



THOMAS ENGINEERING COMPANY

civil engineers

land surveyors

3810 LOOKOUT RD

NORTH LITTLE ROCK, AR 72116
NATIONAL SOCIETY OF PROFESSIONAL ENGINEERS

(501)753-4463

July 28, 2026

Donna James
Planning Department
700 W. 29th Street
North Little Rock, AR 72114

RE: Preliminary Plat and Site Plan Review
Lot 1, St. Joseph College Seminary Addition

Dear Ms. James:

Please accept this letter to serve as our application for the above reference submittal. We wish to be placed on the September 8th Planning Commission Meeting. We are requesting a review of the preliminary plat and site plan at this time. We are also submitting a preliminary grading plan.

The owner is planning to build a college seminary. The site was the location of the former St. Joseph Orphanage Building.

The owner is requesting a variance of:

1. Sidewalk waiver and half street improvements waiver on Camp Robinson (Lot 1)
2. Landscaping requirements
 - a. Waive street trees on Camp Robinson (Lot 1) to allow existing trees to remain
 - b. Waive concrete driveway aprons in right-of-way on Camp Robinson (Lot 1) by retaining existing driveways

Enclosed please find a check for the review fee in the amount of \$450.00.

If you have any questions, please give me a call.

Sincerely,


John R. Pownall, P.E.
Engineer

JRP/ab

cc: Greg Peckham
Jim Driedric

Submittal of Preliminary Plat or Replat - 8 hard copy sets + a copy on a CD

01/02/2019

(this checklist is to be completely filled out by applicant before submittal)

Each set to contain all of the following:

- | | |
|--|--|
| ☒ 1 (8) Drawings, folded to 10x12 or smaller | ☒ 23 Zoning within and around plat |
| ☒ 2 (8) Letter of requests, stating any waivers
(one checklist <u>paper clipped</u> to each set) | ☒ 24 FEMA Panel Number with 100 year elevation <i>NA</i> |
| ☒ 3 (8) Preliminary Plat checklists
(one checklist <u>paper clipped</u> to each set)
(omission of any required items may
cause postponement or refusal) | ☒ 25 Flood Plain / wetlands contours <i>NA</i> |
| ☒ 4 (1) CD - Letter, checklist & drawings should be
combined into one .pdf file (not all separate files) | ☒ 26 Area in acres on each lot |
| | ☒ 27 Total acreage of subdivision |
| | ☒ 28 Contour Intervals |

Title Block to include:

- | | |
|--|--|
| ☒ 5 Title "Preliminary Plat" or "Replat" | ☒ 29 Preliminary Engineers Certificate |
| ☒ 6 Name of subdivision | ☒ 30 Preliminary Surveyors Certificate |
| ☒ 7 Lot and block numbers | ☒ 31 Preliminary Plat Approval Certificate |
| ☒ 8 Date of drawing | |

Required Items on all Preliminary Plats

- ☒ 9 Graphic scale
- ☒ 10 North arrow
- ☒ 11 Legal description
- ☒ 12 Vicinity map
- ☒ 13 Engineers / Surveyors name and address
- ☒ 14 Developers name and address
- ☒ 15 Owners name and address
- ☒ 16 Names of abutting subdivisions/owners
- ☒ 17 Street names
- ☒ 18 Street centerlines with right-of-way widths
- ☒ 19 Boundary lines with dimensions
- ☒ 20 Utility easements
- ☒ 21 Building setbacks
- ☒ 22 Section corners or other monuments

Required Items if applicable:

- ☒ 32 Municipal, County or Section lines
- ☐ 33 Phase map, if staging is planned
- ☐ 34 Storm water detention easement
- ☐ 35 Other easements _____
- ☐ 36 Natural features
- ☐ 37 Cultural features
- ☐ 38 Linear feet of new streets

Preliminary Plat Fees = \$250**Replat Fees = \$250**

Submittal of Site Plan Review - 8 hard copy sets + a copy on a CD

12/2/2020

(this checklist is to be completely filled out by applicant before submittal)

Each set to contain all of the following:

- ☒ 1 (8) Drawings, folded to 10x12 or smaller
- ☒ 2 (8) Letter of requests, stating any variance (one letter paper clipped to each set)
- ☒ 3 (8) Site Plan Review checklists (one checklist paper clipped to each set) (omission of any required items may cause postponement or refusal)
- ☒ 4 (1) CD - Letter, checklist, & drawings should be combined into one .pdf file (not all separate files)

Title Block to include:

- ☒ 5 Title "Site Plan Review"
- ☒ 6 Name of subdivision
- ☒ 7 Lot and block numbers
- ☒ 8 Date of drawing

Required Items on all Site Plan Review

- ☒ 9 Graphic scale
- ☒ 10 North arrow
- ☒ 11 Legal description
- ☒ 12 Vicinity map
- ☒ 13 Engineers / Surveyors name and address
- ☒ 14 Developers name and address
- ☒ 15 Owners name and address
- ☒ 16 Names of abutting subdivisions/owners
- ☒ 17 Street names
- ☒ 18 Street centerlines with right-of-way widths
- ☒ 19 Boundary lines with dimensions
- ☒ 20 Utility easements
- ☒ 21 Building setbacks
- ☒ 22 Section corners or other monuments

- ☒ 23 Zoning within and around plat
- ☒ 24 FEMA Panel Number with 100 year elevation *NA*
- ☒ 25 Flood Plain / wetlands contours *NA*
- ☒ 26 Area in acres on each lot
- ☒ 27 Sign location, edge 5' from property line
- ☒ 28 Screened dumpster location
- ☒ 29 Sidewalk location - *WAIVER*
- ☒ 30 Building outline with square footage
- ☒ 31 Street trees, 30' on center - *WAIVER*
- ☒ 32 Shade trees, 1 per 6 parking spaces
- ☒ 33 Required landscaping and buffers
- ☒ 34 First floor elevation
- ☒ 35 Concrete driveways in right-of-way - *EXISTING ASPHALT*
- ☒ 36 Nearest fire hydrant(s)
- ☒ 37 Water / sewer lines
- ☒ 38 Parking lot layout

Required Items if applicable:

- ☐ 39 Fire flow / water pressure
- ☒ 40 Finished grading plan
- ☐ 41 Municipal, County or Section lines
- ☐ 42 Phase map, if staging is planned
- ☐ 43 Storm water detention easement
- ☐ 44 Other easements _____
- ☐ 45 Hillside cut proposal

Site Plan Review Fees = \$200



City of North Little Rock

Engineering Department

500 West 13th Street, North Little Rock, AR 72114

Engineering Site Plan Review Checklist

Answer every question (Yes, No or Not Applicable).

1. Are storm drainage facilities designed (or will be designed) in accordance with not less than a one in 25-year rainfall design frequency, or in the Central Business District (CBD), where a one in 50-year rainfall design frequency is used?

Yes

2. Does Owner/Engineer plan to provide on-site detention of storm water run-off?

No

WILL PAY IN-LIEU FEE

If no, Owner/Engineer must either pay storm water in-lieu fee (\$5000/acre for non-residential or \$500/acre residential) or demonstrate to City Engineering that on-site detention is not required. Note: Stormwater in-lieu fee is subject to approval by City Engineering.

3. Is the on-site detention facility or other appropriate and approved means to control the increased runoff from development designed to accommodate the 25-year storm?

N/A

4. Is the proposed project property in a designated Federal Emergency Management Agency (FEMA) Special Flood Hazard Areas (SFHAs)?

No

If yes, provide FEMA Flood Insurance Rate Map (FIRM) with the proposed Project property located on map.

For proposed project within FEMA floodplain Zone AE, provide elevation of FEMA 100-year floodplain _____.

If proposed project is within Zone A, coordinate required FEMA 100-year floodplain elevation with City Engineer.

5. Is the first floor of any proposed buildings or building additions a minimum of 1' above FEMA 100-year floodplain?

~~No~~ *N/A*

6. Is the proposed project property in a previously undeveloped area?

No

7. Are there any known wetlands located on this property?

No

8. Do the existing or proposed sidewalks comply with CNLR regulations? (contact the City Engineer for regulations)

Yes

If not, explain.

WAIVER REQUESTED FOR SIDEWALK ON CAMP ROBINSON

9. Are proposed driveways concrete in the City Right-of-Way?

N/A

EXISTING ASPHALT DRIVEWAYS

10. Are proposed commercial/industrial driveways further than 40' from intersecting streets or 10' from adjoining property lines?

Yes

11. Are proposed commercial/industrial driveways further than 40 feet from other existing/proposed drives?

Yes

12. Are the location of driveways regulated by an Access Management Plan? (Refer to the Master Street Plan document for list and regulations for access plans).

No

13. Are cross drains in the street Right-of-Way (ROW) reinforced concrete pipe (RCP) with concrete headwalls? (use of concrete flared end sections will be determined on a case by case basis with City Engineering)

No

EXISTING C.M.P.

14. Is a grading plan with proposed finished contours or spot elevations shown for the proposed development?

Yes

15. Are utilities/mains (water, sewer, electric, etc) labeled and shown as existing or proposed improvements?

Yes

16. Are utility service lines to the proposed development shown?

No

17. Is the proposed project located in steep and rugged terrain where: (1) the slope is steeper than a vertical rise of 1 foot for each 4 feet of horizontal distance (4:1 slope) prior to the alteration; *or* (2) the final grade is steeper than a 4:1 slope between abutting lots or tracts of land?

No

If yes, Owner/Engineer shall follow the requirements of the "CNLR Regulation to Control Development and Subdivision of Land, Article 14 - Hillside Regulations" and coordinate with City Engineering prior to Subdivision Review Meeting.

18. For the proposed project, check applicable permits required for the proposed project:

- ☒ CNLR Stormwater Permit (required for all proposed projects).
- ☐ CNLR Floodplain Development Permit (required for all proposed projects in FEMA Special Flood Hazard Areas).
- ☒ Arkansas Department of Environmental Quality (ADEQ) Stormwater Permit.
- ☐ AHTD permit for driveway or utility work within the State Rights-of-Way (ROW).
- ☒ Arkansas Department of Health approval for water and sewer facilities.
- ☐ Corps of Engineers (COE) 404 Clearance/Permit.

All applicable Permits checked above shall be obtained prior to receiving a Construction Building Permit.

List any other applicable State or Federal permits required.

Note to Owner:

CNLR Excavation Permit is required for excavations/street cuts within the City's ROW.

CNLR Barricade Permit is required for lane closures or maintenance of traffic within City's ROW.

GRADING PLAN
GENERAL NOTES:

1. THE GENERAL CONTRACTOR SHALL TAKE ALL PRECAUTIONS NECESSARY TO AVOID PROPERTY DAMAGE TO ADJACENT PROPERTIES DURING THE CONSTRUCTION PHASES OF THIS PROJECT. THE CONTRACTOR WILL BE HELD SOLELY RESPONSIBLE FOR ANY DAMAGES TO THE ADJACENT PROPERTIES OCCURRING DURING THE CONSTRUCTION PHASES OF THIS PROJECT.
2. WARRANTY/DISCLAIMER. THE DESIGNS REPRESENTED IN THESE PLANS ARE IN ACCORDANCE WITH ESTABLISHED PRACTICES OF CIVIL ENGINEERING FOR THE DESIGN FUNCTIONS AND USES INTENDED AT THIS TIME. HOWEVER, NEITHER THOMAS ENGINEERING COMPANY, INC., NOR ITS PERSONNEL CAN OR DO WARRANTY THESE DESIGNS OR PLANS AS CONSTRUCTED EXCEPT IN THE SPECIFIC CASES WHERE THOMAS ENGINEERING COMPANY PERSONNEL INSPECT AND CONTROL THE PHYSICAL CONSTRUCTION ON A CONTEMPORARY BASIS AT THE SITE.
3. SAFETY NOTICE TO CONTRACTOR. IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, THE CONTRACTOR WILL BE SOLELY AND COMPLETELY RESPONSIBLE FOR CONDITIONS OF THE JOB SITE, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY DURING PERFORMANCE OF THE WORK. THIS REQUIREMENT WILL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS. THE DUTY OF THE ENGINEER OR OWNER TO CONDUCT CONSTRUCTION REVIEW OF THE CONTRACTOR'S PERFORMANCE IS NOT INTENDED TO INCLUDE REVIEW OF THE ADEQUACY OF THE CONTRACTOR'S SAFETY MEASURES, IN, ON OR NEAR THE CONSTRUCTION SITE.
4. ENGINEER'S NOTICE TO CONTRACTOR. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND, WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANY AT LEAST 48 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATIONS OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
5. SEE ARCHITECTURAL PLANS FOR DETAILS ON CONCRETE RAMPS AND SIDEWALKS ATTACHED TO BUILDINGS.
6. FINISHED GRADE CONTOURS ARE INDICATED ALONG TOP OF COMPLETED STRUCTURES, TOP OF PAVEMENT AND GUTTER LINE OF CURB, UNLESS OTHERWISE SHOWN. FOR ROUGH GRADING, CONTRACTOR SHALL ALLOW FOR DEPTHS OF TOPSOIL AND CONCRETE STRUCTURES. FOR FINISH GRADING, CONTRACTOR SHALL INSTALL TOPSOIL AND CONCRETE STRUCTURES TO FINISHED GRADE AS INDICATED ON THIS SHEET.
7. GRADE TO DRAIN AWAY FROM BUILDING AT MINIMUM 1% SLOPE.
8. THE GENERAL CONTRACTOR SHALL FURNISH "AS-BUILT" DRAWINGS AT END OF PROJECT.
9. ALL UTILITY LINES UNDER THE PAVEMENT SHALL BE BACK FILLED WITH CRUSHED STONE.
10. PLACE A 4" MINIMUM DEPTH OF TOPSOIL OVER ALL LAWN AND LANDSCAPE AREAS.
11. REFER TO LANDSCAPE PLAN FOR PERMANENT TURF SOD AND SEEDING AREAS.
12. PROVIDE TEMPORARY SEEDING AND EROSION CONTROL PER STATE AND LOCAL CODES.

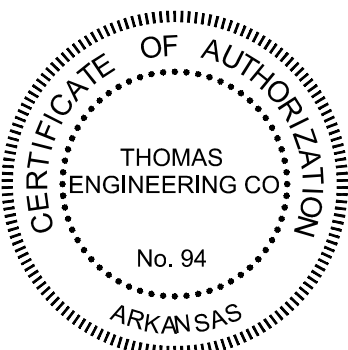
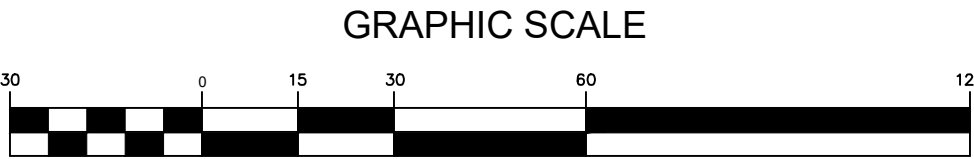
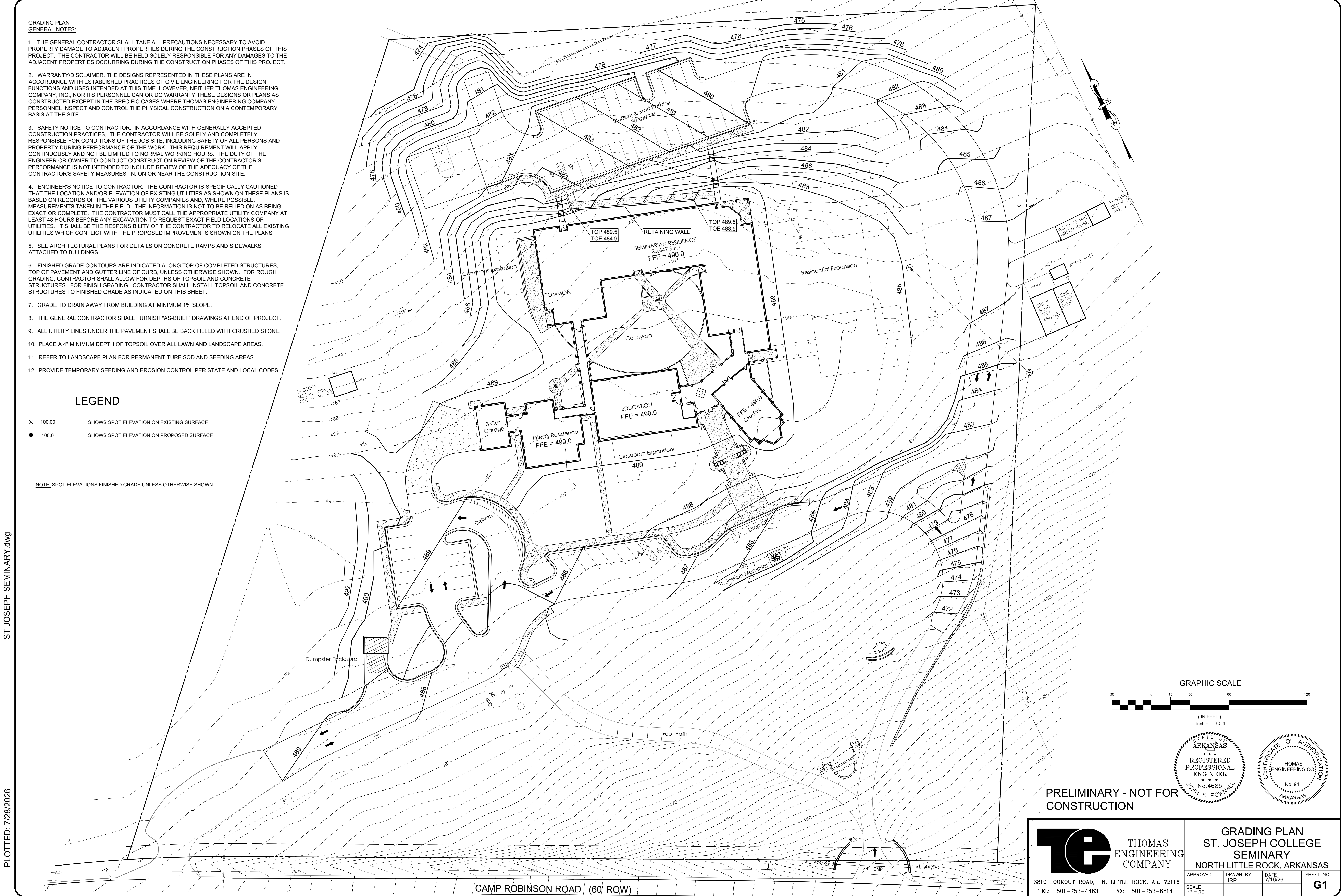
LEGEND

- × 100.00 SHOWS SPOT ELEVATION ON EXISTING SURFACE
- 100.0 SHOWS SPOT ELEVATION ON PROPOSED SURFACE

NOTE: SPOT ELEVATIONS FINISHED GRADE UNLESS OTHERWISE SHOWN.

ST JOSEPH SEMINARY.dwg

PLOTTED: 7/28/2026



PRELIMINARY - NOT FOR
CONSTRUCTION

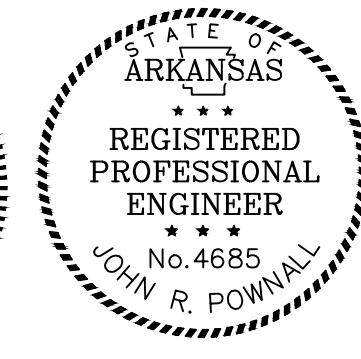
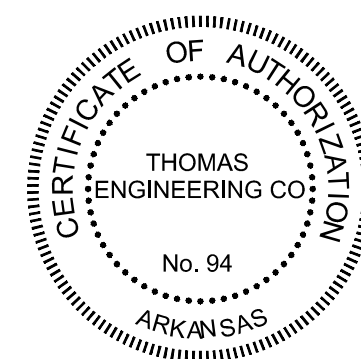


THOMAS
ENGINEERING
COMPANY

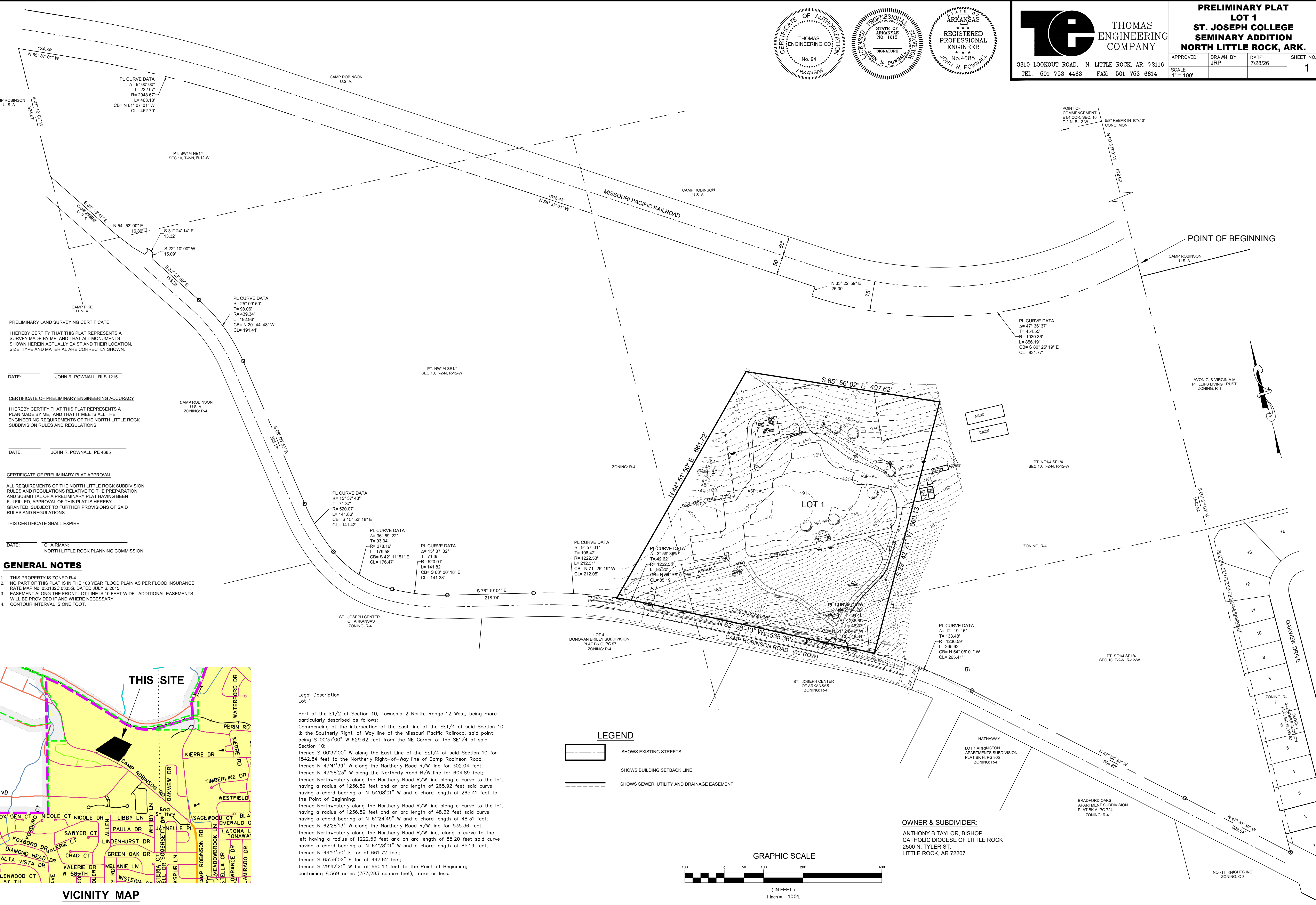
GRADING PLAN
ST. JOSEPH COLLEGE
SEMINARY
NORTH LITTLE ROCK, ARKANSAS

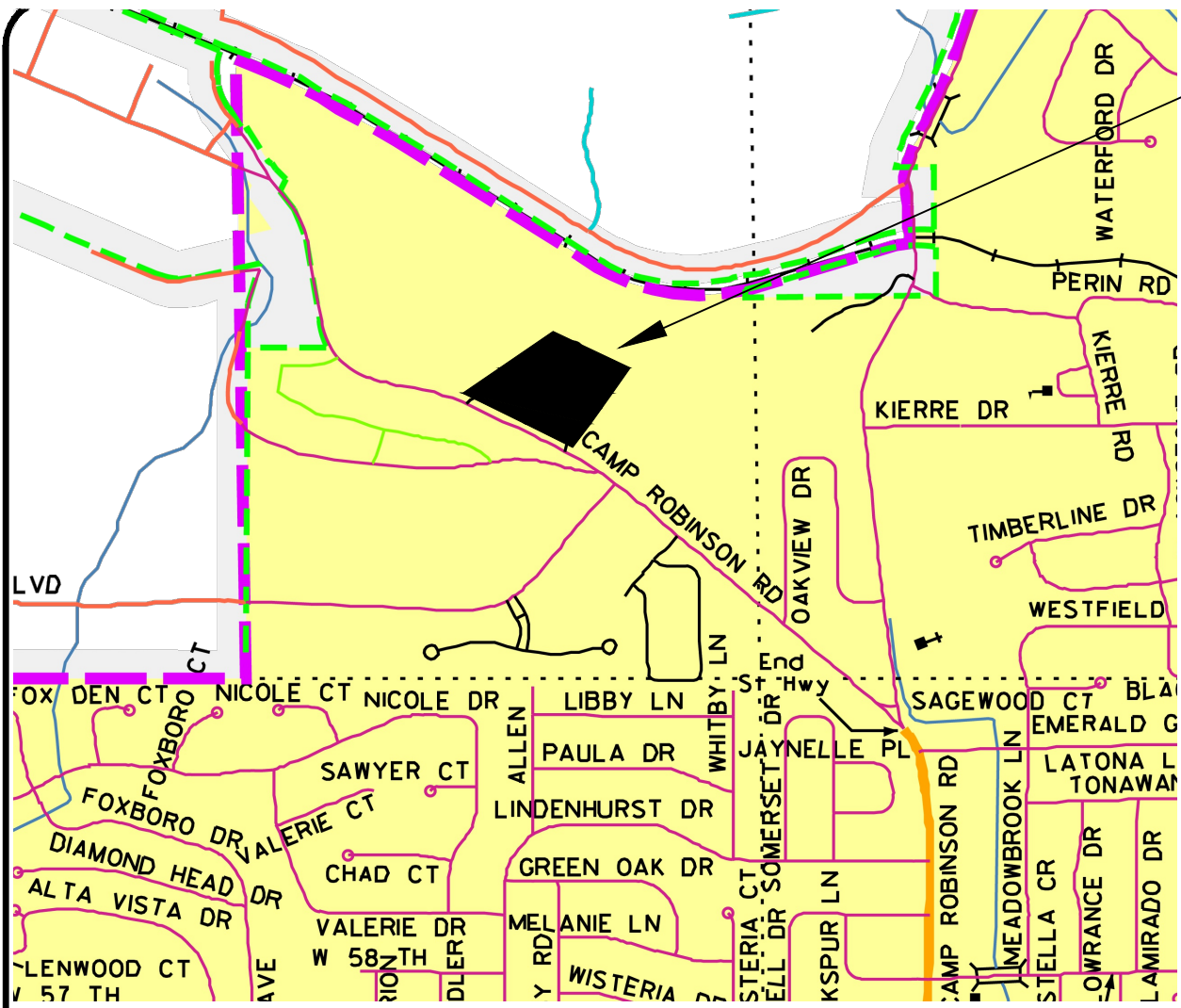
3810 LOOKOUT ROAD, N. LITTLE ROCK, AR. 72116
TEL: 501-753-4463 FAX: 501-753-6814

APPROVED	DRAWN BY JRP	DATE 7/16/26	SHEET NO.
SCALE 1" = 30'			G1

THOMAS
ENGINEERING
COMPANY3810 LOOKOUT ROAD, N. LITTLE ROCK, AR. 72116
TEL: 501-753-4463 FAX: 501-753-6814**PRELIMINARY PLAT
LOT 1
ST. JOSEPH COLLEGE
SEMINARY ADDITION
NORTH LITTLE ROCK, ARK.**

APPROVED	DRAWN BY	DATE	SHEET NO.
	JRP	7/28/26	1

SCALE
1" = 100'



VICINITY MAP

TRAFFIC ENGINEERING REMARKS:

1. OBTAIN PERMITS PRIOR TO DOING ANY STREET CUTS OR CURB CUTS. OBTAIN BARRICADE PERMIT PRIOR TO DOING ANY WORK IN THE RIGHT-OF-WAY. CONTACT THE ENGINEERING DEPT. AT 501-371-8345 (CHRIS WILBOURN) FOR MORE INFORMATION.
2. ALL SIGNAGE, PAVEMENT MARKINGS AND PARKING LOT STRIPING SHALL CONFORM TO REQUIREMENTS GIVEN IN MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD). MUTCD REQUIRES THAT PARKING SPACES BE MARKED IN WHITE.
3. CONTRACTOR SHALL NOT REMOVE OR ALTER, EXISTING TRAFFIC SIGNAGE OR PAVEMENT MARKING WITH OUT PRIOR PERMISSION FROM THE CITY OF NORTH LITTLE ROCK TRAFFIC SERVICES DEPARTMENT. IF ANY SIGNAGE NEEDS TO BE RELOCATED, CONTACT TRAFFIC ENGINEERING (CHRIS WILBOURN 501-371-8345) FOR PRIOR INSPECTION AND APPROVAL. IF CONSTRUCTION WORK IS GOING TO AFFECT ANY EXISTING SIGNAGE OR PAVEMENT MARKING, CONTRACTOR SHALL USE APPROPRIATE TEMPORARY TRAFFIC CONTROL DEVICES TO GUIDE MOTORISTS IN ACCORDANCE WITH MUTCD DURING THE COURSE OF CONSTRUCTION.

GENERAL NOTES:

1. ALL DIMENSIONS SHOWN ARE TO THE BACK OF CURB UNLESS OTHERWISE NOTED. RADII ARE 5 FEET UNLESS OTHERWISE INDICATED.
2. SEE ARCHITECTURAL PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF PORCHES, RAMPS, SLOPED PAVING, TRUCK DOCKS, BUILDING UTILITY ENTRANCE LOCATIONS AND PRECISE BUILDING DIMENSIONS.
3. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANY AT LEAST 48 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
4. CONTRACTOR IS RESPONSIBLE FOR COMPLIANCE WITH O.S.H.A. AND ANY OTHER APPLICABLE LOCAL, STATE OR FEDERAL SAFETY REGULATIONS, INCLUDING THE USE OF TRENCH SHORING, ETC.
5. REPAIR, REPLACE OR EXTEND EXISTING DAMAGED OR MISSING CURB AND GUTTER, SIDEWALK, RAMPS OR CONCRETE APRONS ON SITE & WITHIN THE PUBLIC RIGHT-OF-WAY ADJACENT TO THE SITE. REMOVE ABANDONED DRIVEWAYS. ALL WORK WITHIN PUBLIC RIGHT-OF-WAY SHALL CONFORM TO CITY STANDARDS AND ADA GUIDELINES.
6. CONTACT CITY ENGINEER AT 501 371 8345 FOR INSPECTIONS OF ANY WORK IN PUBLIC RIGHT-OF-WAY PRIOR TO PLACEMENT OF CONCRETE OR ASPHALT OR FOR CLARIFICATION OF REQUIREMENTS PRIOR TO COMMENCING WORK. FAILURE TO DO SO CAN RESULT IN REMOVAL OF ANY IMPROPERLY PLACED CONCRETE OR ASPHALT AT THE EXPENSE OF THE CONTRACTOR.
7. CONTACT NORTH LITTLE ROCK FIRE MARSHAL AT 501 812 5942 FOR LOCATION AND REQUIREMENTS FOR FIRE LANE STRIPING ON SITE BEFORE APPLICATION.

SITE PLAN REVIEW NOTES

1. SITE CONTAINS A PROPOSED SEMINARY.
2. BASIS OF BEARINGS: ARKANSAS STATE PLANE, 1983, NORTH ZONE.
3. THE PROPERTY IS NOT SHOWN IN THE 100 YEAR FLOOD PLAIN ON THE FLOOD INSURANCE RATE MAP COMMUNITY PANEL NUMBER 050182C 0335G DATED JULY 6, 2015.
4. THIS PROPERTY IS ZONED R-4 (MULTI-FAMILY).
5. ALL ABUTTING PROPERTY IS ZONED R-4.
6. THIS TRACT CONTAINS 373,283 S.F. OR 8.569 ACRES, MORE OR LESS.
7. SETBACKS SHOWN ARE FOR R-4 ZONING.
25' FRONT
10' SIDE
25' REAR
25' EXTERIOR YARD

PL CURVE DATA
Δ= 3° 59' 30"
T= 42.62'
R= 1222.53'
L= 85.20'
CB= N 64° 28' 01" W
CL= 85.19'

THIS SITE

ANTHONY B TAYLOR BISHOP
CATHOLIC DIOCESE OF LITTLE ROCK
661.72' ZONING: R-4

1-STORY
METAL SHED
FFE = 485.52'

Dumpster Enclosure

19'

13.33'

17.53'

R15'

R26'

25'

8° W

10'

30'

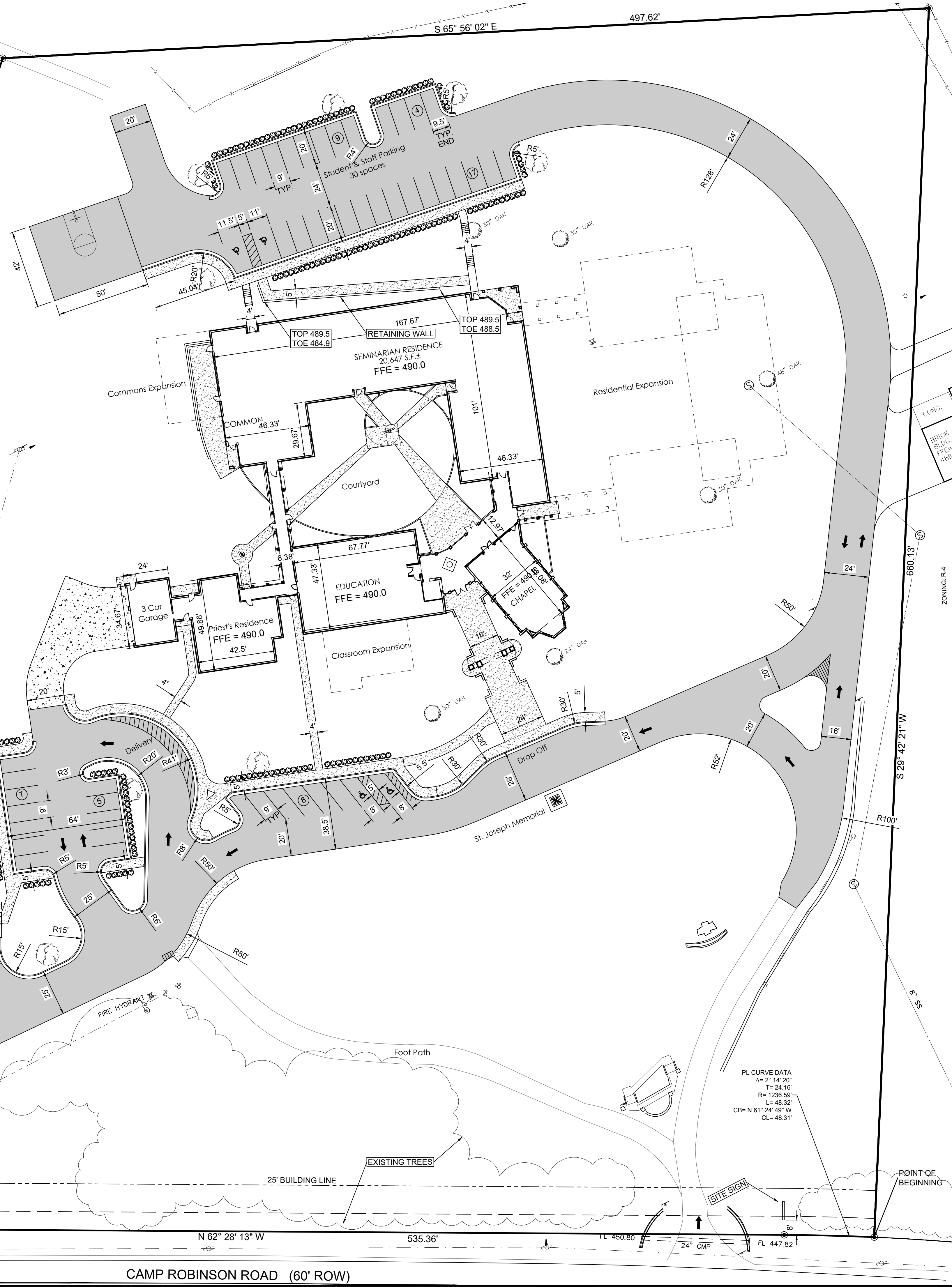
N 62° 28' 13" W

535.36'

24" CMP

FL 450.80

FL 447.82



Legal Description

Part of the E1/2 of Section 10, Township 2 North, Range 12 West, being more particularly described as follows:
Commencing at the Intersection of the East line of the SE1/4 of said Section 10 & the Southerly Right-of-Way line of the Missouri Pacific Railroad, said point being S 00°37'00" W 629.62 feet from the NE Corner of the SE1/4 of said Section 10;
thence S 00°37'00" W along the East Line of the SE1/4 of said Section 10 for 1542.84 feet to the Northerly Right-of-Way line of Camp Robinson Road;
thence N 47°41'39" W along the Northerly Road R/W line for 302.04 feet;
thence N 47°58'23" W along the Northerly Road R/W line for 604.89 feet;
thence Northwesterly along the Northerly Road R/W line along a curve to the left having a radius of 1236.59 feet and an arc length of 265.92 feet said curve having a chord bearing of N 54°08'01" W and a chord length of 265.41 feet to the Point of Beginning;
thence Northwesterly along the Northerly Road R/W line along a curve to the left having a radius of 1236.59 feet and an arc length of 48.32 feet said curve having a chord bearing of N 61°24'49" W and a chord length of 46.31 feet;
thence N 62°28'13" W along the Northerly Road R/W line for 535.36 feet;
thence Northwesterly along the Northerly Road R/W line, along a curve to the left having a radius of 1222.53 feet and an arc length of 85.20 feet said curve having a chord bearing of N 64°28'01" W and a chord length of 85.19 feet;
thence N 44°51'50" E for of 661.72 feet;
thence S 65°56'02" E for of 497.62 feet;
thence S 29°42'21" W for of 660.13 feet to the Point of Beginning;
containing 8.569 acres (373,283 square feet), more or less.

LEGEND

	PROPERTY LINE
	OVERHEAD ELECTRIC LINE
	BUILDING LINE
	EASEMENT
	STORM DRAIN LINE
	CURB & GUTTER
	UTILITY POLE & GUY
	WATER VALVE
	SANITARY SEWER MANHOLE
	FIRE HYDRANT
	LIGHT POLE
	TELEPHONE MHP/PULLBOX
	SIGN
	ELECTRIC BOX
	SHOWS 1/2" PIPE WITH CAP PLS 1215
	SHOWS FOUND SURVEY MARKER AS DESCRIBED

LEGEND

	SHOWS CONCRETE SIDEWALK
	SHOWS STANDARD DUTY CONCRETE PAVEMENT
	SHOWS STANDARD ASPHALT PAVEMENT
	SHOWS HEAVY DUTY CONCRETE PAVEMENT
	SHOWS NEW PARKING LOT TREE 2 1/2" CALIPER TREE 12'-15' HIGH (OCTOBER GLORY MAPLE - ACER RUBRUM - OCTOBER GLORY, OR EQUAL)
	SHOWS NEW STREET TREE 2 1/2" CALIPER TREE 6'-10' HIGH (RED BUD - CERCIS CANDENSIS, OR EQUAL)
	EXISTING STREET TREE
	SHOWS NEW SHRUB 2 GAL. SHRUB AT 3' CENTERS (BURFORD HOLLY - ILEX NORLUR, OR EQUAL)

LANDSCAPING NOTES

1. ALL LANDSCAPED AREAS SHALL BE IRRIGATED.
2. TREES SHALL BE SPACED APPROXIMATELY AS SHOWN ON PLAN
3. TREES SHALL BE A MINIMUM OF 2.0" IN CALIPER.
4. SEE NORTH LITTLE ROCK ZONING ORDINANCE FOR AN APPROVED LIST OF TREES AND SHRUBS.
5. FURNISH AND INSTALL AN IRRIGATION SYSTEM WHICH INCLUDES A BACK-FLOW PREVENTION DEVICE, A TIME CLOCK OR A MOISTURE SENSOR BASED CONTROLLER AND IS SEPARATELY METERED.
6. PROVIDE ALL LANDSCAPING TO MEET LOCAL CODE AND AGREED UPON BY OWNER.

PARKING

REGULAR	46 SPACES
ACCESSIBLE	4 SPACES
GARAGE	3 SPACES
TOTAL	53 SPACES
REQUIRED	47 SPACES

GRAPHIC SCALE



OWNER & SUBDIVIDER:

ANTHONY B TAYLOR, BISHOP
CATHOLIC DIOCESE OF LITTLE ROCK
2500 N. TYLER ST.
LITTLE ROCK, AR 72207



THOMAS
ENGINEERING
COMPANY

3810 LOOKOUT ROAD, N. LITTLE ROCK, AR. 72116
TEL: 501-753-4463 FAX: 501-753-6814

SITE PLAN REVIEW ST. JOSEPH COLLEGE SEMINARY NORTH LITTLE ROCK, ARKANSAS

APPROVED	DRAWN BY JRP	DATE 7/16/26	SHEET NO. R1
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