINE
	SAWCUT LINE
	ASPHALT PAVEMENT REPLACEMENT
	REMOVE EXISTING FENCE
	REMOVE EXISTING CONCRETE DITCH

-



The site plan illustrates the property boundaries and proposed improvements for 824 E 12th St. The property is bounded by East 12th Street to the north and a dashed line to the south. The plan shows an existing fence line and a proposed fence line. A gate is located in the existing fence. An inset view, labeled 'INSET VIEW A', shows a detailed view of a concrete area with a sawcut line and a proposed flared end section. The plan also includes a 30' wide building setback area and a 36,200 SF of existing pavement to be used as a laydown area. The property is owned by EES LLC and is located at 824 E 12th St. The plan includes various survey points and bearings, such as N 65°58'04" E 260.06'(A) and S 76°37'42" W 336.70'.

PROPERTY
131,250 Sq.Ft.
3.01 Acres
EXISTING FERGUSON
BUILDING SUPPLY

PROPERTY
304,558 Sq.Ft.
6.99 Acres
EES LLC
824 E 12th St

EAST 12TH STREET

EXISTING FENCE (TYP.)

EXISTING GATE

PROPOSED FENCE (TYP.)

36,200 SF OF EXISTING PAVEMENT TO BE USED AS A LAYDOWN AREA.

INSET VIEW A

SAWCUT LINE
PROPOSED CONCRETE

PROPOSED FLARED END SECTION (TYP.)

30' WIDE BUILDING SETBACK

N 65°58'04" E 260.06'(A)
S 76°37'42" W 336.70'

N 75°07'44" E 613.56'(A)
S 76°30'17" W 753.06'(A)
758.2'(D)

N 75°07'42" E 332.48'

30.0'

15.0'

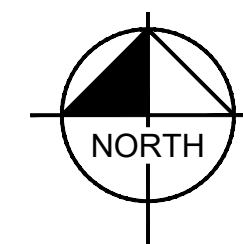
30.0'

----- SAWCUT LINE

1. ALL DIMENSIONS REFER TO THE FACE OF CURB UNLESS OTHERWISE NOTED.
2. BUILDING DIMENSIONS ARE TO THE OUTSIDE FACE OF BUILDING UNLESS
3. OTHERWISE NOTED.
4. ALL SHALL BE PERFORMED IN ACCORDANCE WITH THE LATEST
5. EDITION OF THE ARKANSAS DEPARTMENT OF TRANSPORTATION'S "STANDARD
6. SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION", AS APPLICABLE.
7. FLOODING AND SWAMPING FACILITIES SHALL BE PARALLEL WITH OR
8. PERPENDICULAR TO THE EXISTING BUILDING.
9. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS IN THE FIELD PRIOR TO
10. ANY START CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE
11. FOR ALL FIELD DIMENSIONS, AND SHALL ACCEPT ANY DISCREPANCY
12. BETWEEN THE PLANS AND ACTUAL FIELD CONDITIONS TO THE OWNER OR
13. OWNER'S REPRESENTATIVE IMMEDIATELY.
14. ALL EXISTING AREAS SHALL BE TRANSITIONS FROM PROPOSED
15. FEATURES TO EXISTING FEATURES AS NECESSARY.
16. ALL DISTURBED AREAS SHALL BE SEED OR SODDED AFTER FINISH
17. CONSTRUCTION IS COMPLETE. ALL SEEDING SHALL BE AT LEAST ALL NEW SEED OR
18. SODDED AREAS SHALL HAVE A TPOISIL LAYER OF 4" MINIMUM. TOP OF
19. TPOISIL LAYER SHALL BE PLACED 1" BELOW TOPS OF CURBS, WALKS, OR
20. PAVEMENT ELEVATIONS WHERE TPOISIL ABOVES THOSE AREAS.
21. CONTRACTOR SHALL SOED OR SODD AND PLANT STRAW MULCH WHEREVER GRASS
22. SEED HAS BEEN PLACED.
23. CONTRACTOR SHALL SEAL THE EDGE OF EXISTING ASPHALT PAVEMENT WITH
24. SEALANT IN ACCORDANCE WITH THE LATEST EDITION OF THE ARKANSAS
25. DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS WHERE NEW ASPHALT JOINTS
26. EXISTING ASPHALT.
27. CONTRACTOR SHALL REPAIR, RESURFACE, RECONSTRUCT OR REFURBISH
28. ANY AREAS DAMAGED DURING CONSTRUCTION BY THE CONTRACTOR, HIS
29. SUBCONTRACTORS OR SUPPLIERS AT NO ADDITIONAL COST TO THE OWNER.
30. ALL STRIPING SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF
31. THE ARKANSAS DEPARTMENT OF TRANSPORTATION STANDARD
32. SPECIFICATIONS AND SHALL BE YELLOW.
33. CONTRACTOR TO COORDINATE WITH LOCAL CODES AND BUILDING INSPECTOR FOR
34. SPECIAL PERMISSIBLE PARKING SPACE, TRIPPING AND SIGNAGE REQUIREMENTS.



INSET VIEW A
SCALE: 1" = 20'



GRAPHIC SCALE IN FEET

A horizontal scale bar with tick marks at 0, 25, 50, and 100 feet. The bar is divided into alternating black and white segments. The first 25-foot segment is white, the next 25-foot segment is black, the next 25-foot segment is white, and the final 25-foot segment is black.

SITE PLAN

FERGUSON LITTLE ROCK, AR
PREPARED FOR
FERGUSON ENTERPRISES

SHEET NUMBER
C2-00

NOT FOR CONSTRUCTION

KHA PROJECT	DATE	SCALE	AS SHOWN	WNN
013145007	07/28/2026	DESIGNED BY	MLS	
		DRAWN BY	TBT	
		CHECKED BY		

Kimley»»Horn

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999 S. SHADY GROVE ROAD, SUITE 400, MEMPHIS TN 38120
PHONE: 901-374-9109
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No.	REVISIONS	DATE	BY
-----	-----------	------	----



Topographic map showing a proposed road layout. The map includes contour lines, existing structures, and a proposed road alignment. A circular callout labeled "POA-1" contains the text "4.41 95" and "32.37 21.24". The map is oriented with East 12th Street at the top.

A circular diagram divided into four quadrants by a vertical and a horizontal line. The quadrants are labeled A (top), B (left), C (right), and E (bottom). The intersection of the lines is labeled "AC MINIFS".

POINT OF ANALYSIS

----- DRAINAGE AREA OUTLINE

————— PROPERTY LINE

→ → → TIME OF CONCENTRATION (TC) PATH

POA - CONCRETE DRAINAGE AREA

POA - GRASS DRAINAGE AREA

TYPICAL DRAINAGE PATTERN

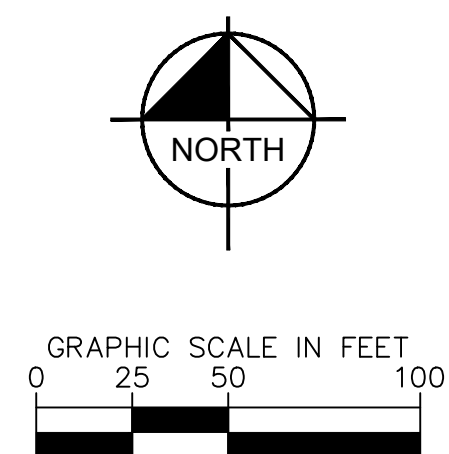
POA 1

DRAINAGE AREA
AREA: 4.41 AC
GRASS AREA: 1.70 AC
CN: 89
IMPERVIOUS AREA: 2.71 AC
CN: 98
WEIGHTED CN: 95 (Impervious area, <50%
Grass Cover, poor, HSG D)
COMPOSITE TC: 32.37 MIN

SHEET FLOW
LENGTH = 100'
SLOPE = 2.8%
Tc = 7.54 MIN

SHALLOW CONCENTRATED FLOW #1
LENGTH = 487.2'
SLOPE = 0.13%
Tc = 15.92 MIN

SHALLOW CONCENTRATED FLOW #2
LENGTH = 281.7'
SLOPE = 0.14%
Tc = 7.78 MIN



SHEET NUMBER
C4-00

KHA PROJECT 013145007	DATE 07/28/2026
SCALE	AS SHOWN
DESIGNED BY	MLS
DRAWN BY	TBT
CHECKED BY	CW

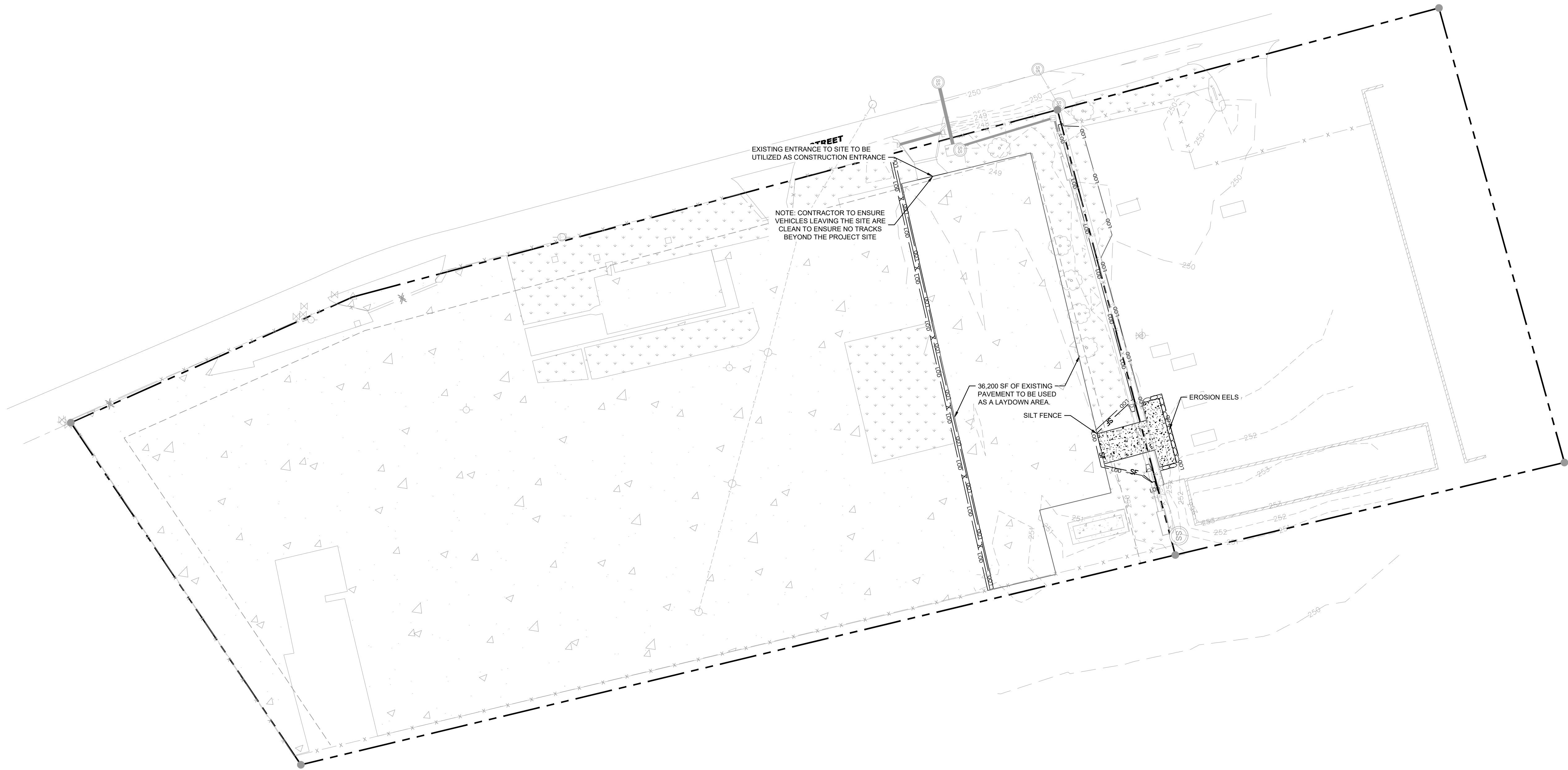
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NOT FOR
CONSTRUCTION



SITE PLAN LEGEND

- LOD — LIMITS OF DISTURBANCE
- 0.00% — EXISTING DRAINAGE PATTERN
- SF — CONCRETE ENTRANCE
- — SILT FENCE
- — EROSION EEL

EROSION CONTROL NOTES

1. CONTRACTOR IS SOLELY RESPONSIBLE FOR SELECTION, IMPLEMENTATION, MAINTENANCE, AND EFFECTIVENESS OF ALL SWPPP CONTROLS - CONTROLS SHOWN ON THIS SITE MAP ARE SUGGESTED CONTROLS ONLY.
2. CONTRACTOR SHALL RECORD INSTALLATION, MAINTENANCE OR MODIFICATION, AND REMOVAL DATES FOR EACH BMP EMPLOYED (WHETHER CALLED OUT ON ORIGINAL SWPPP OR NOT) DIRECTLY ON THIS SITE MAP.
3. DRAINAGE PATTERNS ARE SHOWN ON THIS PLAN BY PROPOSED AND EXISTING CONTOURS.
4. TEMPORARY AND PERMANENT STABILIZATION PRACTICES AND BMP'S SHALL BE INSTALLED AT THE EARLIEST POSSIBLE TIME DURING THE CONSTRUCTION SEQUENCE. AS AN EXAMPLE, PERIMETER SILT FENCE SHALL BE INSTALLED BEFORE COMMENCEMENT OF ANY GRADING ACTIVITIES. OTHER BMP'S SHALL BE INSTALLED AS SOON AS PRACTICABLE AND SHALL BE MAINTAINED UNTIL FINAL SITE STABILIZATION IS ATTAINED. CONTRACTOR SHALL ALSO REFERENCE CIVIL PLANS SINCE PERMANENT STABILIZATION IS PROVIDED BY LANDSCAPING AND SITE PAVING.
5. BMP'S HAVE BEEN LOCATED AS INDICATED ON THIS PLAN IN ACCORDANCE WITH GENERALLY ACCEPTED ENGINEERING PRACTICES IN ORDER TO MINIMIZE SEDIMENT TRANSFER. FOR EXAMPLE: SILT FENCES LOCATED AT TOE OF SLOPE AND INLET PROTECTION FOR INLETS RECEIVING SEDIMENT FROM SITE RUN-OFF.
6. CONTRACTOR TO PROVIDE INLET PROTECTION IN PUBLIC ROW ONLY DURING EARTH MOVING ACTIVITIES. CONTRACTOR TO ENSURE PONDING DOES NOT OCCUR IN PUBLIC ROW OR ON ADJACENT PROPERTIES AT ANY TIME DURING CONSTRUCTION.
7. CONSTRUCTION ENTRANCE SHALL BE LOCATED SO AS TO PROVIDE THE LEAST AMOUNT OF DISTURBANCE TO THE FLOW OF TRAFFIC IN AND OUT OF THE SITE. ADDITIONALLY, THE CONSTRUCTION ENTRANCE SHALL BE LOCATED TO COINCIDE WITH THE PHASING OF THE PARKING LOT CONSTRUCTION.
8. CONTRACTOR SHALL PROVIDE INLET PROTECTION FOR ANY AFFECTED INLETS DOWNSTREAM OF THE PROPOSED IMPROVEMENTS, IF NEEDED.
9. THE NATURE OF THIS SITE'S CONSTRUCTION CONSISTS OF CLEARING & SITE PREPARATION, EARTHWORK, PAVING AND LANDSCAPING.
10. POST CONSTRUCTION STORM WATER POLLUTION CONTROL MEASURES INCLUDE STABILIZATION BY PERMANENT PAVING AND LANDSCAPING.
11. DISTURBED PORTIONS OF SITE MUST BE STABILIZED. STABILIZATION PRACTICES MUST BE INITIATED WITHIN 14 DAYS IN PORTIONS OF THE SITE WHERE CONSTRUCTION HAS BEEN EITHER TEMPORARILY OR PERMANENTLY CEASED. UNLESS EXCEPTED WITHIN THE OPDES PERMIT. CONTRACTOR SHALL REMOVE TEMPORARY EROSION CONTROL DEVICES UPON COMPLETION OF STABILIZATION.
12. CONTRACTOR IS RESPONSIBLE FOR MODIFYING THE SWPPP/SITE MAP TO INCLUDE BMP'S FOR ANY OFF-SITE MATERIAL WASTE, BORROW OR EQUIPMENT STORAGE AREAS.
13. CONTRACTOR IS RESPONSIBLE FOR SUBMITTAL OF NOI, NOT, POSTING OF SITE NOTICES, AND ANY ADDITIONAL INFORMATION OR SUBMITTALS REQUIRED BY ADEQ, EPA, OR LOCAL JURISDICTION.
14. CONTRACTOR TO MAINTAIN NO MORE THAN 10 ACRES OF DRAINAGE TO ANY SINGLE OUTFALL LOCATION DURING CONSTRUCTION.

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WWW.KIMLEY-HORN.COM

NOT FOR CONSTRUCTION

KHA PROJECT	013145007
DATE	07/28/2026
SCALE	AS SHOWN
DESIGNED BY	MLS
DRAWN BY	TBT
CHECKED BY	CW

FERGUSON LITTLE ROCK, AR
PREPARED FOR
FERGUSON ENTERPRISES
EROSION & SEDIMENT
CONTROL PLAN

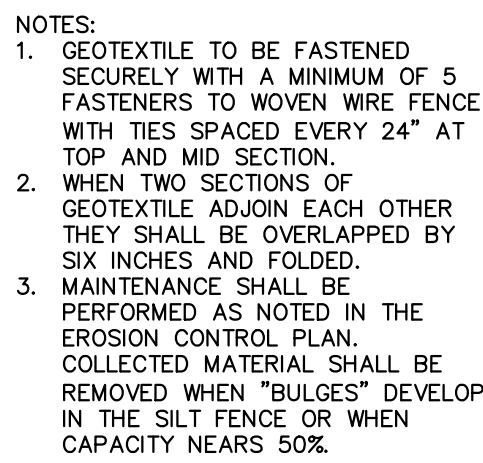
824 EAST 12TH STREET, NORTH LITTLE ROCK, AR 72114

SHEET NUMBER
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REVISIONS	DATE	BY
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1 SILT FENCE
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KHA PROJECT	DATE	SCALE	AS SHOWN	DESIGNED BY	MLS	DRAWN BY	TBT	CHECKED BY	CW
013145007	07/28/2026								

EROSION & SEDIMENT CONTROL DETAILS

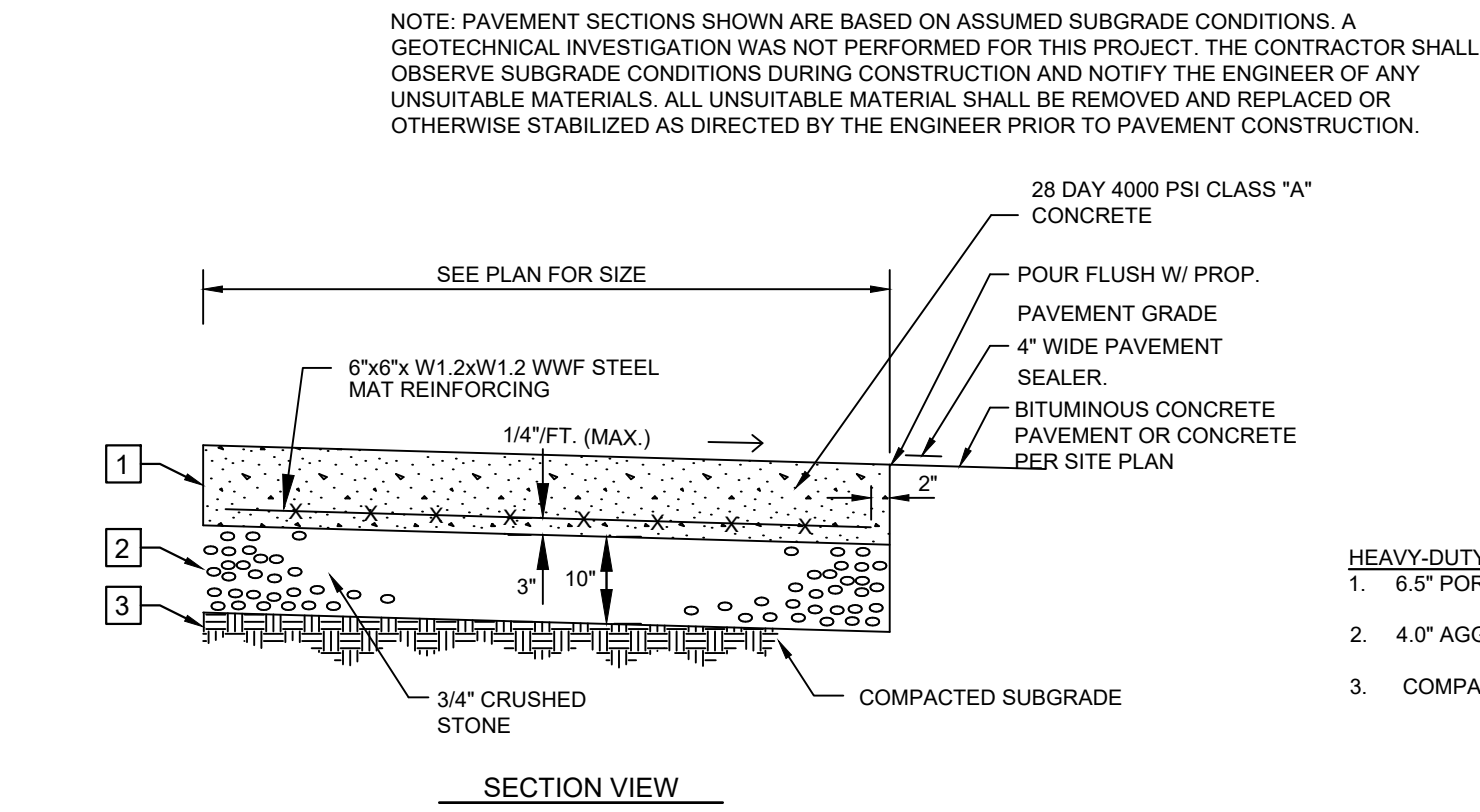
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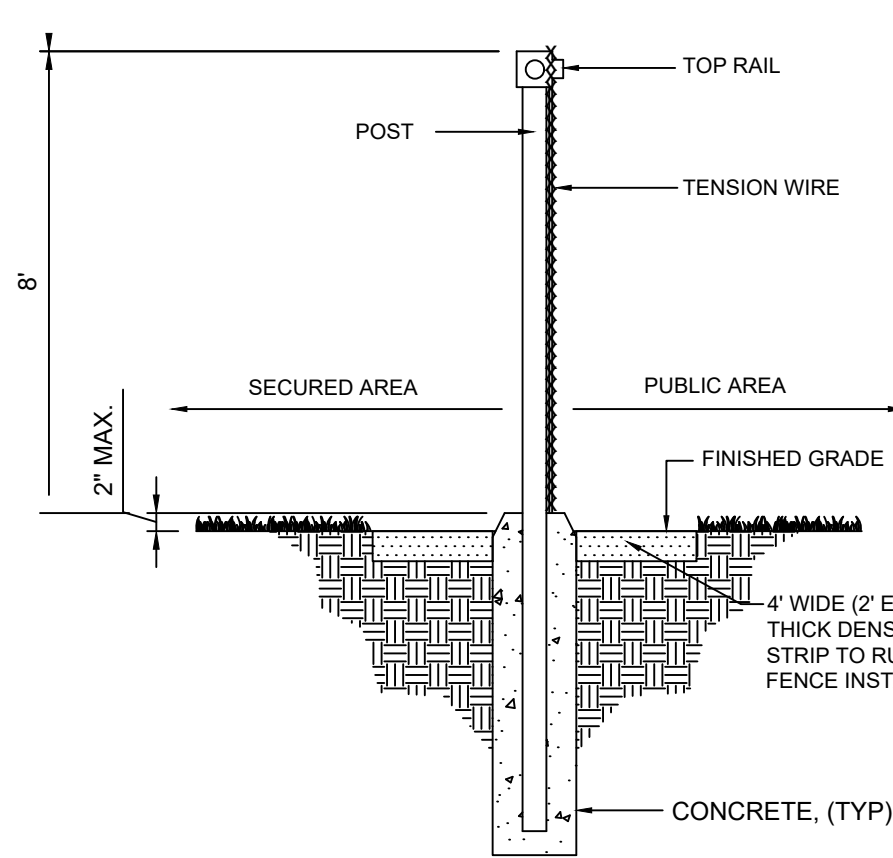
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C5-10

No	REVISIONS	DATE	BY
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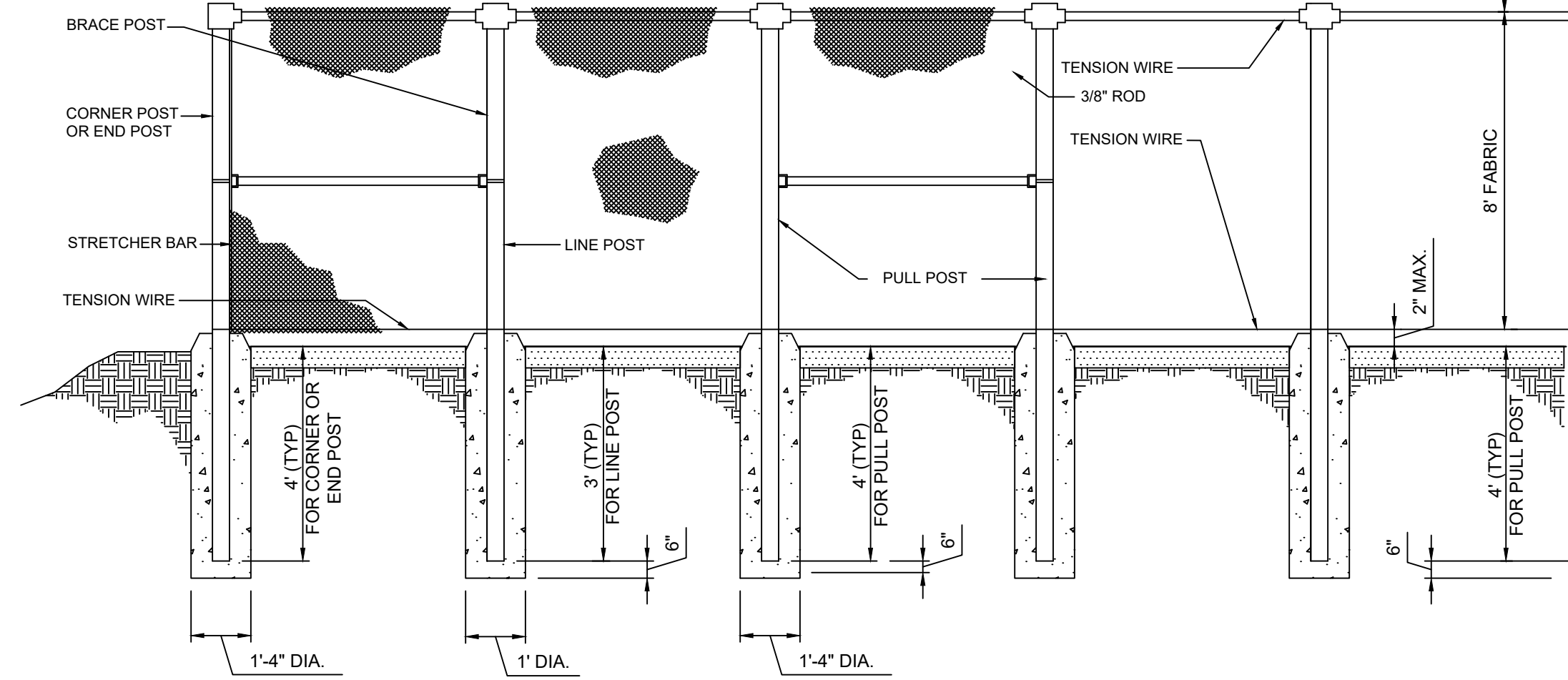
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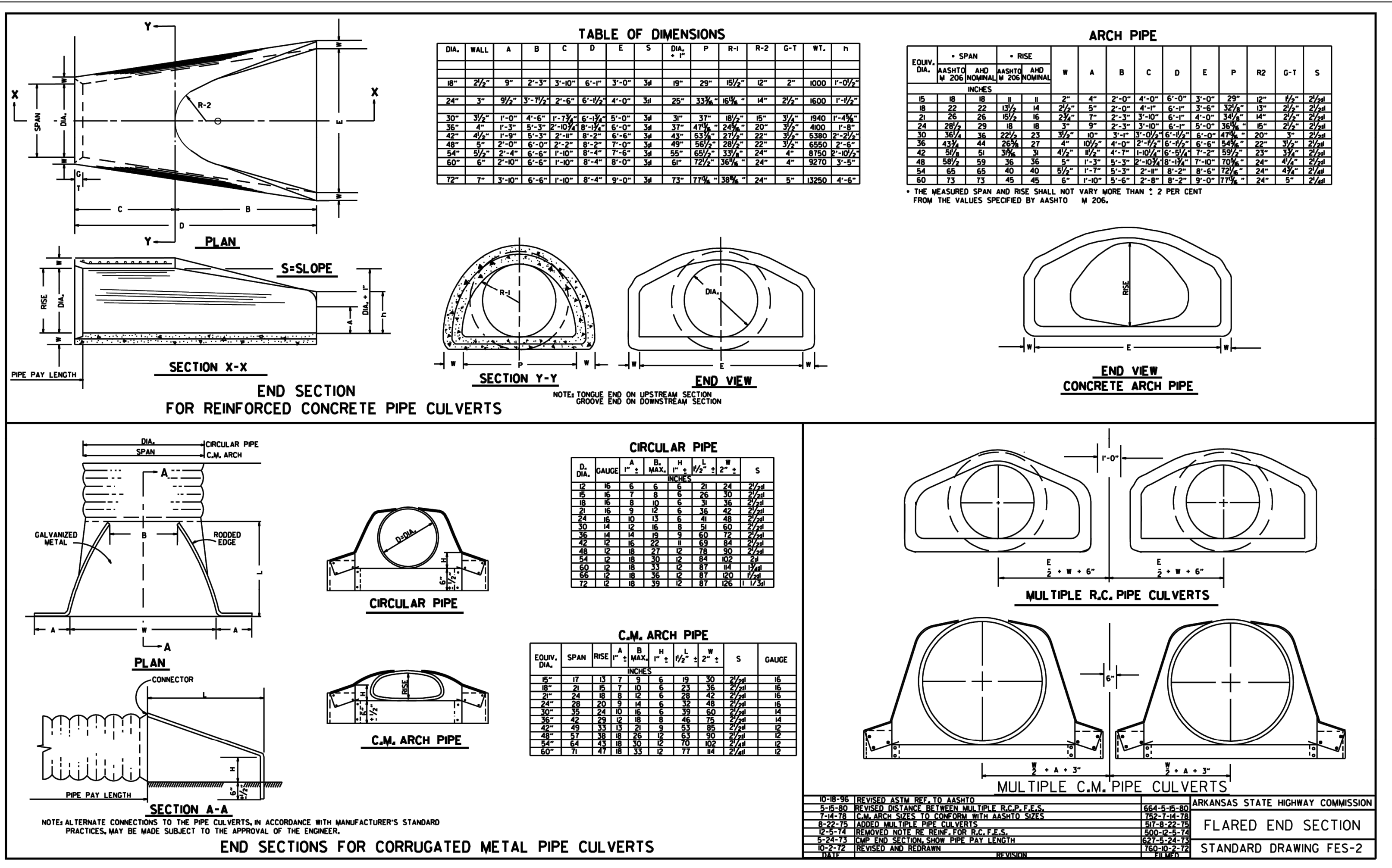
1 TYPICAL CONCRETE PAVEMENT SECTION
NOT TO SCALE



2A SECURITY FENCE SECTION
SCALE: NONE



2B SECURITY FENCE DETAIL
SCALE: NONE



3 ARDOT FLARED END DETAIL
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